

File Number: 7-C-26-IH

Meeting: 7/15/2026
Applicant: Drew Witmer Recursive Properties, LLC
Owner: Drew Witmer Recursive Properties, LLC
District: Oakwood/Lincoln Park Infill Housing Overlay District

Property Information

Location: 958 Chickamauga Ave. **Parcel ID:** 81 C F 012
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: New primary structure (duplex)

Staff Recommendation

Staff recommends approval of Certificate 7-C-26-IH, subject to the following conditions:

- 1) the final site plan to meet City Engineering standards, with minor revisions to be approved by staff;
 - 2) meeting applicable standards of Article 4.6 and 9.3.J, with minor revisions to be approved by staff;
 - 3) any major changes in foundation height to return to the Board for review;
 - 4) retaining the porch posts and gable brackets as depicted.
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Description of Work

Level III

New Primary Structure

New primary structure fronting Chickamauga Avenue. Two story duplex measures 35' wide by 53.5' deep (not including porch) and is proposed to be set 29.4' from the front lot line. Parking is a basement-level garage on the rear elevation that is accessed via a driveway from the rear alley. The site plan features trees in the front and rear yard and a shared walkway to the street. It features an exterior of fiber cement lap siding, a block foundation clad in stucco that measures approximately 1.5' tall at the façade, and a 6/12 pitch side-gable roof with a 3/12 pitch front-gable massing on the rear elevation. The duplex features two adjacent units that share a full-length, 8' deep front porch recessed under a shed roof and supported by four columns with 12" square bases clad in stone veneer and 6" posts.

The four-bay façade (northwest) features the same design for each side-by-side unit, with a two story front-gable massing clad in board-and-batten with bracket detailing and paired windows on each story in the left bay, followed by a second story window above the quarter-lite paneled front door on the first story. The left elevation features two windows on the first and second stories and one window on the rear massing. The right elevation features two windows on the first and second stories and two windows on the rear massing. The rear elevation features two sets of paired windows on the second story and the first story massing and two garage doors on the basement level. Most windows are 8/8, single-hung, and feature trim, and there is trim dividing the two stories on the side elevations.

Comments

Background: The applicant intends to use the Middle Housing standards (Article 4.6). The DRB focuses on how the project meets the Infill Housing design guidelines, but some revisions to meet Middle Housing standards could require additional review by the DRB.

Front Yards: Appropriate.

House Orientation and Side Yards: Appropriate.

Alleys, Parking, and Services: Appropriate. The basement-level garage will not be visible from the right-of-way. It will begin around an existing drop in grade that will be further graded.

Landscape: Appropriate.

Scale, Mass, and Foundation Height: The block features one- and two-story Queen Anne cottages, Craftsman bungalows, and Minimal Traditionals, so the two-story height will be compatible with the context. The foundation and massing for the basement-level garage will be clad in stucco. Any major changes to the foundation height will need to return to the Board for review.

Porches and Stoops: Appropriate. The stone veneer on the bases of the porch supports should be retained.

Windows and Doors: Appropriate.

Roof Shapes and Materials: Appropriate. The rear massing features a 3/12 roof pitch with a double underlayment, but it will not be visible from the street.

Siding Materials: Appropriate.

Multi-Unit Housing: The large massing is divided into smaller sections by the bay windows on the façade, the rear massing, and the trim dividing the stories. The porch posts and gable brackets reflect the historic context and should be retained.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. House Orientation and Side Yards

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.
- On lots greater than 50' in width, consider re-creating the original lot size

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- If extensions or bays were typically part of the neighborhood's historic house design, such elements should be incorporated into infill housing.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms

were historically used on the block.

- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Material

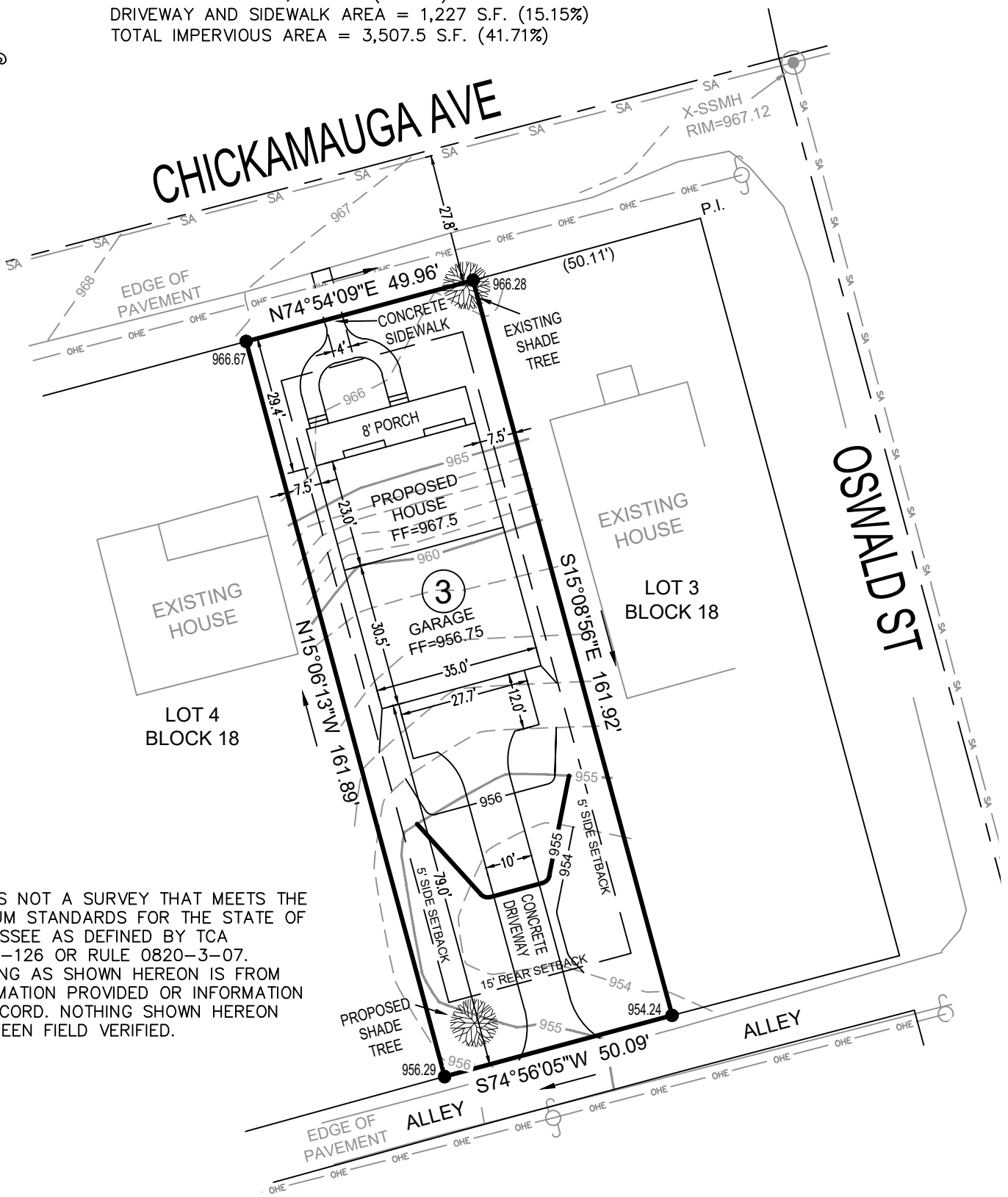
- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).
- Sheds, garages, and other outbuildings can be constructed of vertical siding or other more economical materials.

10. Multi-Unit Housing

In places where multi-unit housing is permitted by zoning, it is essential to neighborhood stability that new apartment buildings be designed in scale and context with the early architectural features of the neighborhood.

- Multi-unit housing (where permitted by zoning) should have similar front yard space to that of the traditional single family houses along the street.
- In zoning districts where multi-unit housing is permitted, the height of the new housing should be similar to the original houses along the street.
- Multi-unit housing should be designed to continue the architectural rhythm of the block. In addition to the same build-to line, porches, bays and breaks in the front façade should be created to mimic the look of older homes when looking down the block. This should be done by dividing the building into separate sections that are proportionally similar to original houses on the block.
- Parking should be provided behind apartments with access from the alley.
- Landscaping, including shade trees, should be planted in both front and back yards.

LOT AREA = 8,100 S.F.
BUILDING AREA = 2,152 S.F. (26.56%)
DRIVEWAY AND SIDEWALK AREA = 1,227 S.F. (15.15%)
TOTAL IMPERVIOUS AREA = 3,507.5 S.F. (41.71%)



THIS IS NOT A SURVEY THAT MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE AS DEFINED BY TCA 62-18-126 OR RULE 0820-3-07. DRAWING AS SHOWN HEREON IS FROM INFORMATION PROVIDED OR INFORMATION OF RECORD. NOTHING SHOWN HEREON HAS BEEN FIELD VERIFIED.



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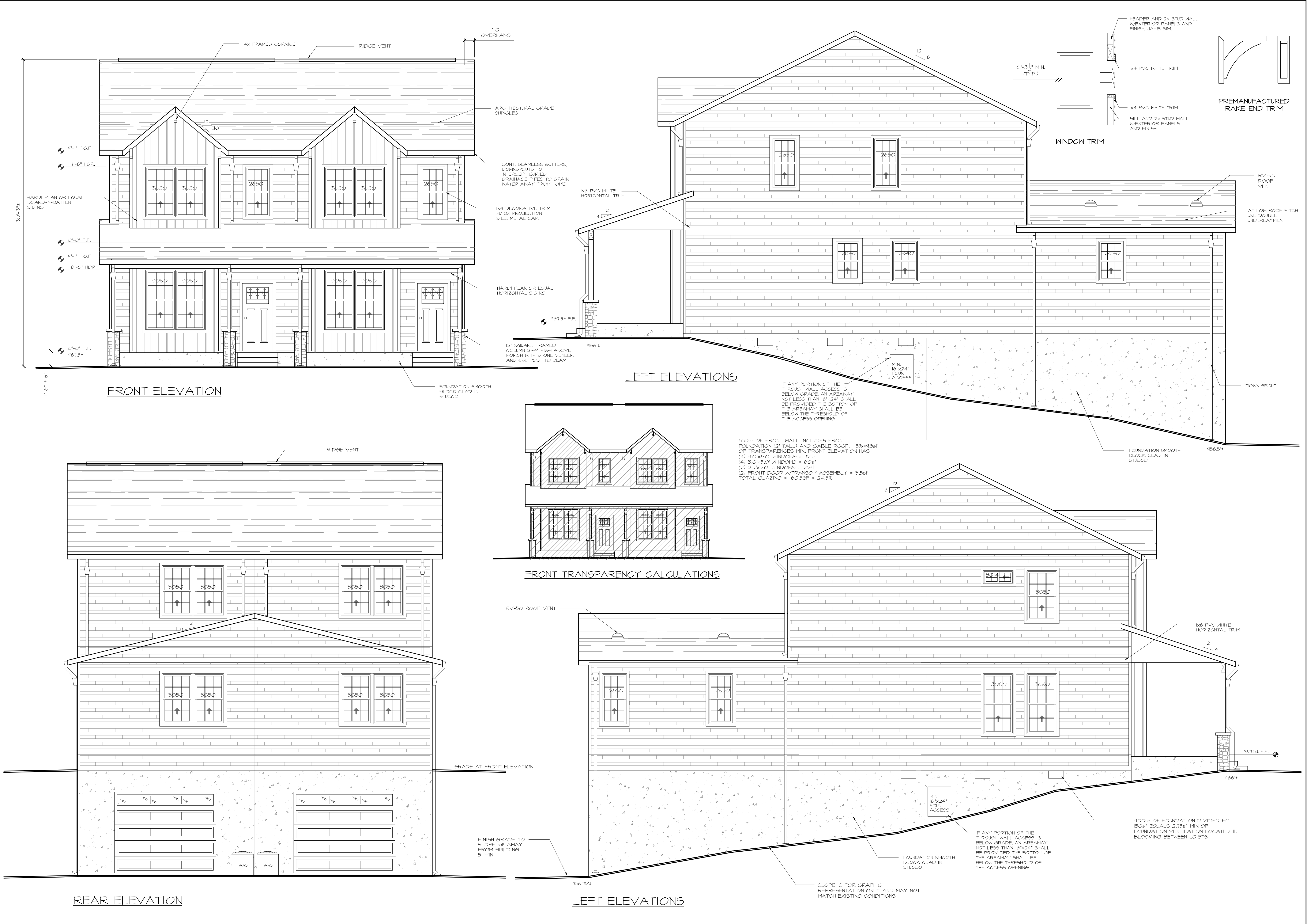
1. THIS PROPERTY IS ZONED RN-2.



LOT 3, BLOCK 18, LINCOLN PARK SUBDIVISION

TAX MAP NO. 081CF, PARCELS 012.00
WARD NO. 18, CITY BLOCK 18741, CITY OF KNOXVILLE, DISTRICT NO. 2, KNOX COUNTY
ADDRESS 958 CHICKAMAUGA AVE INSTR. # 202606080070667
SCALE 1"=30' DATE 06/30/26
ORDERED BY DREW WITMER DWG NO. 25902

Q:\25902\25902.DWG



REVISIONS		BY

COURTLAND DUPLEX
958 CHICKAMAUGA AVE
KNOXVILLE TN

EXTERIOR ELEVATIONS

A&R
DESIGN & DRAFTING
320 CRESTVIEW CIRCLE LENOX CITY
TENNESSEE 37172 (865) 594-2812
ARDESIGNDRAFTING@GMAIL.COM

DATE: 5/26/2026
SCALE: 1/4"=1'-0"
DRAWN: RJ
JOB: C0U26009
SHEET: A201

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