

File Number: 8-B-26-IH

Meeting: 8/19/2026
Applicant: R. Eberto Arellano ROE Construction, LLC
Owner: Jorge Mercado
District: Lonsdale Infill Housing Overlay District

Property Information

Location: 3359 Midway St. **Parcel ID:** 81 H C 017
Zoning: RN-2 (Single-Family Residential Neighborhood), HP (Hillside Protection Overlay)
Description: New primary structure

Staff Recommendation

Staff recommends approval of Certificate 8-B-26-IH, subject to the following conditions:

- 1) the final site plan to meet City Engineering standards, with minor revisions to be approved by staff;
 - 2) major changes to the foundation height to return to the Board for review;
 - 3) allowing for an 11' combined side setback because it is compatible with site constraints and surrounding development.
-

Description of Work

Level III

New Primary Structure

New primary structure fronting Midway Street. The house measures 17' wide by 34' deep and is proposed to be set 26' from the front property line (18' to front porch). Parking is a driveway accessed via Midway Street that leads to a parking pad next to the house. The site plan features a walkway from the porch to the street and a tree in the front and rear yards.

The two-story building features an exterior of lap siding with shakes in the gable fields and trim dividing the stories, an 8/12 pitch front-gable roof with overhanging eaves, and a block foundation that will be clad in stucco or parge-coated and measures 3'-6" tall at the façade and 1' tall at the rear elevation. The façade (east) features a full-length, 8' deep front porch with a shed roof that is supported by three 8" square posts, paired windows and a half-lite paneled door on the first story, and paired windows on the second story. The right elevation features paired windows on the first story and one window on the second story, and the left elevation features one window on each story. The rear elevation features paired windows on the second story and one window and a secondary entrance with a landing on the first story.

Comments

Front Yards: Appropriate.

House Orientation and Side Yards: There is a 5' setback on the south side and a 6' setback on the north side, which does not meet the minimum 15' combined side setback of the RN-2 (Single-Family Residential Neighborhood) district. The DRB has the authority to approve alternative dimensional standards if they "realize the principles associated with the guidelines" (16.6.D.1). The block features historic construction with small side setbacks that do not comply with current zoning requirements, and the subject property has an irregular, triangular shape and steep areas that make compliance with the combined side setback standards challenging. In the opinion of staff, the proposed side setbacks are appropriate.

Alleys, Parking, and Services: Appropriate. The driveway width varies due to topographical constraints that limit visibility, and the driveway is large in scale. A sewer line and drainage swale run through the property that will need to be rerouted to accommodate the current site plan.

Landscape: Appropriate.

Scale, Mass, and Foundation Height: The block primarily features Minimal Traditionals and Craftsman bungalows that are all one-story or one-story with a basement level, and two-story infill construction was approved and constructed this year. The visual scale of the two-story house is mitigated by the trim dividing the stories and the deeper front setback to the main massing relative to the adjacent houses. The lot is also narrower than most houses on the block, but the width is appropriate given the topography and irregular shape of the lot.

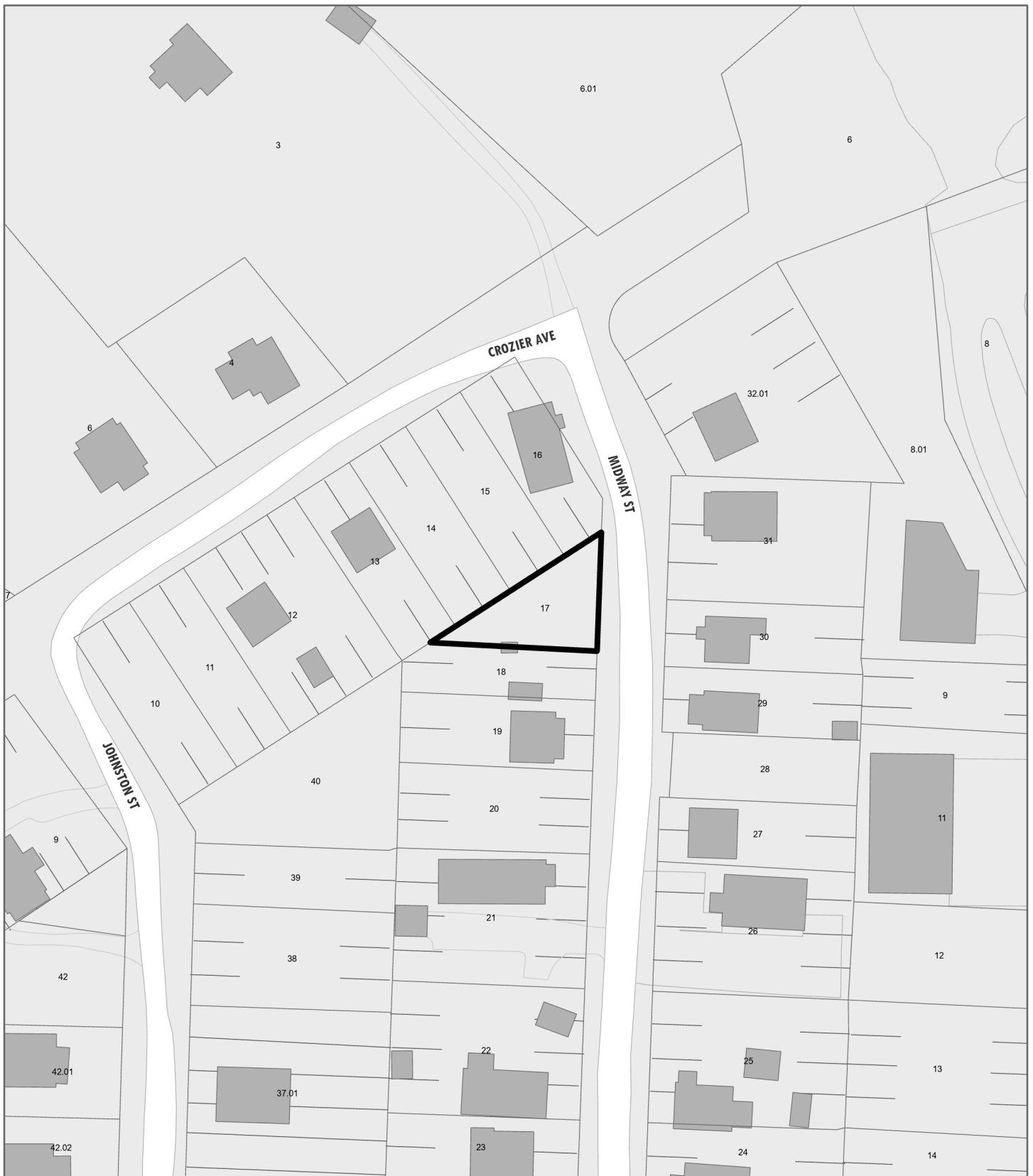
Porches and Stoops: Appropriate.

Windows and Doors: Appropriate.

Roof Shapes and Materials: Appropriate.

Siding Materials: Appropriate.

Applicable Design Guidelines



**DESIGN
REVIEW
BOARD**

8-B-26-IH
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

 **Lonsdale Infill Housing Overlay District**

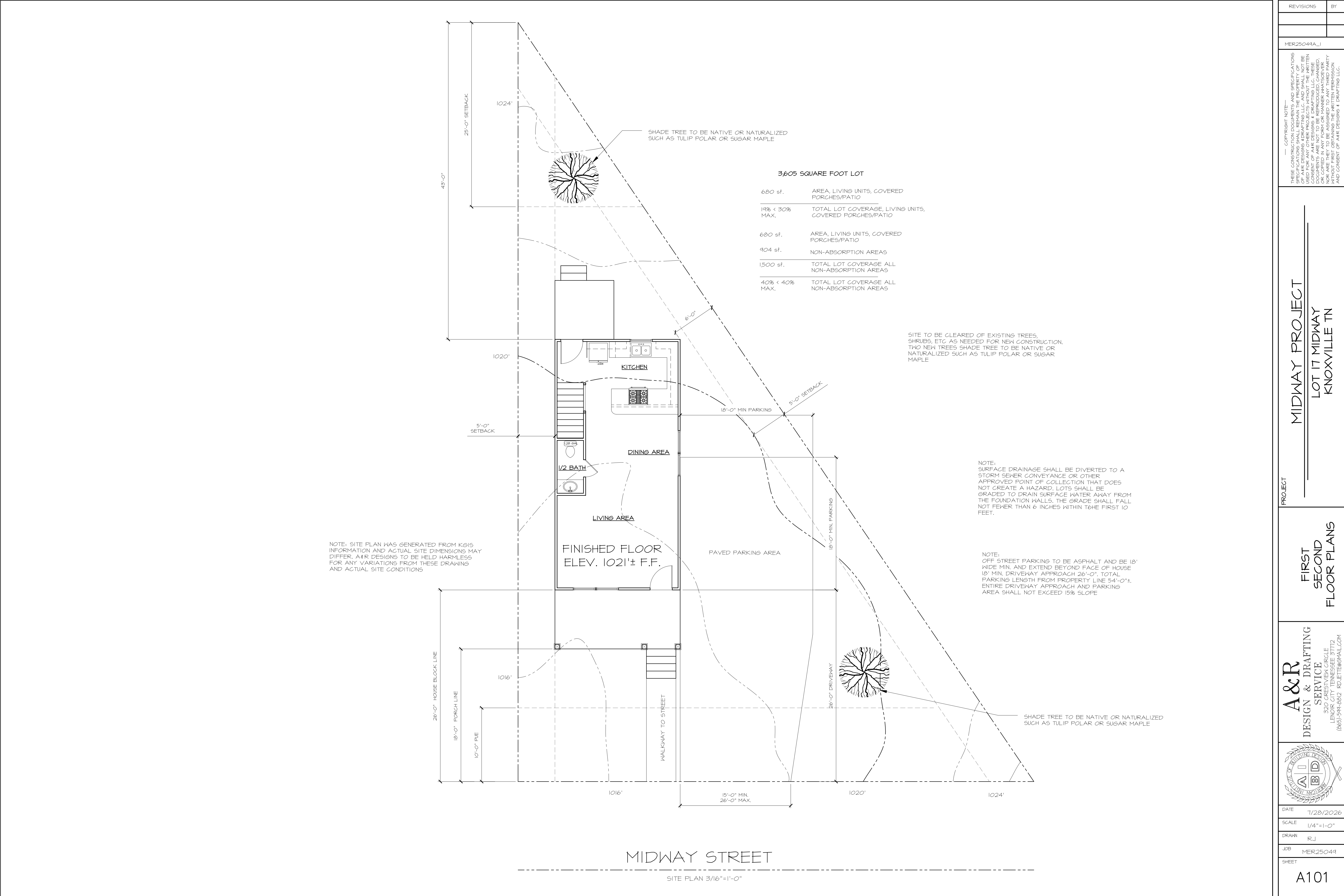
Original Print Date: 7/30/2026
Knoxville - Knox County Planning - Design Review Board

Revised:

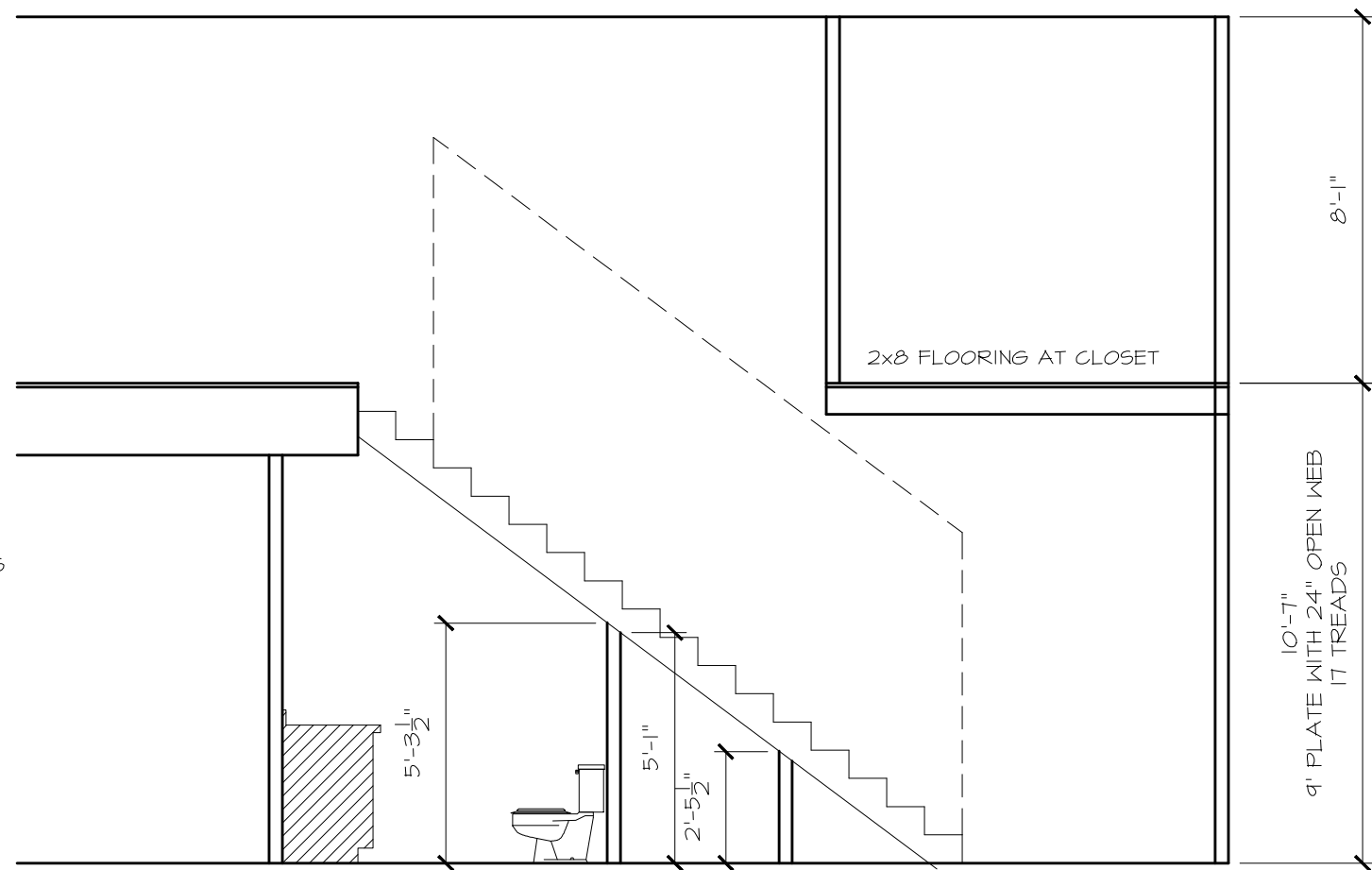
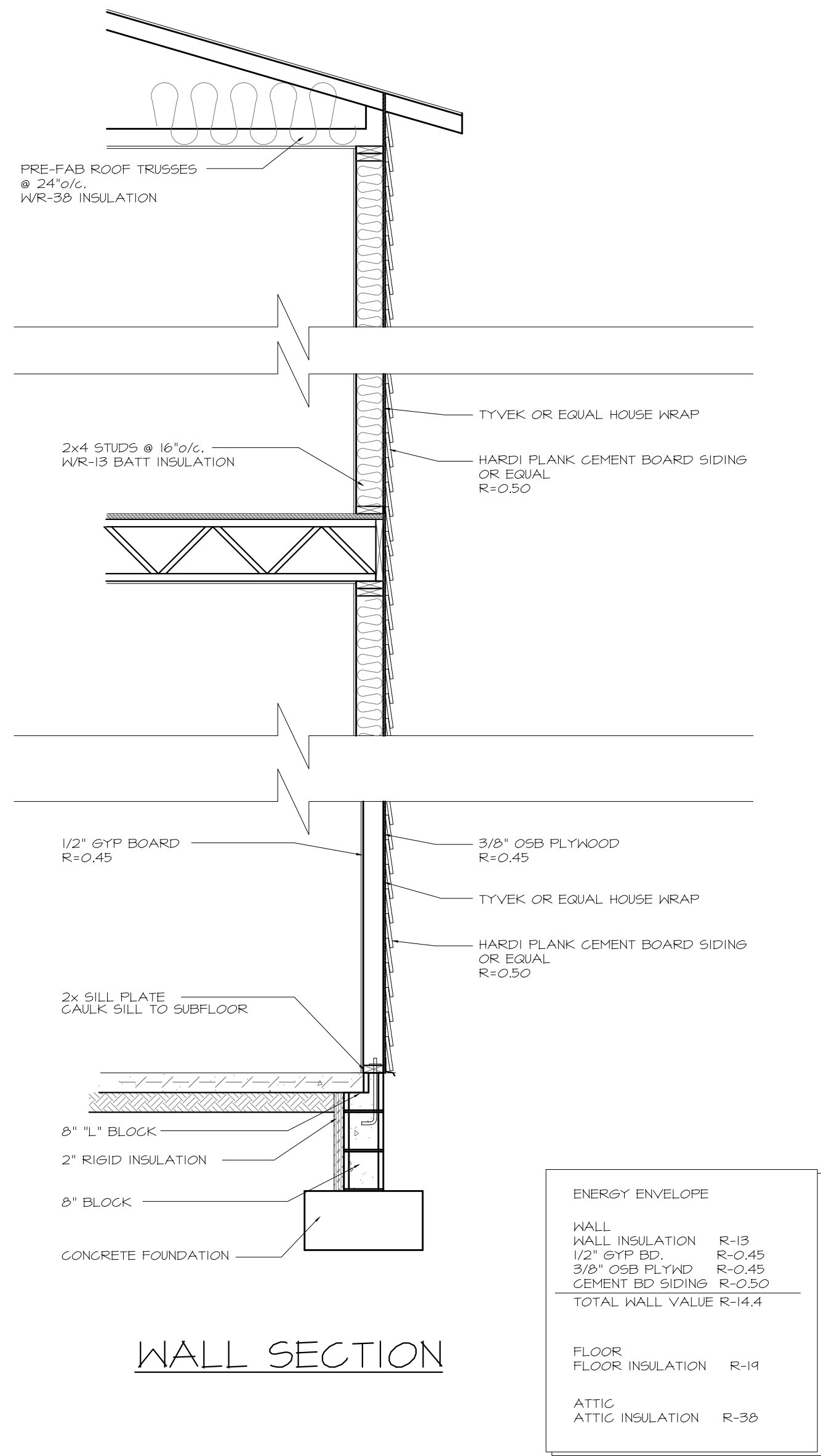
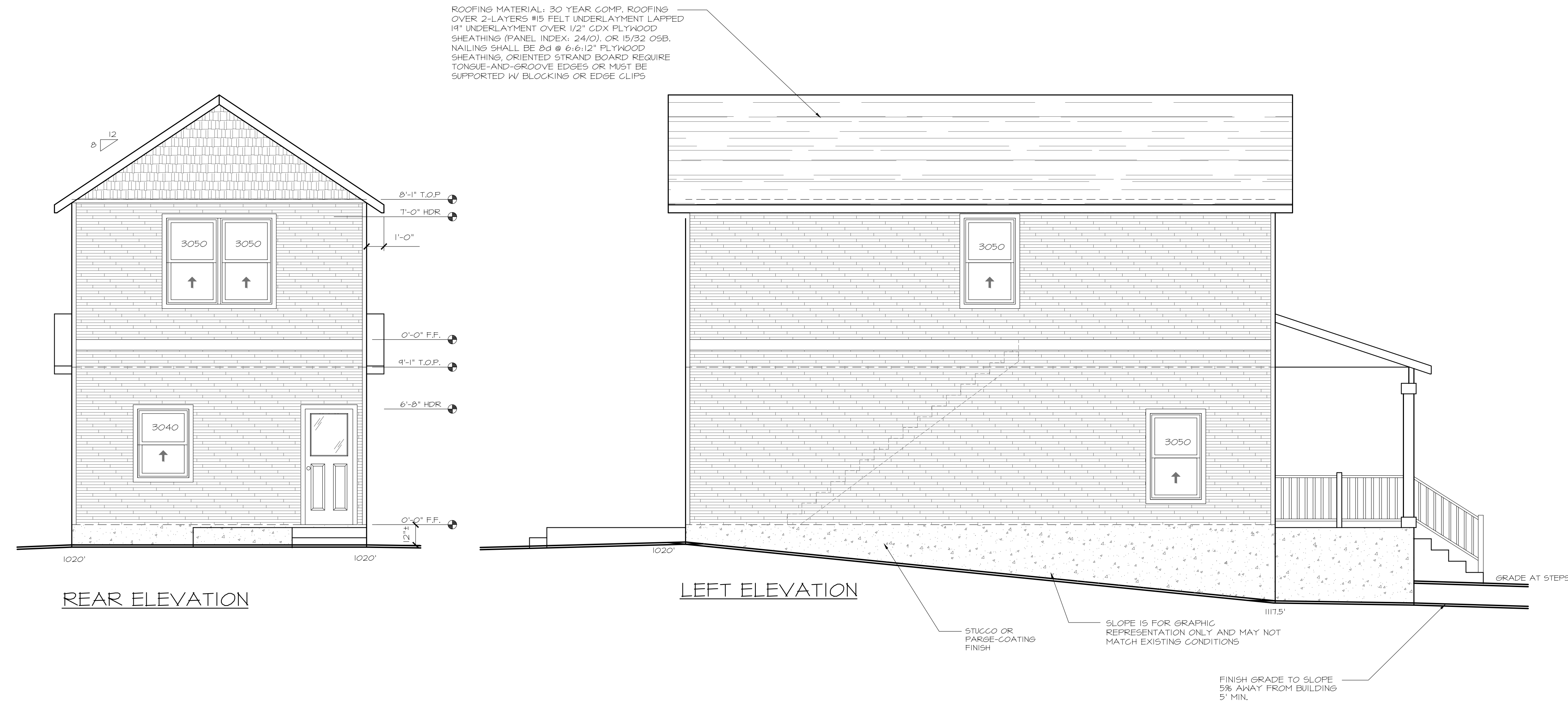
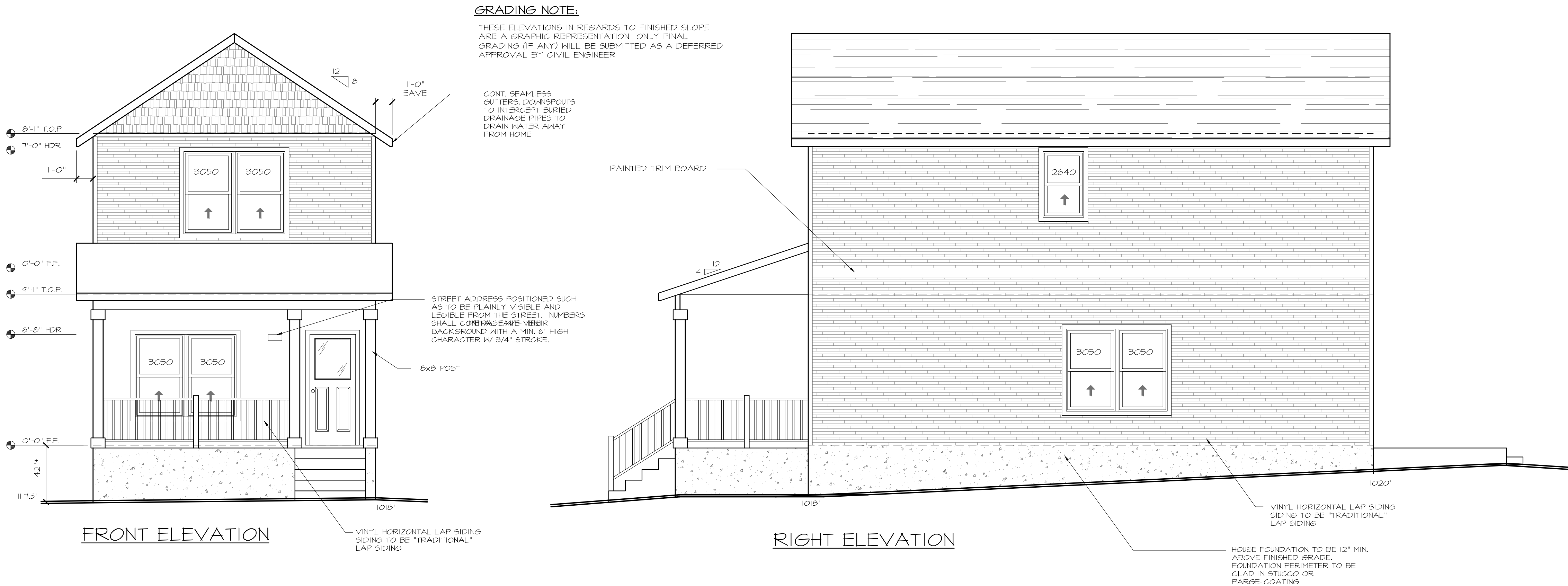
**Petitioner: R. Eberto Arellano ROE
Construction, LLC**



0 160
Feet



REVISIONS		BY
MER25049A_1		
— COPYRIGHT NOTE— THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS ARE THE PROPERTY OF A&R DESIGN & DRAFTING, LLC. AND SHALL NOT BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF A&R DESIGN & DRAFTING, LLC. ANY REPRODUCTION OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF A&R DESIGN & DRAFTING, LLC.		
PROJECT MIDWAY PROJECT LOT 17 MIDWAY KNOXVILLE TN		
FIRST SECOND FLOOR PLANS		
A&R DESIGN & DRAFTING SERVICE 320 CRESTVIEW CIRCLE LENOIR CITY TENNESSEE 37112 (865) 594-8912 RO.LETTE@GMAIL.COM		
DATE 7/28/2026		
SCALE 1/4"=1'-0"		
DRAWN RJ		
JOB MER25049		
SHEET A101		



- NOTE:**
- BALLOON FRAME ALL EXTERIOR WALLS WHERE APPLICABLE TO UNDERSIDE OF TRUSSES.
 - TWO (2) LAYERS OF GRADE "D" PAPER IS REQUIRED AT WOOD SHEAR PANELS
 - PROVIDE 1x3 WOOD BATTENS WHERE ROOF EXCEEDS 7/12 SEE E.R. #2656
 - EXTERIOR FINISH TO BE VERTICAL AND HORIZONTAL SIDING TO BE DETERMINED BY OWNER
 - GUTTER LOCATION AND MATERIAL AND STYLE TO BE DETERMINED BY OWNER ALL DOWNSPOUTS TO DRAIN INTO DRAINAGE LINES DISCHARGING AT THE LOWEST SIDE OF THE HOUSE
 - PROVIDE ATTIC VENTILATION AS PER CURRENT IRC SECT. 1203.2 FOR EAVE VENTS
PROVIDE 1sf OF VENT FOR EVERY 150sf OF ATTIC.
 - PROVIDE AN APPROVED WATERPROOF BUILDING PAPER UNDER WOOD SIDING

ATTIC VENTS HOUSE
(NOTE FOR 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDE A VAPOR RETARDED HAVING A TRANSMISSION RATE NOT TO EXCEED 1 PERM IN ACCORDANCE WITH ASTM E 96 IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION AND PROVIDED 50% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3' ABOVE EAVE.)

REVISIONS	BY

MER25049A_1

— COPYRIGHT NOTE—
THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS OF AIR DESIGNS DRAFTING LLC. AND SHALL NOT BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF AIR DESIGNS DRAFTING LLC. ANY REPRODUCTION OR COPIED IN ANY FORM OR MANNER WITHOUT THE WRITTEN PERMISSION OF AIR DESIGNS DRAFTING LLC.

MIDWAY PROJECT
LOT 17 MIDWAY
KNOXVILLE TN

PROJECT

EXTERIOR ELEVATIONS

A&R
DESIGN & DRAFTING
SERVICE
320 CRESVIEW CIRCLE
LENOIR CITY TENNESSEE 37112
(865) 594-8812 RO.LETTE@A&RLLC.COM

DATE 7/28/2026
SCALE 1/4"=1'-0"
DRAWN RJ
JOB MER25049
SHEET

A201

FLOOR PLAN NOTES:

- 2 X 4 STUDS DF #2 @ 16" O.C. @ ALL EXTERIOR WALLS WITH R-13 INSULATION, UNLO.
- 2 X 4 STUDS DF #2 @ 16" O.C. @ ALL INTERIOR WALLS UNLO.
- 2 X 6 STUDS DF #2 @ 24" O.C. @ ALL PLUMBING WALLS.
- ALL HARDWARE (DOOR, WINDOWS, HINGES ETC.) AS SELECTED BY OWNER.
- WINDOWS TO BE DUAL GLAZED. SEE EXTERIOR ELEVATIONS & FLOOR PLAN FOR WINDOW TYPES & SIZES.
- ALL GLASS 1/2" SINGLE PANEL GREATER THAN 96" AND OR WITHIN 18" OF FINISHED FLOOR IN GUARD AND HAND RAILS, AT BASE OF STAIRS, ADJACENT TO SHOWER AND TUBS (WITHIN 60" OF DRAIN) & WITHIN 24" OF DOORS AND IN DOORS SHALL BE TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC SHEET. CURRENT IRC, SECT 2406.4 SAFETY GLASS SHALL BE LOCATED AS PER INDICATED ON DRAWINGS AND AS PER CURRENT IRC.
- ALL LANDINGS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE THRESHOLD AT OUTWARD SWING DOORS, OR NOT TO BE MORE THAN 7-3/4" AT INWARD SWING DOORS.
- WIDTH OF LANDINGS SHALL NOT BE LESS THAN WIDTH OF DOOR MIN. OR 3' WHICH EVER IS GREATER.
- THE LANDING SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 36" MIN.
- SLOPE ALL LANDINGS AWAY FROM HOUSE 1/8" PER FOOT MIN. AND 1/4" PER FOOT MAX.
- KITCHEN APPLIANCES: MICROWAVE OVEN, CONVENTIONAL OVENS, RANGE TOP, DISHWASHER, GARBAGE DISPOSAL, FREE STANDING REFRIGERATOR, SINK(S) ETC. APPLIANCE COLOR AND STYLE TO BE DETERMINED BY OWNER.
- KITCHEN CABINETS: CENTER ISLAND TO HAVE UNDER CABINETS. ALL CABINET CONFIGURATION TO BE DETERMINED BY OWNER PRIOR TO FABRICATION AND INSTALLATION CABINET COLOR AND STYLE TO BE DETERMINED BY OWNER.
- WINDOWS IN BATHROOMS TO HAVE A MINIMUM NET OPENABLE AREA OF 15 s.f. FOR VENTILATION AND MECHANICALLY VENTED PER CURRENT IMC.
- WINDOWS IN SLEEPING ROOMS SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7 s.f. THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20" AND THE MINIMUM NET OPENABLE HEIGHT DIMENSION SHALL BE 24". THE FINISHED OPENING HEIGHT SHALL NOT BE MORE THAN 44" A.F.F. PER CURRENT IRC.
- ALL FIRE BLOCKING MATERIALS SHALL BE 2x4 OR 2x6 OR 5/8" TYPE "X" GYPSUM BOARD PANELS.
- PROVIDE DRAFT STOPPING AROUND OPENINGS, VENTS, PIPES, CHIMNEY, FIREPLACES, DUCTS OR SIMILAR OPENINGS THAT AFFORD PASSAGE OF FIRE AT CEILING AND FLOOR LEVELS @ BETWEEN ATTIC SPACES @ CHIMNEY CHASES FOR FACTORY BUILT CHIMNEYS.

GENERAL NOTES

CONTRACTOR TO FIELD VERIFY ALL GRADED AND/OR NON GRADING FOUNDATION CONDITIONS TO CONFIRM ALL EXTERIOR WALLS COMING INTO CONTACT WITH SOIL ARE TO BE EITHER POURED IN PLACE CONCRETE OR BLOCK CMU UNITS, PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO VERIFY ALL WINDOW & DOOR SIZES W/ OWNER.

PLUMBING, HVAC & ELECTRICAL CONTRACTORS SHALL BE RESPONSIBLE FOR DESIGN OF THEIR RESPECTIVE TRADES, WHICH SHALL MEET ALL APPLICABLE CODES AND ORDINANCES AND SHALL INCLUDE ALL LABOR AND MATERIAL FOR A COMPLETE JOB.

ALL EXTERIOR DOOR LANDINGS ARE TO BE 1-1/2" MAX. LOWER THAN TOP OF THRESHOLD ON OUT SWING DOORS. LANDING TO BE 7-3/4" MAX. LOWER THAN TOP OF THRESHOLD ON IN SWING DOORS.

FIELD VERIFY SUPPORT POST AND FOUNDATION SYSTEM FOR EXTERIOR STAIRS AND LANDING ACCESS TO HOUSE, DECK(S), ETC.

DRAFTSTOP REQUIRED WHERE THERE IS A USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFTSTOP MATERIAL SHALL BE NOT LESS THAN 1/2" GYP. BD. OR 3/8" PLYWOOD. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET.

DASHED LINES ABOVE KITCHEN/UTILITY ROOM/ETC CABINETS REPRESENTS UPPER CABINETS.

BUILT-IN WITH SHELVING ABOVE. STYLE TO BE DETERMINED BY OWNER. DOOR/WINDOW TRIM ON THE INTERIOR SIDE. STYLE AND SIZE TO BE DETERMINED BY OWNER.

METAL DECKING FOR LIGHT WEIGHT CONCRETE OVER SAFE ROOM. PERIMETER SUPPORT TO BE 3"x3"x1/4" ANGLE ATTACHED TO BLOCK WALL WITH 1/2" BOLTS @ 24" O.C. MAX. INTERMEDIATE SUPPORT TO BE 3"x3"x1/4" ANGLE SPACED AT 24" O.C. MAX.

ALL EXTERIOR/INTERIOR OPENING FOR DOOR, WINDOWS, DOG DOOR, SKYLIGHT(S), ETC. TO BE VERIFIED WITH OWNER FOR ROUGH FRAMING SIZE, STYLE AND LOCATION TO BE DETERMINED BY THE OWNER AND CONVEYED TO THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.

ALL PLUMBING FIXTURES, CABINET DESIGN(SIZES, LOCATIONS, ETC TO BE DETERMINED BY THE OWNER AND CONVEYED TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

4"Ø METAL DRYER NOT TO EXCEED 35". DUCT REDUCTION IRC SECTION M103.1 TABLE M103.2(A) DRYER VENT SHALL BE EQUIPPED WITH A LISTED BACK DRAFT DAMPER AT EQUIP TERMINATION.

ENERGY ENVELOPE

ALL EXTERIOR WALLS SHALL HAVE A R-13 INSULATION. ALL ATTIC AREAS TO HAVE R-38 INSULATION. ALL RAISED FLOOR AREAS TO HAVE R-19 INSULATION.

1/2" GYP. BD. TO BE INSTALLED PRIOR TO TUB/SHOWER INSERTS TO MAINTAIN COMPLETE THERMAL ENVELOPE. IF SHOWER IS TILE, TILE BACKING BOARD WILL SUBSTITUTE FOR THE 1/2" GYP. BD.

ALL WINDOWS SHALL HAVE A PENETRATION U-FACTOR OF 0.32 MAXIMUM. GLAZED PENETRATION SHGC OF 0.40 MAXIMUM.

ALL WINDOWS SHALL HAVE A PENETRATION U-FACTOR OF 0.32 MAXIMUM. GLAZED PENETRATION SHGC OF 0.40 MAXIMUM.

ENERGY EFFICIENCY CERTIFICATE

A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSTALLED INSULATION U-FACTORS OF PENETRATION. THE CERTIFICATE SHALL ALSO LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATER EQUIPMENT.

MECHANICAL VENTILATION

PROVIDE CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION THAT COMPLIES TO CURRENT IRC, N103.6 SECTION M105.9 (2140s) HOUSE WITH 3 BEDROOMS = 60 CFM. SYSTEM TO BE EQUIPPED WITH A MANUAL SHUT-OFF SWITCH. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE SYSTEM IS NOT OPERATING.

HVAC SIZING:

HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH "ACCA" MANUAL "S" BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH "ACCA" MANUAL "J" OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. NEW OR REPLACED HEATING AND COOLING EQUIPMENT SHALL HAVE AN EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MIN-MUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED.

BUILDING INSPECTOR TO FIELD VERIFY ACTUAL PENETRATION U-VALUES

NOTE:

WINDOW FALL PROTECTION - IN DWELLINGS UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" A.F.F. AND GREATER THAN 12" A.F.F. OR OTHER SURFACES BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL BE PROVIDED WITH A WINDOW FALL PROTECTION DEVICES WHICH COMPLIES WITH ASTM F2040 AND LIMITS THE OPERABLE WINDOW OPENING SO AS TO NOT ALLOW PASSAGE OF A 4" SPHERE. THE WINDOW OPENING CONTROL DEVICE, AFTER OPENING TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R3102.1

WALL LEGEND

- 2 X 4 STUDS @ 16" O.C.
- 2 X 6 STUDS @ 16" O.C.
- TWO (2) STORIES HIGH STUDS TO BE EITHER PSL OR RIPPED LVL TO 5.5" WIDE.
- BRICK/STONE VENEER
- FOUR IN PLACE CONCRETE WALL
- BLOCK WALL
- INSULATED CONCRETE FORMS (ICF)

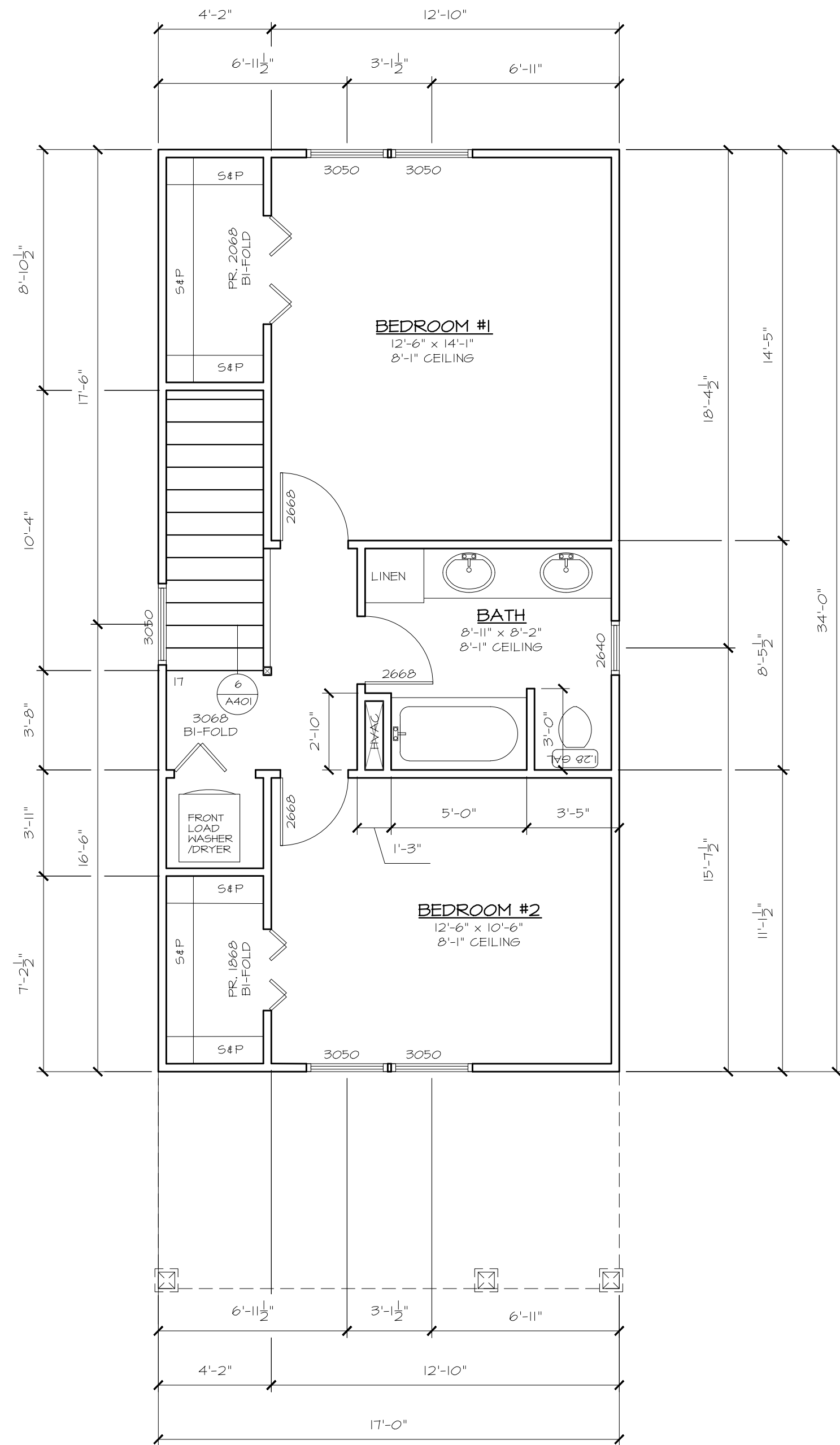
STAIR NOTES

STAIRS RISE TO BE 7-3/4" MAX AND RUN TO BE 10" MIN. TOLERANCE BETWEEN THE RISER DIFFERENCE AND RUN DEPTH SHALL NOT 3/8" IN ANY FLIGHT OF STIRS.

STAIR HANDRAILS AS PER CURRENT IRC HANDRAIL TO BE 34"-38" ABOVE NOSING TREAD AND 1 1/4" TO 2" IN DIA. HANDRAIL TO END INTO A POST OR RETURN TO WALL. BALLARDS TO BE PLACED SUCH THAT A 4" SPHERE CANNOT PASS THRU. HANDRAIL TO BE CONTINUOUS WITH NO BREAKS.

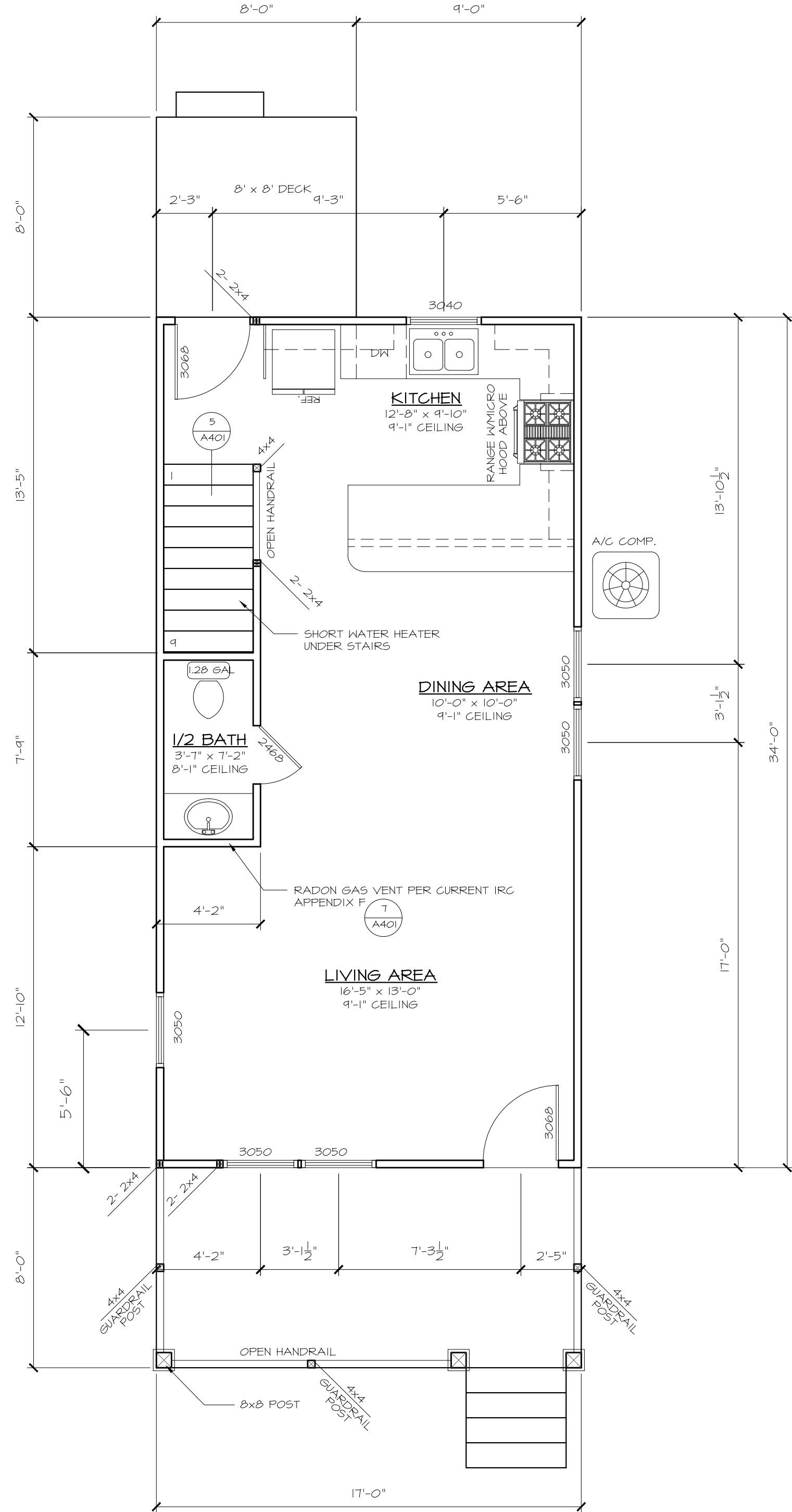
GUARDRAILS AS PER CURRENT IRC. GUARDRAIL TO BE 42" ABOVE FINISH FLOOR. OPEN GUARDRAIL TO HAVE BALLARDS SUCH THAT A 4" SPHERE CANNOT PASS THRU. GUARDRAIL TO BE CONTINUOUS WITH NO BREAKS.

USEABLE AREA UNDER STAIRS SHALL BE WRAPPED IN 1/2 GYP BR.



SECOND FLOOR PLAN

538sf



FIRST FLOOR PLAN

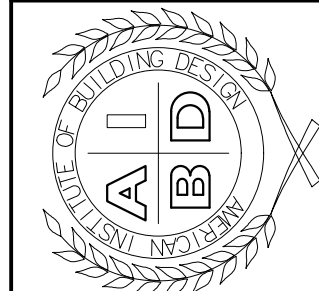
578sf

REVISIONS	BY
MER25049A_1	
— COPYRIGHT NOTE— THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS ARE THE PROPERTY OF A&R DESIGN & DRAFTING, LLC. AND SHALL NOT BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF A&R DESIGN & DRAFTING, LLC. ANY COPIES OR REPRODUCTIONS OF THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF A&R DESIGN & DRAFTING, LLC.	

MIDWAY PROJECT
LOT 17 MIDWAY
KNOXVILLE TN

FIRST
SECOND
FLOOR PLANS

A&R
DESIGN & DRAFTING
SERVICE
320 CRESTVIEW CIRCLE
LENOIR CITY TENNESSEE 37112
(865) 594-8912 RD.BETTE@A&R.COM



DATE	7/28/2026
SCALE	1/4"=1'-0"
DRAWN	RJ
JOB	MER25049
SHEET	A101