

File Number: 8-A-26-IH

**Meeting:** 8/19/2026  
**Applicant:** Mike Ballinger Rock Creek Construction Inc  
**Owner:** Charles Obenschain  
**District:** Lonsdale Infill Housing Overlay District

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### Property Information

**Location:** 1725 Texas Ave. **Parcel ID:** 81 P D 033  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**Description:** New primary structure

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### Staff Recommendation

Staff recommends approval of Certificate 8-A-26-IH, subject to the following conditions:

- 1) the final site plan to meet City Engineering standards, with minor revisions to be approved by staff;
- 2) major changes to the foundation height to return to the Board for review;
- 3) retaining the porch posts, trims, and gable brackets as depicted.

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### Description of Work

Level III

New Primary Structure

New primary residence fronting Texas Avenue. The one-story house is 25' wide by 50' long (excluding porch), with a front gable roof (8/12 pitch, clad in an unspecified material) and a centrally located porch projecting 8' covered by a smaller front gable roof (8/12 pitch). The house will be clad in vinyl lap siding and features eight 6/6 double-hung windows and one 4/4 double hung window. The house is proposed to be set 25' from the front property line, on a concrete foundation with parge coat, or clad in brick venner or stucco. A concrete parking pad is proposed behind the house and accessed via the alley. Site plan includes a tree in the front and rear yards and a walkway from the street to the front porch and another walkway from the parking pad to a secondary entrance on the right elevation.

The façade (south) features a centrally located paneled door flanked by one 6/6 double-hung window on each side. The porch is supported by four 10" framed columns. The left elevation features two 6/6 double-hung windows and one smaller 4/4 double-hung window. The right elevation features two 6/6 double-hung windows and a door. The rear elevation features two 6/6 double-hung windows.

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### Comments

Front Yards: Appropriate. The average front setback of the block is 25', including porches.

House Orientation and Side Yards: Appropriate.

Alleys, Parking, and Services: Appropriate. Revisions to the site plan may be necessary to meet City Engineering standards.

Scale, Mass, and Foundation Height: Appropriate. Plan notes foundation wall will be parge-coated, or clad in brick venner or stucco. Major changes to the foundation height must return to the Board for review.

Porches and Stoops: Appropriate. The applicant should specify the framing materials of the 10" square columns.

Windows and Doors: Appropriate.

Roof Shapes and Materials: Appropriate. The applicant should specify roofing materials. The guidelines recommend darker shades of shingles as roofing materials.

Siding Materials: Appropriate.

Landscape: Appropriate.

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## Applicable Design Guidelines

### Heart of Knoxville Infill Housing Design Guidelines

#### 1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

#### 2. House Orientation and Side Lots

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

#### 3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.

#### 4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.

#### 5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches

along the street.

- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron, antebellum columns and other materials that were not used in the early 1900's should not be used.

#### 6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as picture windows should not be used in pre-World War II neighborhoods.

#### 7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

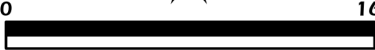
#### 8. Siding Materials

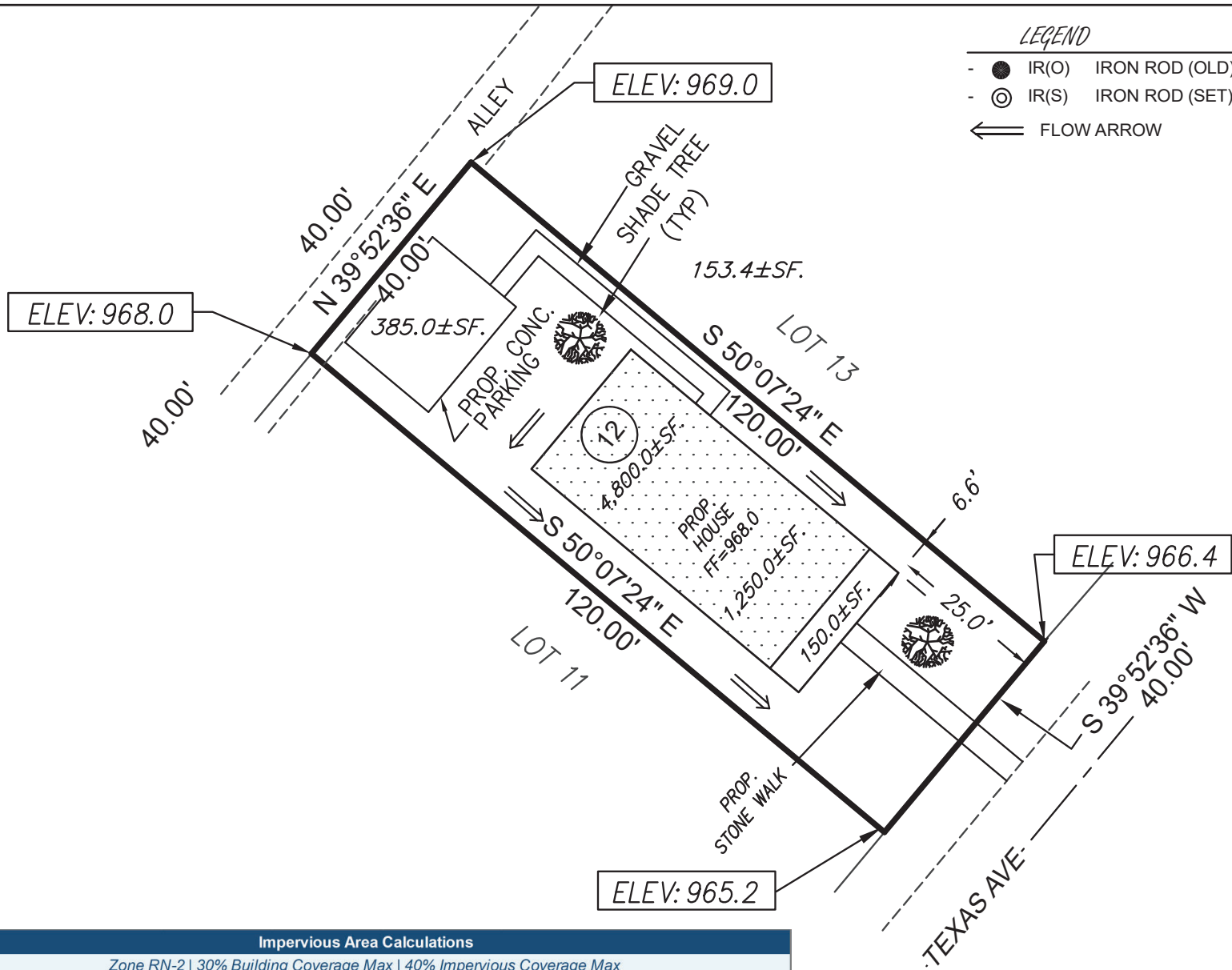
- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

#### 11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.



|                                                                                          |                                                                                     |                                                   |                                                                                                                                                                                        |  |
|------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|---------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| <b>DESIGN<br/>REVIEW<br/>BOARD</b>                                                       | <b>8-A-26-IH</b>                                                                    |                                                   | Petitioner: Mike Ballinger Rock Creek<br>Construction Inc                                                                                                                              |  |
|                                                                                          | <b>APPLICATION FOR CERTIFICATE OF APPROPRIATENESS</b>                               |                                                   |                                                                                                                                                                                        |  |
|                                                                                          |  | _____<br>Lonsdale Infill Housing Overlay District |                                                                                                                                                                                        |  |
| Original Print Date: 7/30/2026<br>Knoxville - Knox County Planning - Design Review Board |                                                                                     | Revised: _____                                    | <br><br>Feet |  |



| Impervious Area Calculations                                        |                |                         |                  |                   |
|---------------------------------------------------------------------|----------------|-------------------------|------------------|-------------------|
| Zone RN-2   30% Building Coverage Max   40% Impervious Coverage Max |                |                         |                  |                   |
| PROJECT LIMITS                                                      |                |                         |                  |                   |
| Lot Area (sqft)                                                     | 4,800.00       | Zone                    | RN-2             |                   |
| Building Coverage Max                                               | 30.00%         | Impervious Coverage Max | 40.00%           |                   |
| Lot / Subdivision                                                   | 1725 Texas Ave |                         |                  |                   |
| AREA INVENTORY                                                      |                |                         |                  |                   |
| Site Element                                                        | Area (sqft)    | Building SF             | Impervious SF    | Treatment / Notes |
| Ex. House                                                           | 1,250.00       | 1,250.00                | 1,250.00         | Counted           |
| Porch                                                               | 150.00         | 0.00                    | 150.00           | Counted           |
| Walk                                                                | 153.40         | 0.00                    | 153.40           | Counted           |
| Parking Pad                                                         | 385.00         | 0.00                    | 385.00           | Counted           |
| NET TOTALS                                                          |                | 1,250.00                | 1,938.40         |                   |
| FINAL COVERAGE REVIEW                                               |                |                         |                  |                   |
| Coverage Type                                                       | Max Allowed    | Actual                  | Used Area (sqft) |                   |
| Building Coverage                                                   | 30.00%         | 26.0%                   | 1,250.00         |                   |
| Impervious Coverage                                                 | 40.00%         | 40%                     | 1,938.4          |                   |

BUILDING SETBACKS: RN-2 ZONING

FRONT: 20', OR THE AVERAGE OF BLOCKFACE, WHICHEVER IS LESS; IN NO CASE LESS THAN 10'  
SIDES: 5' OR 15% OF LOT WIDTH, WHICHEVER IS LESS; IN NO CASE LESS THAN 15' COMBINED  
REAR: 25'

GRAPHIC SCALE



( IN FEET )

SITE NOTES 1 inch = 30 ft.

- CORNER MONUMENTS AS SHOWN HEREON
- VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- DEED REFERENCE: INSTRUMENT # 202302150045121; PLAT CAB 5, SLIDE 183
- PROPERTY SHOWN ON MAP 81 INSERT P, GROUP D, PARCEL(S) 31 & 32
- TOTAL AREA: 9,600± SQFT.
- ZONING DISTRICT: RN-2
- NO CERTIFICATION IS MADE REGARDING ZONING CONFORMANCE.
- ALL STRUCUTRES, UTILITIES AND / OR EASEMENTS THAT MAY EXIST ON OR CROSSING SURVEYED PROPERTY, NOT SHOWN THIS SURVEY.
- SURVEYED PROPERTY IS SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS, RIGHT -OF-WAYS, & RESTRICTIONS OF RECORD OR CLAIMS OF EASEMENTS OR RIGHT-OF-WAYS, NOT SHOWN BY PUBLIC RECORDS.



OWNER:  
OBENSCHAIN CHARLES &  
LESLI  
3008 GIBBS DR  
KNOXVILLE, TN 37918

LeMAY & ASSOCIATES  
CONSULTING ENGINEERS

10816 KINGSTON PIKE  
KNOXVILLE, TN. 37934  
PH: 865-671-0183

PLOT PLAN

LOT 12  
*LONSDALE ADDITION*

1725 TEXAS AVE.  
KNOXVILLE, TN 37921

REV: 8-3-2026

SCALE: 1" = 30'

DWG. NO. 6703

DRAWN BY: RELjr.

SPEC HOUSE  
1725 TEXAS AVE  
KNOXVILLE TENNESSEE



STANDARD ABBREVIATIONS

|        |                      |       |                        |
|--------|----------------------|-------|------------------------|
| C.L.   | CENTERLINE           | EQ    | EQUAL                  |
| Ø      | DIAMETER             | EQUIP | EQUIPMENT              |
| PLT    | PLATE                | EXT   | EXTERIOR               |
| #      | POUND/NUMBER         | FA    | FIRE ALARM             |
| (E)    | EXISTING             | FD    | FLOOR DRAIN            |
| (N)    | NEW                  | FE    | FIRE EXTINGUISHER      |
| A.F.G. | ABOVE FINISHED GRADE | FF    | FINISHED FLOOR         |
| AVG    | AVERAGE              | FG    | FINISHED GRADE         |
| BLDG   | BUILDING             | GYP   | GYPSUM                 |
| BLK    | BLOCK                | HB    | HOSE BIB               |
| CAB    | CABINET              | INSUL | INSULATION             |
| CB     | CATCH BASIN          | KD    | KILN DRIED             |
| CI     | CAST IRON            | LAV   | LAVATORY               |
| CJ     | CONTROL JOINT        | NTS   | NOT TO SCALE           |
| CLG    | CEILING              | o/c   | ON CENTER              |
| CLKG   | CAULKING             | PL    | PROPERTY LINE          |
| CLR    | CLEAR                | PLYWD | PLYWOOD                |
| CO     | CLEANOUT             | PT    | PRESSURE TREATED       |
| COL    | COLUMN               | RB    | REFRIGERATOR WATER BIB |
| CONC   | CONCRETE             | RM    | ROOM                   |
| DBL    | DOUBLE               | RO    | ROUGH OPENING          |
| DEPT   | DEPARTMENT           | SIM   | SIMILAR                |
| DF     | DRINKING FOUNTAIN    | SQ    | SQUARE                 |
| DIA    | DIAMETER             | SS    | SERVICE SINK           |
| DIM    | DIMENSION            | STD   | STANDARD               |
| DN     | DOWN                 | T&G   | TONGUE & GROOVE        |
| D5     | DOWNSPOUT            | TOC   | TOP OF CURB            |
| DW     | DISHWASHER           | TOP   | TOP OF PLATE           |
| DWG    | DRAWING              | TEMP  | TEMPERED PLATE GLASS   |
| EA     | EACH                 | TYP   | TYPICAL                |
| EJ     | EXPANSION JOINT      | W     | WITH                   |
| ELEC   | ELECTRICAL           | WC    | WATER CLOSET           |
|        |                      | WD    | WOOD                   |

SHEET INDEX

|      |                                                   |
|------|---------------------------------------------------|
| 6000 | TITLE SHEET                                       |
| 6001 | GENERAL NOTES, NAILING SCHEDULE, & SYMBOLS LEGEND |
| A101 | FLOOR PLAN                                        |
| A201 | ELEVATIONS / WALL SECTION                         |
| A301 | REFLECTED CEILING ROOF PLAN                       |
| A401 | GENERAL DETAILS                                   |
| S101 | BRACED WALL PLAN FOUNDATION PLAN                  |
| S201 | ROOF FRAMING PLAN                                 |
| S301 | CONSTRUCTION DETAILS                              |
| P101 | PLUMBING PLAN                                     |
| E101 | ELECTRIC PLAN                                     |

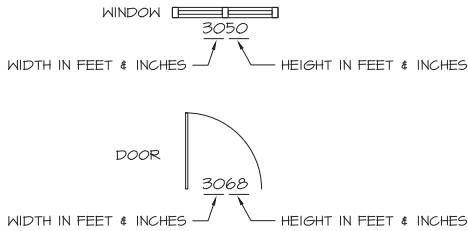
BUILDING ANALYSIS

|          |                         |
|----------|-------------------------|
| R3       | OCCUPANCY TYPE          |
| VB       | CONSTRUCTION TYPE       |
| ONE      | STORY                   |
| 1,250 sf | HOUSE                   |
| 1,250 sf | TOTAL CONDITIONED SPACE |
| 184 sf   | COVERED FRONT PORCH     |
| 120 sf   | BACK PATIO              |

SCOPE OF WORK:  
CONSTRUCTION OF NEW RESIDENCE  
HOUSE ON SLAB FLOOR FOUNDATION. AS PER CURRENT IRC  
WORK SHALL INCLUDE BUT NOT BE LIMITED  
TO SITE CLEARING AND GRADE, SITE WORK &  
DRAINAGE SYSTEMS. COMPLETE FORM WORK OF  
SLABS & FLOORS & COMPLETE CONSTRUCTION  
OF LIVING UNITS.

SYMBOLS LEGEND

|  |                                      |
|--|--------------------------------------|
|  | SECTION ID. #<br>ON SHEET #          |
|  | DETAIL ID. #<br>ON SHEET #           |
|  | DETAIL ID. #<br>ON SHEET #           |
|  | PLUMBING ID. #<br>PLUMBING ID. #     |
|  | MECHANICAL ID. #<br>MECHANICAL ID. # |



|                                                                                                                                                                                                                                                                                                                                                                    |           |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| REVISIONS                                                                                                                                                                                                                                                                                                                                                          | BY        |
|                                                                                                                                                                                                                                                                                                                                                                    |           |
|                                                                                                                                                                                                                                                                                                                                                                    |           |
| BAL26024A_I                                                                                                                                                                                                                                                                                                                                                        |           |
| — COPYRIGHT NOTE—<br>THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS<br>SPECIFICATIONS SHALL REMAIN THE PROPERTY OF<br>A&R DESIGN & DRAFTING, LLC. THESE<br>DOCUMENTS ARE NOT TO BE REPRODUCED, COPIED,<br>OR COPIED IN ANY FORM OR MANNER WHATSOEVER,<br>WITHOUT THE WRITTEN CONSENT OF A&R DESIGN & DRAFTING, LLC.<br>AND CONSENT OF A&R DESIGN & DRAFTING, LLC. |           |
| PROJECT<br>SPEC HOUSE<br>1725 TEXAS AVE<br>KNOXVILLE TN                                                                                                                                                                                                                                                                                                            |           |
| COVER SHEET                                                                                                                                                                                                                                                                                                                                                        |           |
| A&R<br>DESIGN & DRAFTING<br>SERVICE<br>300 CRYSTAL CIRCLE<br>LENOIR CITY, TENNESSEE 37712<br>(615) 594-9912 RDLETT@aol.com                                                                                                                                                                                                                                         |           |
| DATE                                                                                                                                                                                                                                                                                                                                                               | 7/30/2026 |
| SCALE                                                                                                                                                                                                                                                                                                                                                              | N.T.S.    |
| DRAWN                                                                                                                                                                                                                                                                                                                                                              | RJ        |
| JOB                                                                                                                                                                                                                                                                                                                                                                | BAL26024  |
| SHEET                                                                                                                                                                                                                                                                                                                                                              | G000      |

FLOOR PLAN NOTES:

- 2 X 4 STUDS DF #2 @ 16" O.C. @ ALL EXTERIOR WALLS WITH R-13 INSULATION. U.N.O.
- 2 X 4 STUDS DF #2 @ 16" O.C. @ ALL INTERIOR WALLS U.N.O.
- 2 X 6 STUDS DF #2 @ 24" O.C. @ ALL PLUMBING WALLS.
- ALL HARDWARE (DOOR, WINDOWS, HINGES ETC.) AS SELECTED BY OWNER.
- WINDOWS TO BE DUAL GLAZED. SEE EXTERIOR ELEVATIONS
- FLOOR PLAN FOR WINDOW TYPES & SIZES.
- ALL GLASS W/ SINGLE PANEL GREATER THAN 45". AND OR WITHIN 18" OF FINISHED FLOOR IN GUARD AND HAND RAILS, AT BASE OF STAIRS, ADJACENT TO SHOWER AND TUBS (WITHIN 60" OF DRAIN) & WITHIN 24" OF DOORS AND IN DOORS SHALL BE TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC SHEET. CURRENT IRC SECT 2406.4 SAFETY GLASS SHALL BE LOCATED AS PER INDICATED ON DRAWINGS AND AS PER CURRENT IRC.
- ALL LANDINGS SHALL NOT BE MORE THAN 1-1/2' LOWER THAN THE THRESHOLD AT OUTWARD SWING DOORS, OR NOT TO BE MORE THANK 7-3/4" AT INWARD SWING DOORS.
- WIDTH OF LANDINGS SHALL NOT BE LESS THAN WIDTH OF DOOR MIN. OR 3' WHICH EVER IS GREATER.
- THE LANDING SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 36" MIN.
- SLOPE ALL LANDINGS AWAY FROM HOUSE 1/8" PER FOOT MIN. AND 1/4" PER FOOT MAX.
- KITCHEN APPLIANCES: MICROWAVE OVEN, CONVENTIONAL OVENS, RANGE TOP, DISHWASHER, GARBAGE DISPOSAL, FREE STANDING REFRIGERATOR, SINK(S) ETC. APPLIANCE COLOR AND STYLE TO BE DETERMINED BY OWNER.
- KITCHEN CABINETS: CENTER ISLAND TO HAVE UNDER CABINETS, ALL CABINET CONFIGURATION TO BE DETERMINED BY OWNER PRIOR TO FABRICATION AND INSTALLATION CABINET COLOR AND STYLE TO BE DETERMINED BY OWNER.
- WINDOWS IN BATHROOMS TO HAVE A MINIMUM NET OPENABLE AREA OF 1.5 s.f. FOR VENTILATION AND MECHANICALLY VENTED PER CURRENT IRC.
- WINDOWS IN SLEEPING ROOMS SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7 s.f. THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20" AND THE MINIMUM NET OPENABLE HEIGHT DIMENSION SHALL BE 24". THE FINISHED OPENING HEIGHT SHALL NOT BE MORE THAN 44" A.F.F. PER CURRENT IRC.
- ALL FIRE BLOCKING MATERIALS SHALL BE 2x4 OR 2x6 OR 5/8" TYPE "X" GYPSUM BOARD PANELS.
- PROVIDE DRAFT STOPPINGS AROUND OPENINGS, VENTS, PIPES, CHIMNEY, FIREPLACES, DUCTS OR SIMILAR OPENINGS THAT AFFORD PASSAGE OF FIRE AT CEILING AND FLOOR LEVELS @ BETWEEN ATTIC SPACES @ CHIMNEY CHASES FOR FACTORY BUILT CHIMNEYS.
- FIRE BLOCKS & DRAFT STOPS TO BE INSTALLED AT THE FOLLOWING LOCATIONS: (2x SAME MATERIAL AS WALL FRAMING)
  - OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, W/ NONCOMBUSTIBLE MATERIALS.
  - CONCEALED SPACE OF A FLOOR CEILING ASSEMBLY DRAFT STOPS SHALL BE INSTALLED SO THAT THE SPACE DOES NOT EXCEED 1000 SQ FT. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROX. STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROX. EQUAL AREAS. DRAFT STOPPING MAT'L'S SHOULD NOT BE LESS THEN 1/2" GYP BD, 3/8" PLYMD, 5/8" TYPE 2-1/4 PARTICLE BD, OR OTHER MAT'L'S APPROVED BY THE BUILDING DEPT. AND CURRENT IRC.
  - AT SOFFITS AND 10' MAX VERTICAL IN WALLS.
  - SEAL ALL DUCT AND PIPE PENETRATIONS THROUGH THE GARAGE FIRE WALL WITH AN APPROVED NON-COMBUSTIBLE MATERIAL.
- ALL PENETRATION OF THE FIRE RATED WALLS MUST COMPLY WITH IRC SECTION T14 IF THE PENETRATION CANNOT COMPLY WITH THE EXCEPTIONS THAN SUBMIT A LISTED PENETRATION FIRE STOP SYSTEM AS SPECIFIED IN IC SECTIONS T14 TO THE GOVERNING MUNICIPALITY FOR APPROVAL PRIOR TO INSTALLATION.
- TYPICAL ANGLE IS 45° UNLESS NOTED OTHERWISE.
- WINDOW FRAMES TO BE NON-METALLIC.
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- SPECIAL INSPECTION AS PER IRC IT05 IS REQUIRED FOR THE FOLLOWING:
  - BOLTS INSTALLED IN CONCRETE WITH ASSUMED STRESS INCREASES.
  - SHOP AND FIELD STRUCTURAL WELDING.
  - INSTALLATION OF EPOXY INSTALLED ANCHOR BOLTS.
  - INSTALLATION OF HIGH-STRENGTH BOLTS.

NOTE:

WINDOW FALL PROTECTION - IN DWELLINGS UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" A.F.F. AND GREATER THAN 12" A.F.F. OR OTHER SURFACES BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL BE PROVIDED WITH A WINDOW FALL PROTECTION DEVICES WHICH COMPLIES WITH ASTM F2040 AND LIMITS THE OPERABLE WINDOW OPENINGS SO AS TO NOT ALLOW PASSAGE OF A 4" SPHERE. THE WINDOW OPENING CONTROL DEVICE, AFTER OPENING TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.2.1

ENERGY ENVELOPE

ALL EXTERIOR WALLS SHALL HAVE A R-13 INSULATION.  
ALL ATTIC AREAS TO HAVE R-30 INSULATION.  
ALL RAISED FLOOR AREAS TO HAVE R-13 INSULATION.

1/2" GYP BD. TO BE INSTALLED PRIOR TO TUB/SHOWER INSERTS TO MAINTAIN COMPLETE THERMAL ENVELOPE. IF SHOWER IS TILE, TILE BACKING BOARD WILL SUBSTITUTE FOR THE 1/2" GYP. BD.

ALL WINDOWS SHALL HAVE A FENESTRATION U-FACTOR OF 0.32 MAXIMUM. GLAZED FENESTRATION SH66 OF 0.40 MAXIMUM

ALL WINDOWS SHALL HAVE A FENESTRATION U-FACTOR OF 0.32 MAXIMUM. GLAZED FENESTRATION SH66 OF 0.40 MAXIMUM

ENERGY EFFICIENCY CERTIFICATE

A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. BY THE BUILDER. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSTALLED INSULATION U-FACTORS OF FENESTRATION. THE CERTIFICATE SHALL ALSO LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATER EQUIPMENT.

MECHANICAL VENTILATION

PROVIDE CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION THAT COMPLIES TO CURRENT IRC N103.6 SECTION M505 (1956) HOUSE WITH 5 BEDROOMS = 75CFM. SYSTEM TO BE EQUIPPED WITH A MANUAL SHUT-OFF SWITCH. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPENERS THAT CLOSE WHEN THE SYSTEM IS NOT OPERATING.

HVAC SIZING:

HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH "ACCA" MANUAL "S" BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH "ACCA" MANUAL "J" OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. NEW OR REPLACED HEATING AND COOLING EQUIPMENT SHALL HAVE AN EFFICIENCY RATINGS EQUAL TO OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED

BUILDING INSPECTOR TO FIELD VERIFY ACTUAL FENESTRATION U-VALUES

GENERAL NOTES

CONTRACTOR TO FIELD VERIFY ALL GRADED AND/OR NON GRADING FOUNDATION CONDITIONS TO CONFIRM ALL EXTERIOR WALLS COMING INTO CONTACT WITH SOIL ARE TO BE EITHER POURED IN PLACE CONCRETE OR BLOCK CMU UNITS. PRIOR TO START OF CONSTRUCTION.

CONTRACTOR TO VERIFY ALL WINDOW & DOOR SIZES W/ OWNER.

PLUMBING, HVAC & ELECTRICAL CONTRACTORS SHALL BE RESPONSIBLE FOR DESIGN OF THEIR RESPECTIVE TRADES, WHICH SHALL MEET ALL APPLICABLE CODES AND ORDINANCES AND SHALL INCLUDE ALL LABOR AND MATERIAL FOR A COMPLETE JOB.

ALL EXTERIOR DOOR LANDINGS ARE TO BE 1-1/2" MAX. LOWER THAN TOP OF THRESHOLD ON OUT SWING DOORS. LANDINGS TO BE 7-3/4" MAX. LOWER THAN TOP OF THRESHOLD ON IN SWING DOORS.

FIELD VERIFY SUPPORT POST AND FOUNDATION SYSTEM FOR EXTERIOR STAIRS AND LANDING ACCESS TO HOUSE DECK(S), ETC.

DRAFTSTOP REQUIRED WHERE THERE IS A USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFTSTOP MATERIAL SHALL BE NOT LESS THAN 1/2" GYP. BD. OR 3/8" PLYWOOD. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET.

DASHED LINES ABOVE KITCHEN/UTILITY ROOM/ETC. CABINETS REPRESENTS UPPER CABINETS.

BUILT-IN WITH SHELVING ABOVE. STYLE TO BE DETERMINED BY OWNER  
DOOR/WINDOW TRIM ON THE INTERIOR SIDE. STYLE AND SIZE TO BE DETERMINED BY OWNER

METAL DECKING FOR LIGHT HEIGHT CONCRETE OVER SAFE ROOM. PERIMETER SUPPORT TO BE 3"x3"x1/4" ANGLE ATTACHED TO BLOCK WALL WITH 1/2" BOLTS @ 24" O.C. MAX. INTERMEDIATE SUPPORT TO BE 3"x3"x1/4" ANGLE SPACED AT 24" O.C. MAX.

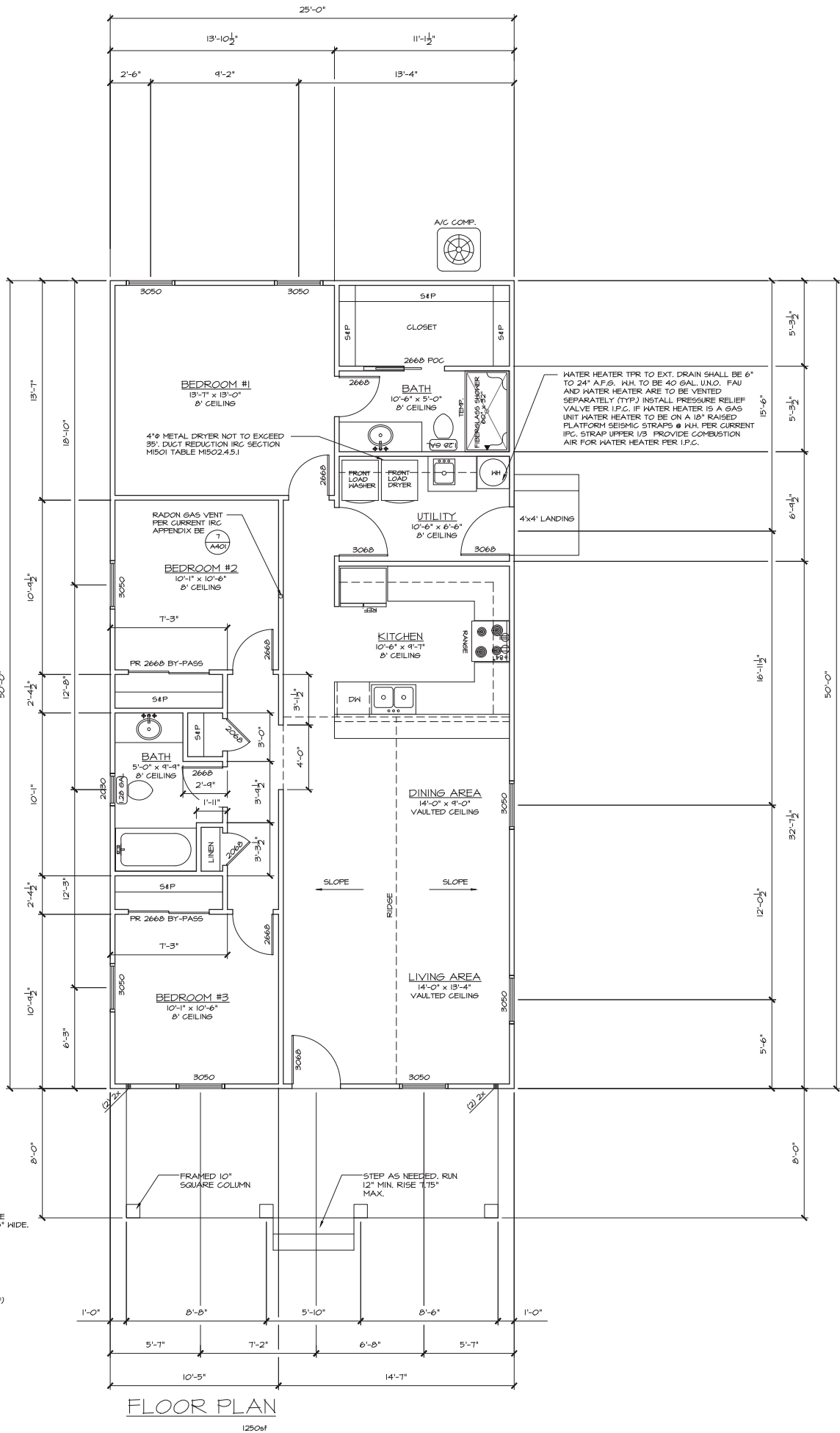
ALL EXTERIOR/INTERIOR OPENING FOR DOOR, WINDOWS, DOG DOOR, SKYLIGHT(S), ETC. TO BE VERIFIED WITH OWNER FOR ROUGH FRAMING SIZE, STYLE AND LOCATION TO BE DETERMINED BY THE OWNER AND CONVEYED TO THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.

ALL PLUMBING FIXTURES, CABINET DESIGNS/SIZES, LOCATIONS, ETC TO BE DETERMINED BY THE OWNER AND CONVEYED TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

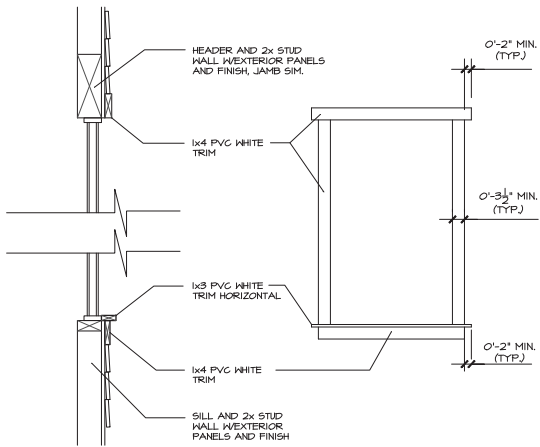
4"X8 METAL DRYER NOT TO EXCEED 35" DUCT REDUCTION IRC SECTION M501 TABLE M502.4.5.1 DRYER VENT SHALL BE EQUIPPED WITH A LISTED BACK DRAFT DAMPER AT OUTSIDE TERMINATION. IF LENGTH EXCEEDS THE ALLOWABLE AMOUNT ADD DRYER BOOSTER "FANTECH" MODEL. DEFALCT OR EQUIVALENT

WALL LEGEND

- 2 X 4 STUDS @ 16" O.C.
- 2 X 6 STUDS @ 16" O.C.
- TWO (2) STORIES HIGH STUDS TO BE EITHER PSL OR RIPPED LVL TO 5.5" WIDE.
- BRICK/STONE VENEER
- POUR IN PLACE CONCRETE WALL
- BLOCK WALL
- INSULATED CONCRETE FORMS (ICF)



| REVISIONS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | BY |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |    |
| BAL26024A_1                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |    |
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| PROJECT<br>SPEC HOUSE<br>1725 TEXAS AVE<br>KNOXVILLE TN                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |    |
| FLOOR<br>PLAN                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |    |
| A&R<br>DESIGN & DRAFTING<br>SERVICE<br>300 CRENSHAW CIRCLE<br>LENOIR CITY, TENNESSEE 37172<br>(615) 594-0912 RDLETTER@AAL.COM                                                                                                                                                                                                                                                                                                                                                                                                                 |    |
| DATE 7/30/2026                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |    |
| SCALE 1/4"=1'-0"                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |    |
| DRAWN RJ                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |    |
| JOB BAL26024                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |    |
| SHEET A101                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |    |



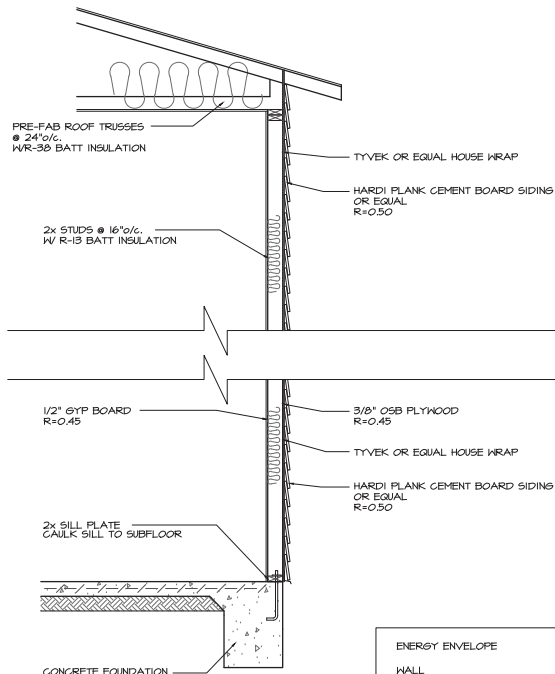
WINDOW/DOOR TRIM

ATTIC VENTS HOUSE

(NOTE FOR 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDE A VAPOR RETARDED HAVING A TRANSMISSION RATE NOT TO EXCEED 1 PERM IN ACCORDANCE WITH ASTM E 96 IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION AND PROVIDED 50% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3' ABOVE EAVE.)

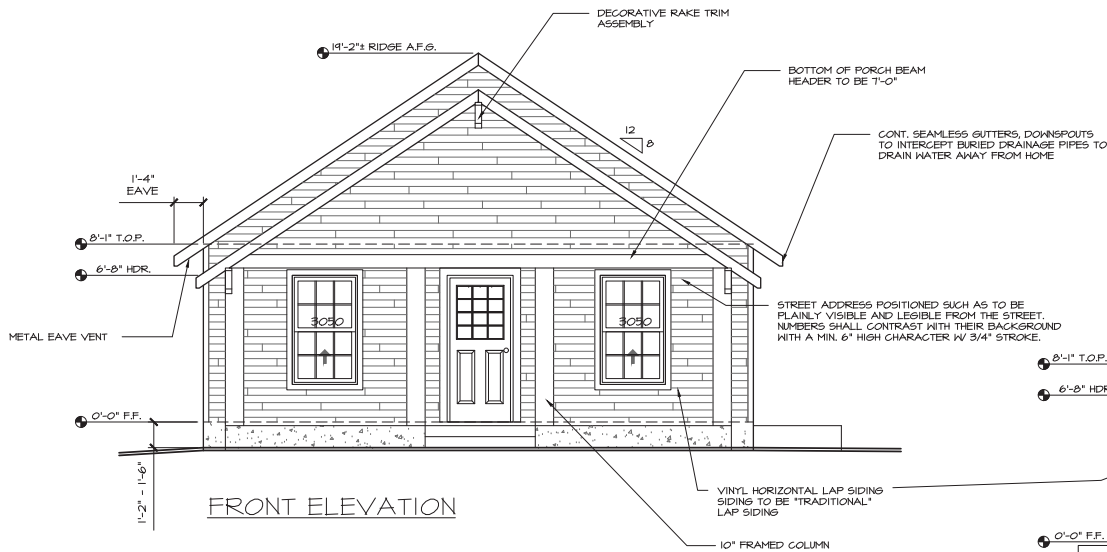
NOTE:

- BALLOON FRAME ALL EXTERIOR WALLS WHERE APPLICABLE TO UNDERSIDE OF TRUSS.
- TWO (2) LAYERS OF GRADE "D" PAPER IS REQUIRED AT WOOD SHEAR PANELS
- PROVIDE 1x3 WOOD BATTENS WHERE ROOF EXCEEDS 1:12 SEE E.R. #2656
- EXTERIOR FINISH TO BE VERTICAL AND HORIZONTAL SIDING TO BE DETERMINED BY OWNER
- GUTTER LOCATION AND MATERIAL AND STYLE TO BE DETERMINED BY OWNER ALL DOWNSPOUTS TO DRAIN INTO DRAINAGE LINES DISCHARGING AT THE LOWEST SIDE OF THE HOUSE
- PROVIDE ATTIC VENTILATION AS PER CURRENT IRC SECT. 1203.2 FOR EAVE VENTS PROVIDE 1sf OF VENT FOR EVERY 150sf OF ATTIC.
- PROVIDE AN APPROVED WATERPROOF BUILDING PAPER UNDER WOOD SIDING

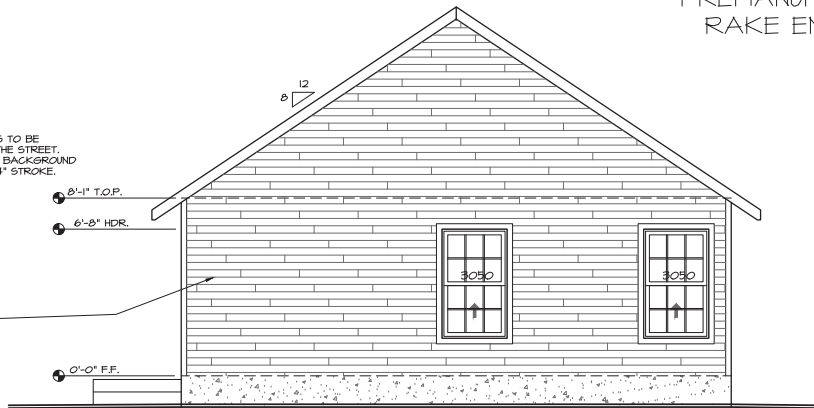


WALL SECTION

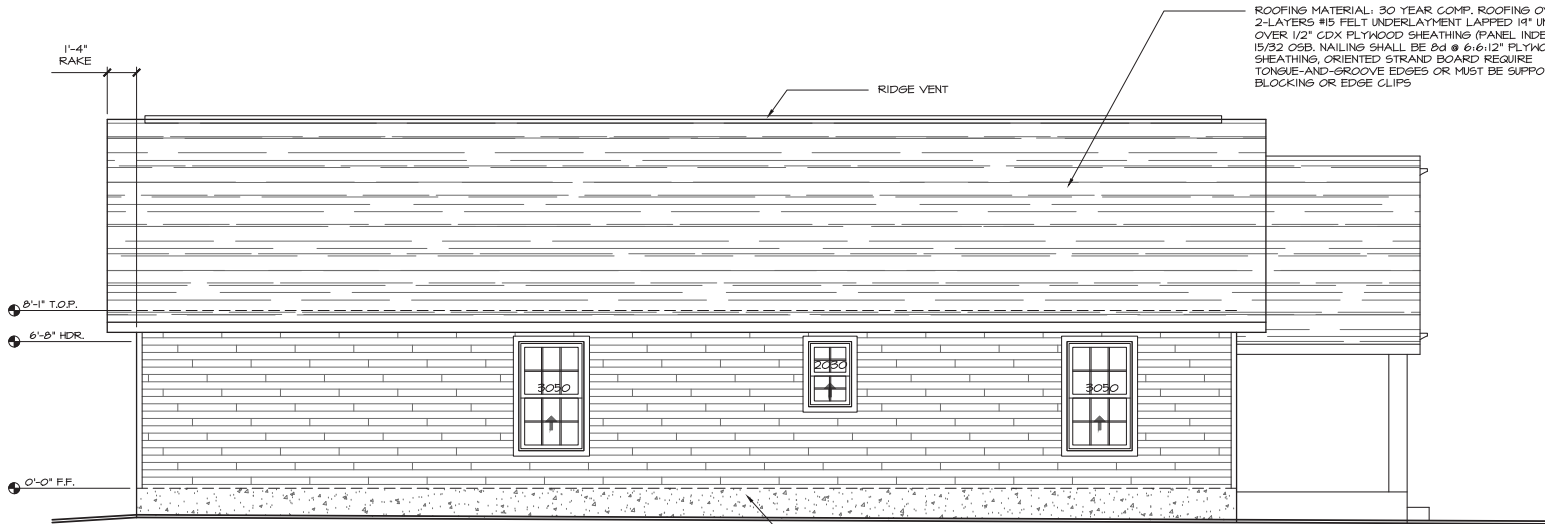
| ENERGY ENVELOPE  |        |
|------------------|--------|
| WALL             |        |
| WALL INSULATION  | R-13   |
| 1/2" GYP BD.     | R-0.45 |
| 3/8" OSB PLYMD   | R-0.45 |
| CEMENT BD SIDING | R-0.30 |
| TOTAL WALL VALUE | R-14.4 |
| ATTIC            |        |
| ATTIC INSULATION | R-30   |



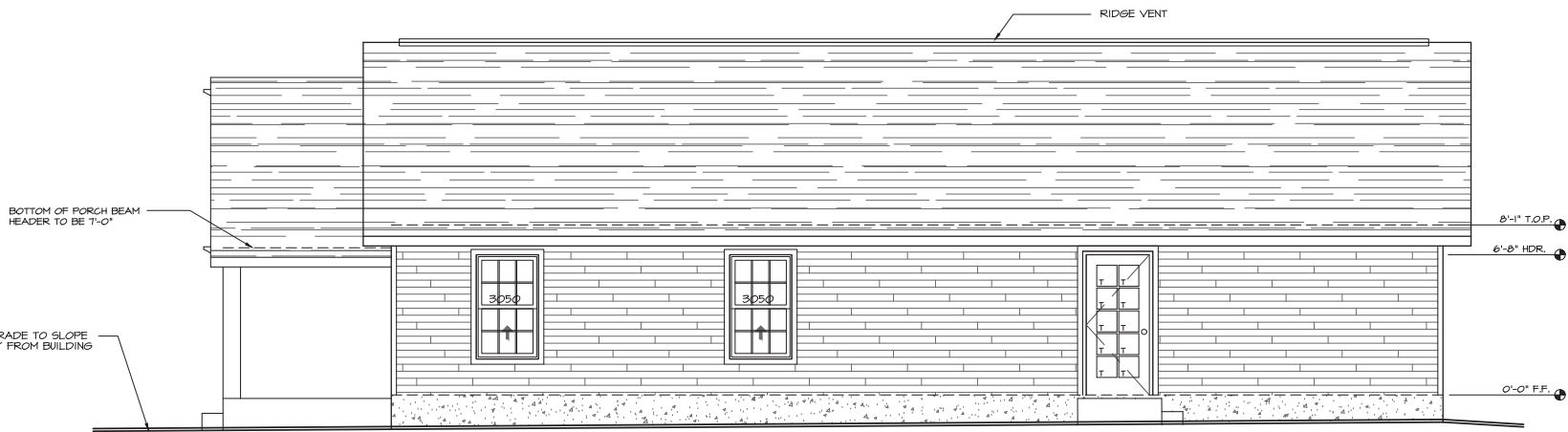
FRONT ELEVATION



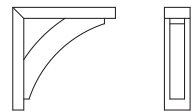
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



PREMANUFACTURED  
RAKE END TRIM

ROOFING MATERIAL: 30 YEAR COMP. ROOFING OVER 2-LAYERS #15 FELT UNDERLAYMENT LAPPED 19" UNDERLAYMENT OVER 1/2" CDX PLYWOOD SHEATHING (PANEL INDEX: 24/0). OR 15/32 OSB. NAILING SHALL BE 8d @ 6" 6/12" PLYWOOD SHEATHING, ORIENTED STRAND BOARD REQUIRE TONGUE-AND-GROOVE EDGES OR MUST BE SUPPORTED W/ BLOCKING OR EDGE CLIPS

HOUSE SLAB FOUNDATION TO BE 12" MIN. ABOVE FINISHED GRADE. EXPOSED FOUNDATION TO BE MONOLITHIC CONCRETE POUR WITH PARGE-COATED, CLAD IN BRICK VENEER, OR CLAD IN STUCCO

| REVISIONS                                                                                                                                                                                                                                                                                                                                    | BY |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|
|                                                                                                                                                                                                                                                                                                                                              |    |
| BAL26024A_I                                                                                                                                                                                                                                                                                                                                  |    |
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| PROJECT                                                                                                                                                                                                                                                                                                                                      |    |
| SPEC HOUSE                                                                                                                                                                                                                                                                                                                                   |    |
| 1725 TEXAS AVE                                                                                                                                                                                                                                                                                                                               |    |
| KNOXVILLE TN                                                                                                                                                                                                                                                                                                                                 |    |
| EXTERIOR ELEVATIONS                                                                                                                                                                                                                                                                                                                          |    |
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| 300 CREEKVIEW CIRCLE                                                                                                                                                                                                                                                                                                                         |    |
| LENOIR CITY, TENNESSEE 37172                                                                                                                                                                                                                                                                                                                 |    |
| (615) 594-9912 RDLETTER@A&R.COM                                                                                                                                                                                                                                                                                                              |    |
| DATE 7/30/2026                                                                                                                                                                                                                                                                                                                               |    |
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| DRAWN RJ                                                                                                                                                                                                                                                                                                                                     |    |
| JOB BAL26024                                                                                                                                                                                                                                                                                                                                 |    |
| SHEET                                                                                                                                                                                                                                                                                                                                        |    |
| A201                                                                                                                                                                                                                                                                                                                                         |    |