

File Number: 9-D-25-IH

Meeting: 9/17/2025
Applicant: Tae Cho New Season Properties LLC
Owner: Tae Cho New Season Properties LLC
District: Oakwood/Lincoln Park Infill Housing Overlay District

Property Information

Location: 320 Hiawasse Ave. **Parcel ID:** 91 B G 007
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description: New duplex

Description of Work

Level III New Primary Structure

New primary structure (duplex) fronting Hiawasse Avenue. Two-story duplex measures 32'-6" wide (two adjacent 16'-1" wide units) by 50' deep (not including front and rear porches), featuring a 4/12 pitch side-gable roof with lower 6/12 pitch front-gable roof massings projecting from the primary roofline on the façade and a one-story shed roof massing (4/12) on the rear elevation. The building features an asphalt shingle roof with 1' eave overhangs and trim, an exterior of vinyl lap siding with shakes in the gable fields, and a concrete block foundation, which is 2'-6" tall at the façade and 3'-6" tall at the rear. Each unit features a raised 8'-2" deep front porch recessed under a front-gable roof and supported by two 6" square columns, with decking screening the piers. The building is proposed to be set 25' from the front lot line, with the front porches at 16'-10". Parking is a 36' wide by 40' deep gravel pad at the rear of the lot that is accessed via a driveway from Hiawasse Avenue.

The façade (north) features two units with a mirrored design, each featuring paired double-hung windows and a paneled wood door below the front porch and a projecting bay with paired windows with a shed roof on the second story. The right and left elevations each feature four windows on the first story and two windows on the second story. The rear elevation also features a mirror design for each unit, with a transom window on the second story, and the first story features a double-hung window, half-lite secondary entrance, and a raised rear deck with stairs.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms

were historically used on the block.

- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

10. Multi-Unit Housing

- Multi-unit housing (where permitted by zoning) should have similar front yard space to that of the traditional single-family houses along the street.
- In zoning districts where multi-unit housing is permitted, the height of the new housing should be similar to the original houses along the street.
- Multi-unit housing should be designed to continue the architectural rhythm of the block. In addition to the same build-to line, porches, bays and breaks in the front façade should be created to mimic the look of older homes when looking down the block. This should be done by dividing the building into separate sections that are proportionally similar to original houses on the block.
- Parking should be provided behind apartments with access from the alley.

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house.

Comments

1. The applicant intends to use Section 4.6 of the zoning code, the Middle Housing standards, which are "intended to promote the development of neighborhood-scale housing forms which are compatible with existing housing in the surrounding area," and "may allow more flexible development of land than is possible under the base district zoning regulations," subject to additional dimensional, design, and parking standards. Middle Housing review occurs separately during permitting; the DRB review focuses on how the project meets the Infill Housing design guidelines. However, some elements of Middle Housing review may trigger site plan and building elevation revisions, which would require additional review by the DRB.

2. The duplex is proposed to be set 25' from the front lot line, with the front porches at 16'-10". The average setback of the blockface is 29.6', with the adjacent houses at 23' and 33' (porches at 19' and 26'). The proposed front setback would require a variance via COA since the porches exceed their permitted encroachment. The front setback should be increased to align with the porches of the adjacent houses and reduce visual scale, with final measurements to be approved by staff. The site plan includes a walkway from the front porch to the street.

3. Parking is a 36' wide by 40' deep gravel pad at the rear of the lot accessed via a driveway from the primary street, which meets design guidelines for placement. The parking pad is large in scale and exceeds the number of spaces required under Middle Housing. The Board should discuss the size of the proposed parking.

4. The final site plan should include a new native or naturalized shade tree in the front and rear yards.

5. The guidelines for multi-unit housing recommend that "new multi-family buildings be designed in scale and context with the early architectural features of the neighborhood." The block to receive new construction is

characterized by Craftsman bungalows, Minimal Traditionals, shotguns, and modified Queen Anne cottages, with some infill construction. The duplex is generally proportionate to the dimensions of the lot and the other houses on the block, and it incorporates eave overhangs that align with the context. The 32'-6" wide by 50' deep duplex is compatible in width and depth with original houses in the neighborhood and meets the maximum building width and depth requirements for a side-by-side duplex under the Middle Housing standards (Article 4.6).

6. Guidelines recommend that multi-unit housing be similar in height to original houses on the street and that it should incorporate bays or breaks to divide the building into smaller sections to be compatible in scale. All houses on the block are one story, except for a two-story house built in 2000, and a few houses with a basement level taking advantage of the downward slope of the southern side of the street. The two-story building is taller than the context and features a 2'-6" tall foundation at the façade, which increases with the downward slope of the site. The Board should discuss the height of the proposed duplex and whether additional measures should be taken to reduce its visual scale.

7. Guidelines recommend that porches be at least 8' deep, with similar proportions and porch supports to the context. The duplex features a raised 8'-2" deep front porch with 6" square columns and decking screening the piers. Most of the historic houses on the block feature tapered Craftsman-style columns or larger square columns with trim on a raised brick or concrete foundation. The porch supports should be at least 8" by 8", and the supports and screening should be painted or stained. Additional detail should be incorporated into the front porch design to reflect the historic context, to be approved by staff.

8. The side-gable roofline has a 4/12 pitch, and 6/12 is the minimum recommended by the guidelines. However, the front-gable massings on the façade feature a 6/12 pitch, and the lower pitch reduces the height and visual scale of the building. The design benefits from the eave overhangs that reflect the context.

9. Guidelines recommend window and door styles be similar to historic houses on the block, with similar placement and ratio of solid to void. The 1/1 double-hung windows and paneled front door are compatible with the context, and all elevations feature sufficient transparency.

10. The proposed horizontal lap siding should feature an overlap similar to wood siding, and the concrete block foundation should be parge-coated, clad in stucco, or clad in brick veneer.

Recommendation

The Board should discuss the size of the parking pad, the front porch design, and the building's height within the neighborhood context.

Along with any necessary revisions or conditions, staff recommends approval of Certificate 9-D-25-IH, subject to the following conditions: 1) final site plan to meet City Engineering standards, with major changes to return to the Board; 2) the front setback be increased, with final measurements to be approved by staff; 3) meeting all relevant standards of Article 4.6 and Article 9.3.J, with minor revisions to be approved by staff; 4) the final site plan to include a native or naturalized shade tree in the front and rear yard; 5) the porch supports to be at least 8" by 8", and the supports and screening to be painted or stained; and 6) additional detail to be added to the front porch design to reflect the historic context, to be approved by staff.



**DESIGN
REVIEW
BOARD**

9-D-25-IH
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

 **320 Hiwassee Ave.**
Oakwood/Lincoln Park Infill Housing Overlay District

Original Print Date: 9/8/2025
Knoxville - Knox County Planning - Design Review Board

Revised:

Petitioner: Tae Cho New Season Properties LLC

N

0 160

Feet



DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
- ☐ HISTORIC ZONING (H)
- ☐ INFILL HOUSING (IH)

Applicant		
9-D-25-IH		
Date Filed	Meeting Date (if applicable)	File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Owner ☐ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Name		Company	
Address		City	State Zip
Phone	Email		

CURRENT PROPERTY INFO

Owner Name (if different from applicant)	Owner Address	Owner Phone
Property Address		Parcel ID
Neighborhood	Zoning	

AUTHORIZATION

<i>Malynda Wollert</i>	Malynda Wollert	8-29-25
Staff Signature	Please Print	Date
<i>Tae Cho</i>		
Applicant Signature	Please Print	Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work: _____

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

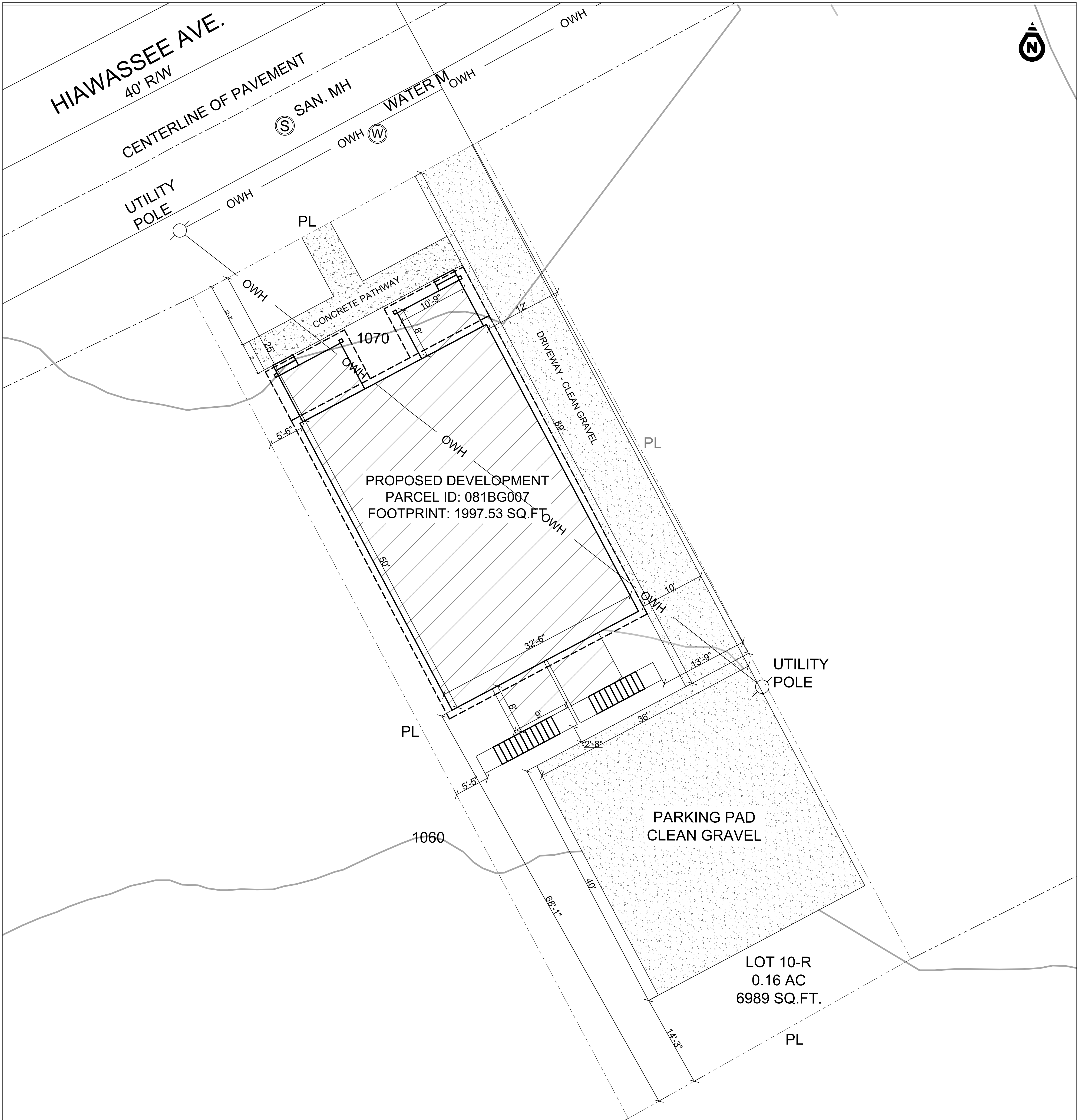
- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	250	TOTAL: 250.00 DD Paid 8/29/25
FEE 2:		
FEE 3:		



Site Floor Plan Scale: 1/8" = 1'-0"

Page Index	
A0.0	Site Plan / Project Information
A1.0	Main & 2nd Floor Plan
A1.1	Elevations
A1.2	Elevations Cont...
S1.0	Sections
S1.1	Roof Layout
S1.2	Foundation Plan
S1.3	Framing Plan
E1.0	Electrical Layout
P1.0	Plumbing Layout
D1.0	Details
D1.1	Details Cont...
D1.2	UL Assembly Details
D1.3	UL Assembly Details Cont...
D1.4	UL Assembly Details Cont...

Project Scope

Development and Construction of two unit - 3 bedroom 2 bathroom Town Houses at 320 Hiawassee Ave, Knoxville, TN 37917.

Project Contacts

Property Address

320 Hiawassee Ave,
Knoxville, TN
37917
Parcel ID: 081BG007

Owner

New Season Properties LLC,
915 Hwy 321 N
Lenoir City, TN
37771
TP:
Email:

Contractor

Area Calculations

Building Footprint and Lot Coverage (All Areas Under Roof Canopy, Not Including Eaves)	
New Total Footprint:	1997.53 sq.ft.
Lot Footprint:	6989 sq.ft.
Lot Coverage:	0.29
Liveable Area (For one Unit)	
Total Living Space:	1286.75 sq.ft

Symbol Legend

	Property Line
	Existing Sewer
	Storm Water Line
	Existing Electric Post
	Existing Manhole - Water
	Existing Manhole - Sewer
	Existing Fire Hydrant

Vicinity Map

Aerial View

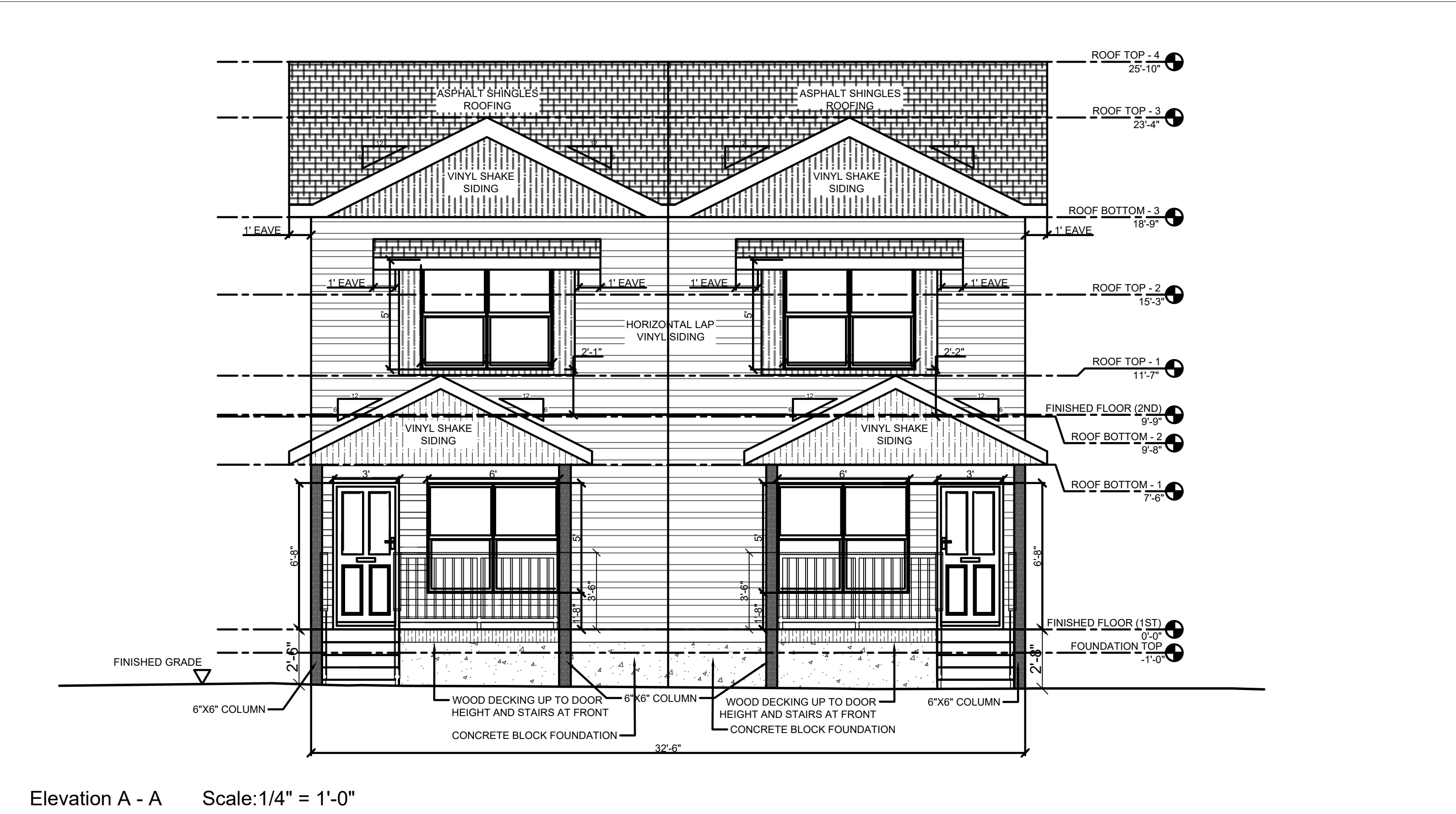
New Two Unit Townhouse Design To:
New Season Properties LLC
3616 Knott Ave, Knoxville, TN 37919

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Site Plan /
Project Information

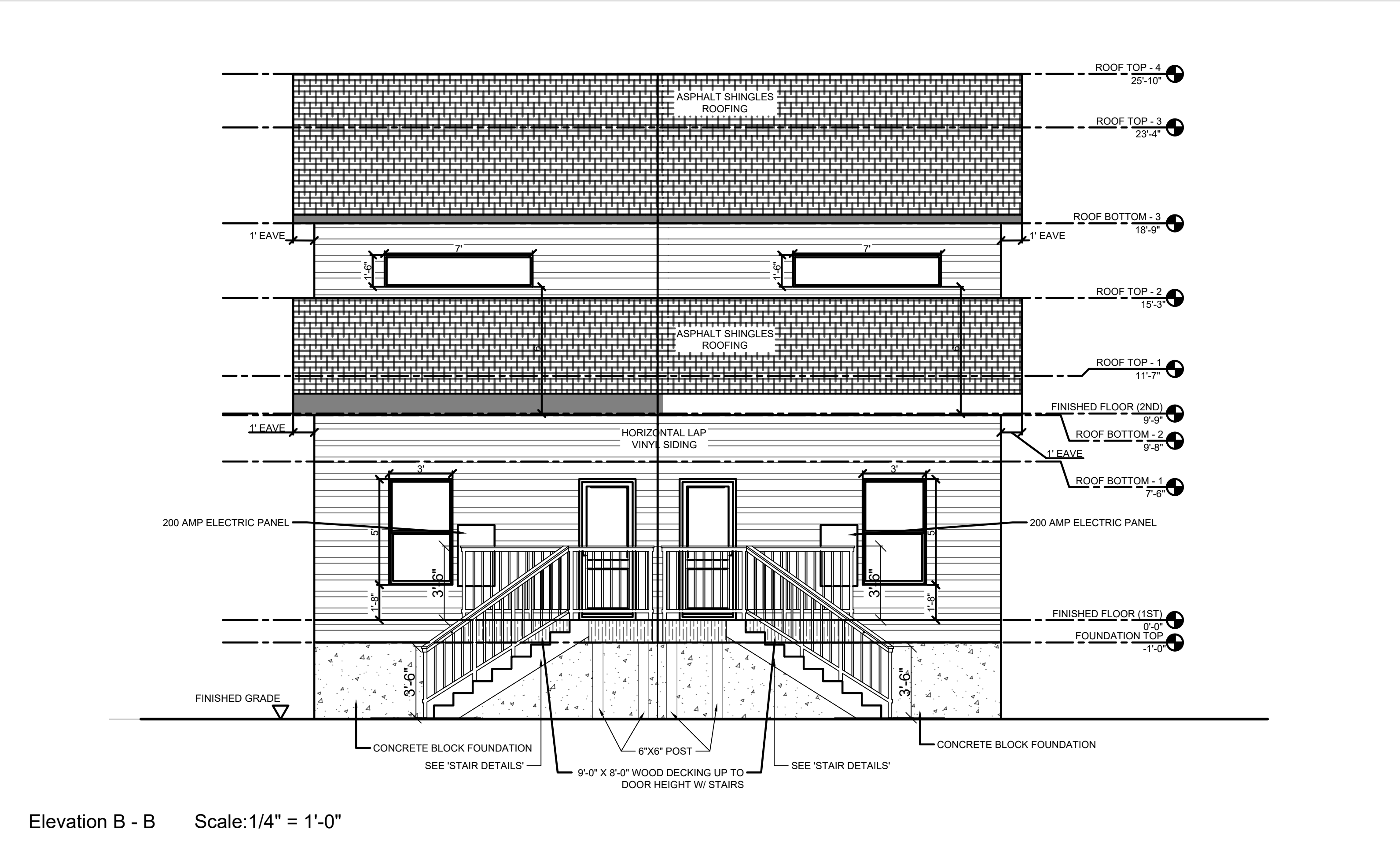
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Window Surface Area Calculation	
Total Area of the Front Facade:	736.14 SF
Total Area Covered by Windows:	120 SF
Ratio:	$\frac{120}{736.14}$
	= 16.3 %

Door Schedule	
LABEL	SIZE
1	3' - 0" X 6' - 8" - FOLDING
2	2' - 8" X 6' - 8" - FOLDING
3	2' - 6" X 6' - 8" - FOLDING
4	2' - 0" X 6' - 8" - FOLDING
5	2' - 4" X 6' - 8" - FOLDING
6	4' - 0" X 6' - 8" - FOLDING
7	4' - 8" X 6' - 8" - FOLDING
Window Schedule	
LABEL	SIZE
A,B	2X (6' - 0" X 5' - 0")
C	3' - 0" X 5' - 0"
D	2' - 0" X 3' - 0"
E	7' - 0" X 1' - 6"

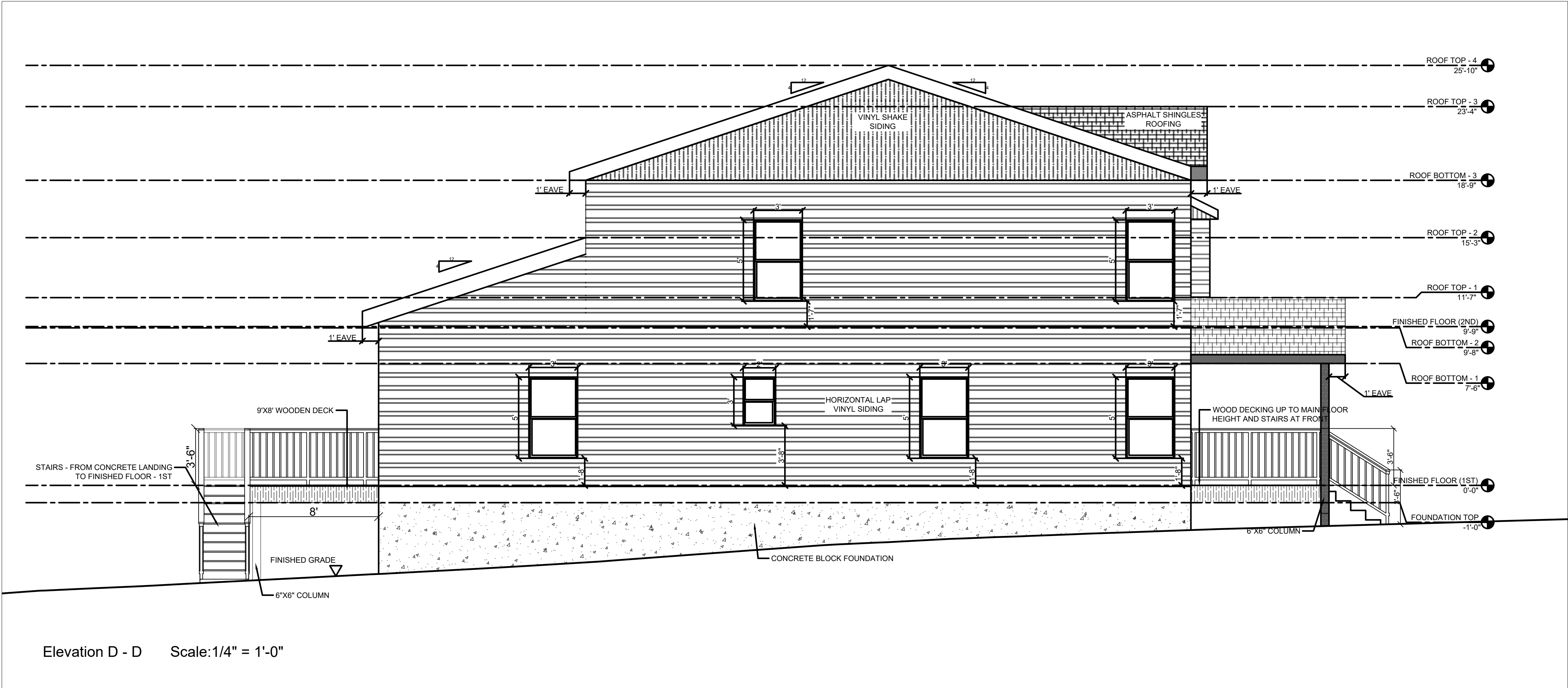
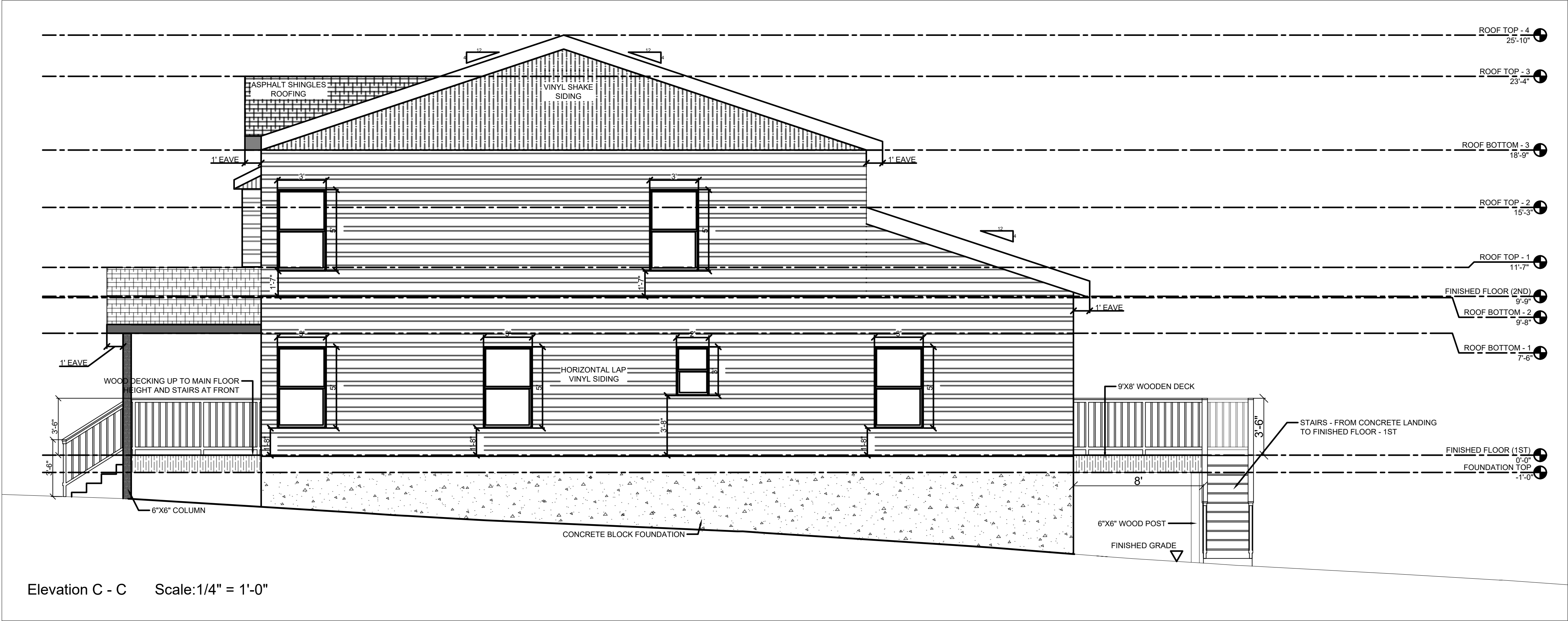
- Notes:
- Bay window is protruding out 12"
 - Front stairs lower landing would be the concrete pathway and the upper landing would be the porch deck at the finished floor - 1st level



New Townhouse Design To:
New Season Properties LLC
915 Hwy 321 N, Lenoir City, TN 37771

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A1.1
Elevations
Scale: 1/4" = 1'-0"



New Townhouse Design To:
New Season Properties LLC

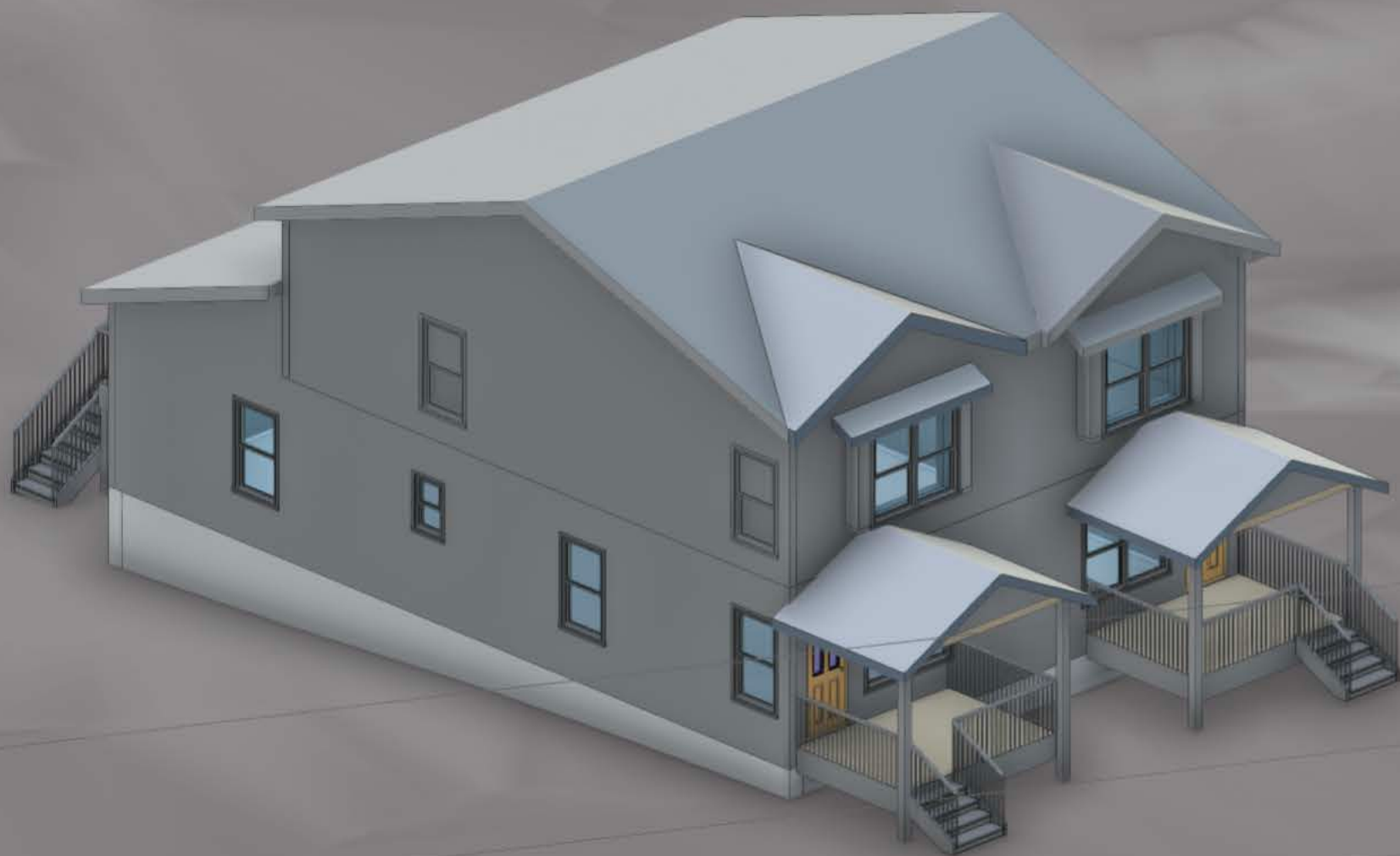
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A1.2
Elevations Cont...
Scale: 1/4" = 1'-0"



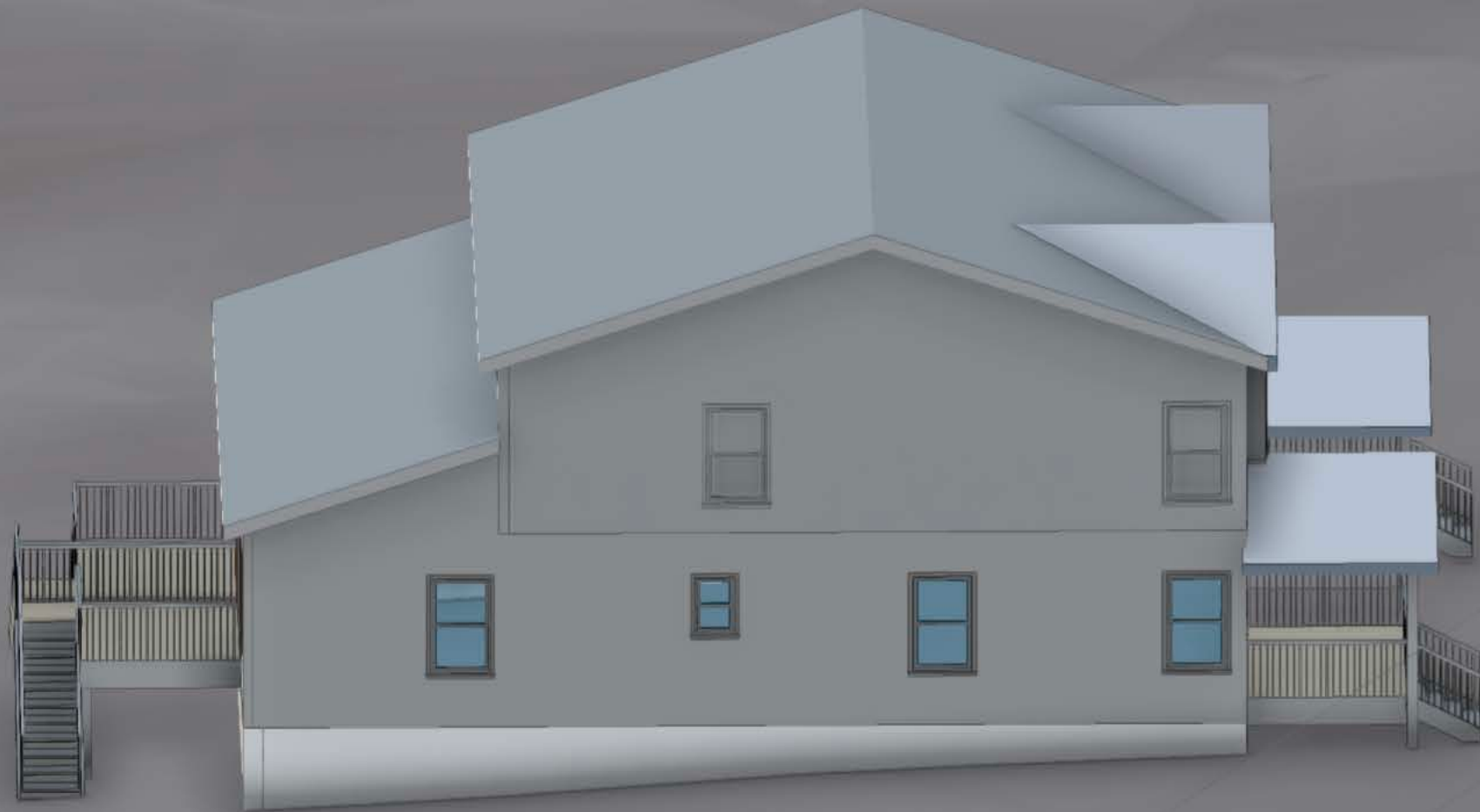
BACK





LEFT







320 Hiawassee Pre Consultation

From Tae Cho <newseasonpropertiesllc@gmail.com>

Date Thu 8/28/2025 3:09 PM

To Applications <applications@knoxplanning.org>

Cc Malynda Wollert <malynda.wollert@knoxplanning.org>

 8 attachments (14 MB)

320 Hiawassee Ave-320 Site R5.1.pdf; 320 Hiawassee Ave preapplication.pdf; Screenshot 2025-08-27 at 11.09.53 AM.png; Screenshot 2025-08-27 at 11.11.06 AM.png; Screenshot 2025-08-27 at 11.10.51 AM.png; Screenshot 2025-08-27 at 11.10.13 AM.png; Screenshot 2025-08-27 at 11.11.38 AM.png; Screenshot 2025-08-27 at 11.15.01 AM.png;

Please see attached application form and documents. This lot fits the Middle Housing criteria. I am attaching the plans, as well as attaching screenshots of the topography modeling we are attempting to utilize moving forward for elevations in light of our situation with 225 E Oldham. Please note that elevations are still subject ultimately to final on-site grade, but we are attempting to improve our accuracy as best as we are able on the front end.

Thank you,

Tae Cho
New Season Properties, LLC



- | ATTIC VENTILATION CALCULATION
(Typical each unit) | | |
|---|---|----------------------------------|
| VENTILATION REQUIRED | VENTILATION PROVIDED | TOTAL VENTILATION PROVIDED |
| $897 \text{ FT}^2 \times 144 \text{ IN}^2 \times \frac{1}{150}$
$= \underline{861.1 \text{ IN}^2}$ | (36) LF EAVE VENTS = 169.6
(11) ROOF JACKS = 704 | $\underline{873.6 \text{ IN}^2}$ |
| NOTES:
EAVE VENTS = 4.7 IN ² PER LINEAL FOOT
RIDGE VENTS = 18 IN ² PER LINEAL FOOT
ROOF JACKS = 64 IN ² PER LINEAL FOOT | | |

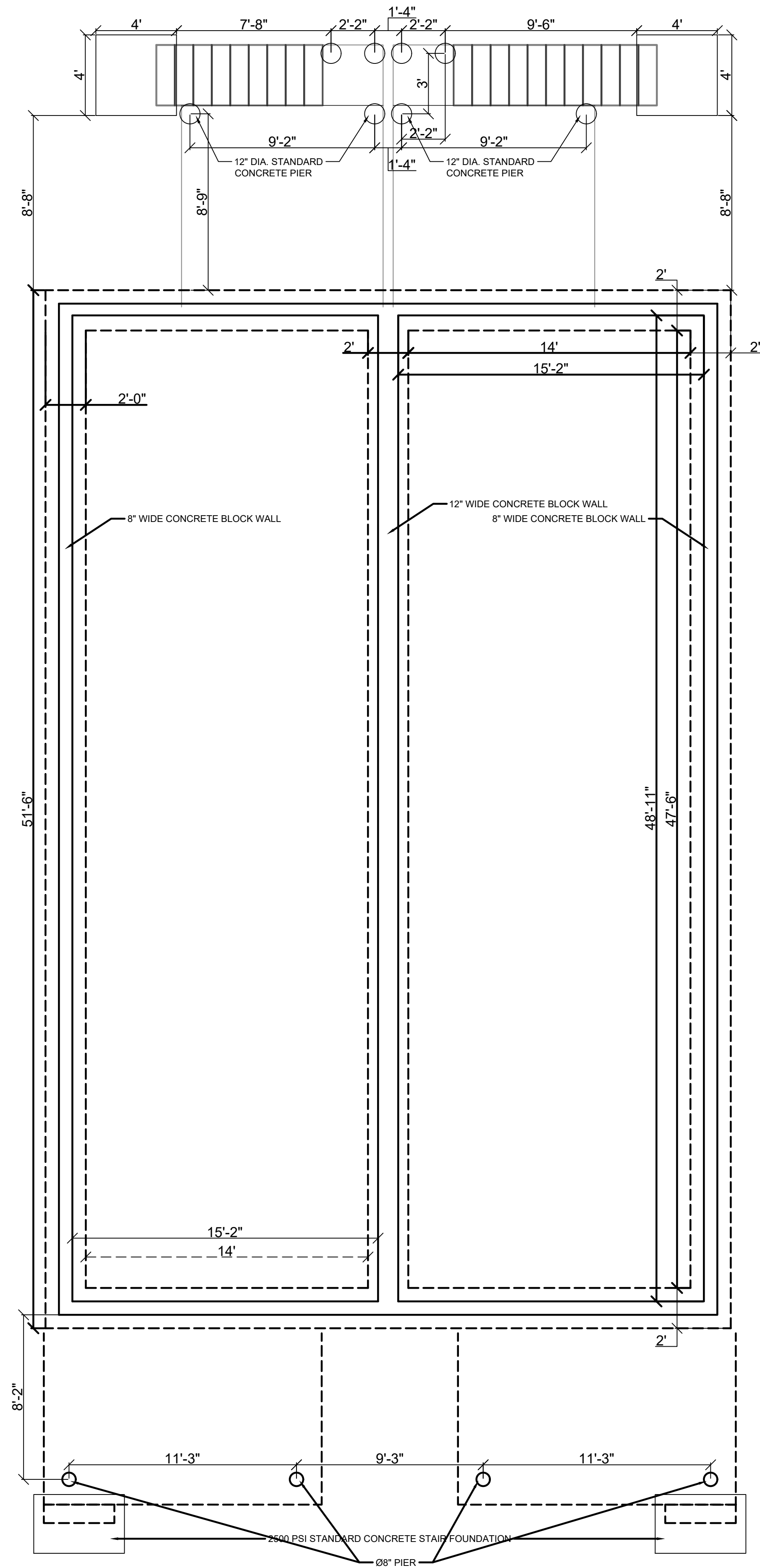
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S1.1

Roof Layout

Scale: 1/4" = 1'-0"



Foundation Plan 1/4" = 1'-0"

New Townhouse Design To:
New Season Properties LLC
915 Hwy 321 N, Lenoir City, TN 37771

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S1.2

Foundation Plan

Scale: 1/4" = 1'-0"