



# Staff Report

Infill Housing Design Review Committee

File Number: 2-H-25-IH

**Meeting:** 2/19/2025  
**Applicant:** Dave Madden  
**Owner:** Antares LLC

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## Property Information

**Location:** 3339 Divide St. **Parcel ID** 81 P B 002  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**District:** Lonsdale Infill Housing Overlay District

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## Description of Work

Level III New Primary Structure

New primary structure fronting Divide Street. Two story residence features a clipped side-gable roof (8/12 pitch), an exterior of horizontal siding with trim dividing the floors, and a foundation of an unspecified material that appears to be a concrete slab. The house is 28' wide by 27'-2" deep and will be set approximately 37'-6" from the front lot line. It features a full length, 4'-4" deep front porch recessed under a shed roof and supported by four square wood posts. Parking is a 10' wide by 31'-9' deep concrete driveway in front of the house and is accessed from Divide Street.

The façade (northeast) features three bays, with the front porch and a paneled door flanked by sidelights in the left bay, two 4/4 single-hung windows with shutters on each story in the middle bay, and a swath of siding with the profile of a projecting massing on the right elevation in the right bay. The side elevations each feature one 4/4 single-hung window on each story, which are not organized into bays. The right elevation also features a one-story, 4' wide by 1'-4" deep projecting massing with a front-gable roof. The rear elevation features two 4/4 single-hung windows on the first story and three on the second story, and the left bay is recessed, featuring an uncovered secondary entrance with a stoop and sliding glass door.

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## Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

### 1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

### 2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
  - On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning
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requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.

- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

### 3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

### 4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

### 5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

### 6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

### 7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

## 8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

## 11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house

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## Comments

1. The house is proposed to be set 37'-6" from the front property line. The final site plan should be revised to add a front walkway that connects with the street.
2. The block to receive new construction lacks significant context, as almost all the houses on the street are infill construction, interspersed with Minimal Traditionals and vacant lots . The 28' wide by 27'-2" deep house is not proportionate to the other houses on the block nor to the 40' wide and 194' deep lot. The infill houses are rectangular in plan and are approximately 28' wide and 40' deep or 44' wide and 28' deep, and most nearby houses on 40' wide lots range in width from 16'-25.' The house also does not meet the minimum side setbacks required by the base zoning, so a variance would be required if this plan moves forward, and the rear setback requirements would allow for a house with a narrower width and larger depth.
3. Infill Housing design guidelines recommend that on lots without alleys, new driveways should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade. Parking is a concrete pad located in front of the house and accessed via a driveway from Divide Street. Parking should be revised to avoid the front yard.
4. The two-story, three-bay façade is not similar in scale and height to the context, which almost exclusively features one-story houses with balanced façades.
5. The house features a full length, 4'-4" deep front porch recessed under a shed roof and supported by four square wood posts. Guidelines state that front porches should be proportional to other houses on the block and at least 8' deep. The porch depth should be revised to at least 8'.
6. Guidelines recommend window and door styles be similar to historic houses on the block, with similar placement and ratio of solid to void. The façade should be revised to avoid the half-shutter on the left first story window. The 4/4 single-hung windows are compatible with the 6/6 single-hung windows on most houses in the block, and the façade and rear elevations feature a sufficient ratio of solid to void. However, the house features five different window sizes, and the windows are placed at different heights on the side elevations, leaving large swaths of siding. The window sizes and placement should be revised to be more cohesive. The paneled door flanked with sidelights is appropriate.
7. The 8/12 roof pitch matches the context and benefits from the complexity of the clipped gables.
8. The asphalt shingles and horizontal vinyl siding meet the design guidelines, but the siding should be clapboard-style with an overlap instead of Dutch lap or flush panel siding. The foundation appears to be a concrete slab, which should be clad in stucco or parge-coated to meet the design guidelines.

9. The final site plan should be revised to include a native or naturalized shade tree in the front and back yards.

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## **Recommendation**

Staff recommends postponement of Certificate 2-H-25-IH to allow the applicant to select another plan which more clearly meets the design guidelines (specifically, requirements of the base zoning, building width and depth, porch, parking, and window placement).



**2-H-25-IH**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

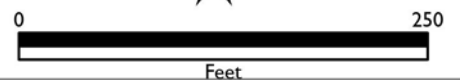
**3339 Divide St.**

Lonsdale Infill Housing Overlay District

Original Print Date: 2/10/2025  
 Knoxville/Knox County Planning - Infill Housing Design Review Committee

Applicant: Dave Madden

**INFILL  
 HOUSING  
 REVIEW  
 BOARD**





# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Kelsey Chambers

Applicant

1/20/25

February 19, 2025

2-H-25-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Dave Madden

Dave Madden, Architect

Name

Company

3735 Parker Harrison Way

Knoxville

TN

37924

Address

City

State

Zip

865-770-9496

madden.dave56@gmail.com

Phone

Email

## CURRENT PROPERTY INFO

ANTARES LLC

3701 N BROADWAY ST KNOXVILLE, TN 37917

865-770-9097

Owner Name (if different from applicant)

Owner Address

Owner Phone

3339 Divide Street, Knoxville, TN 37921

081PB002

Property Address

Parcel ID

RN-2

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Lanois*  
Staff Signatur

Lindsay Lanois

Please Print

Date

*KChambers*

Applicant Signature

Kelsey Chambers

Please Print

1/20/25

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
      Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: Proposed construction of a new single-family residence.  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

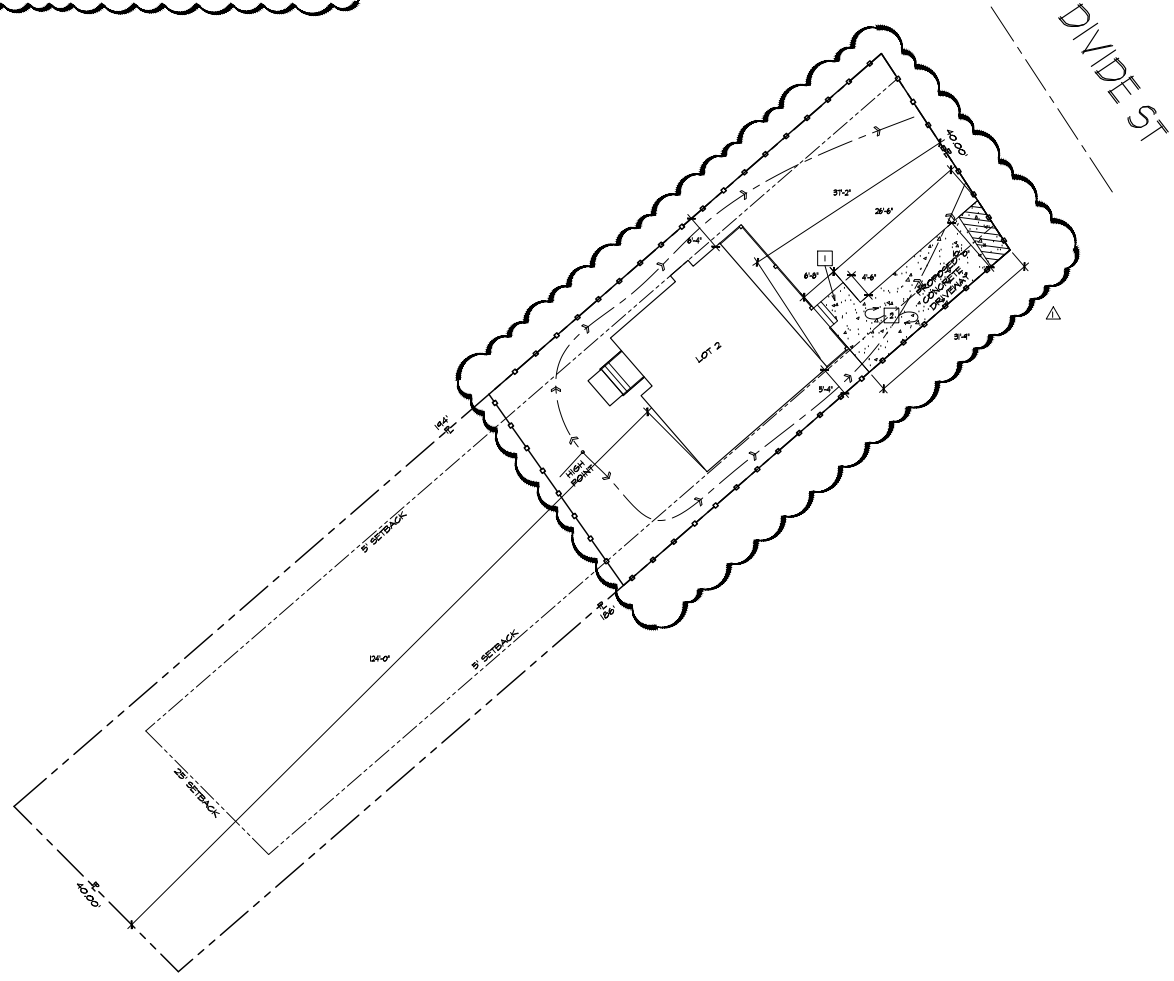
**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>		<b>TOTAL:</b>
<b>\$250.00</b>		
<b>FEE 2:</b>		
		<b>\$250.00</b>
<b>FEE 3:</b>		
		<b>Pd. 01/24/2025, SG</b>

# BMP LEGEND

## TEMPORARY RUNOFF CONTROL BMPs:

- SC-1 SILT FENCE 
- TC-1 GRAVEL CONSTRUCTION ENTRANCE 



DIVIDE ST

## LEGAL DESCRIPTION:

3334 DIVIDE ST  
KNOXVILLE, TN 37121  
PARCEL ID 081P002

## SITE NOTES:

INDICATES NOTES APPLICABLE TO THIS PLAN ONLY WHEN REFERENCED.

1. CONC. WALK - VERIFY OWNER AND/OR BUILDER.
2. CONC. DRIVEWAY - VERIFY OWNER AND/OR BUILDER.

## SQUARE FOOTAGE:

LOWER FLOOR PLAN:	
LIVING:	1291 SQ.FT.
PORCH:	185 SQ.FT.
UPPER FLOOR PLAN:	
LIVING:	1291 SQ.FT.
TOTAL LIVING:	1418 SQ.FT.

## SHEET INDEX:

- A-1 SITE PLAN
- A-2 LOWER FLOOR & UPPER FLOOR PLAN
- A-3 MECHANICAL/ELECTRICAL PLAN
- A-4 ELEVATIONS
- A-5 FOUNDATION PLAN
- A-6 FLOOR FRAMING PLAN
- A-7 ROOF FRAMING PLAN
- A-8 SECTIONS

Revised:

DATE	BY
12/20/24	DM
12/20/24	DM
12/20/24	DM

Project and Location

**ALLAUNA VITELLI RES**  
3334 DIVIDE ST  
KNOXVILLE TN 37121  
LOT: 2


Sheet Number

**A-1**

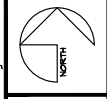
Of Sheets



**DMA**  
DAVE MADDEN ARCHITECTURE  
Phone 865-700-6666 • Email: dm@dmadma.com  
37125 PARKER HANCOCK WAY, KNOXVILLE TN, 37124



Drawn by DM  
Checked by  
Date 12/21/2024  
Job No. 24-0497N

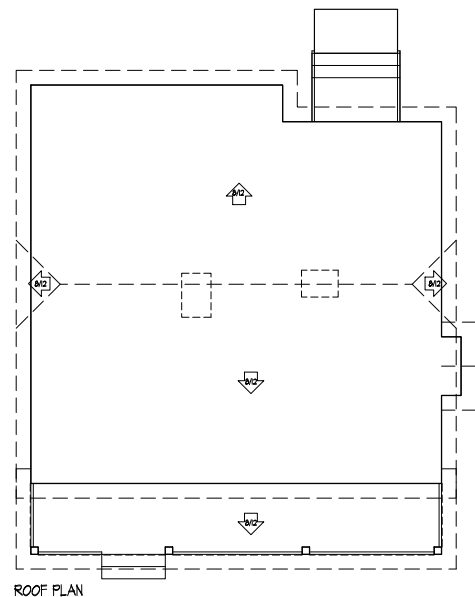
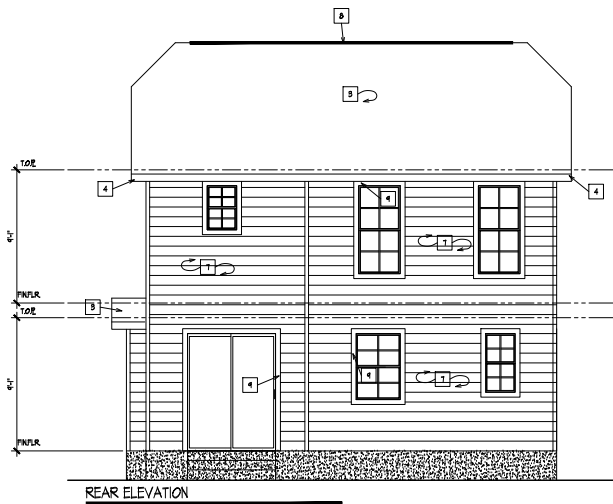
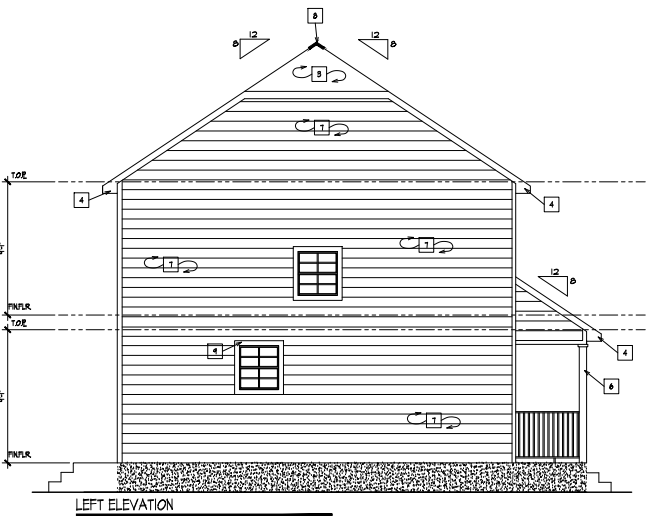
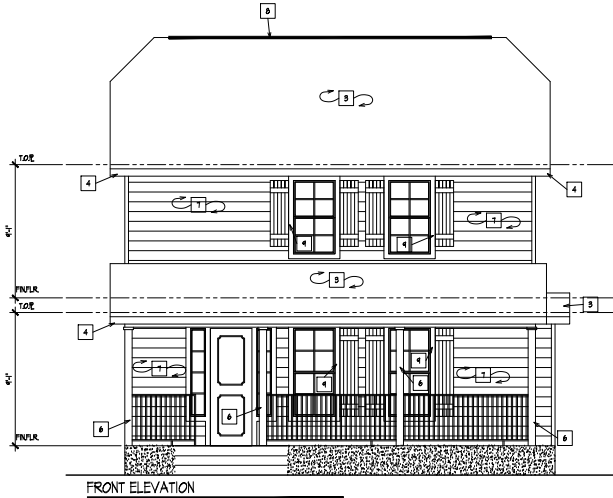
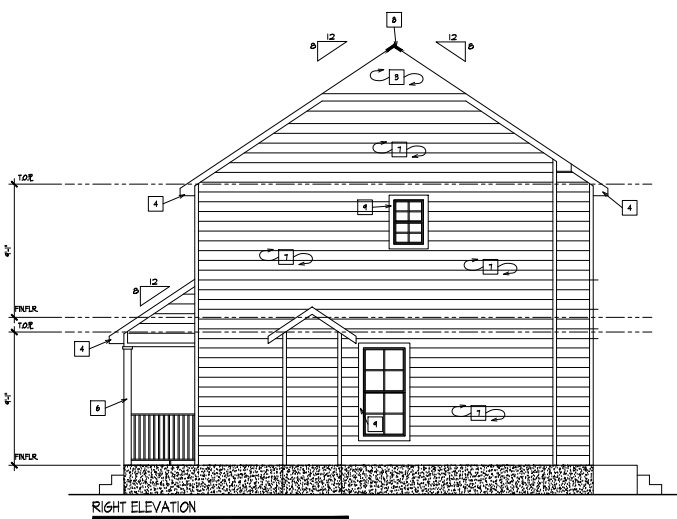


1" = 10'-0"

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ELEVATION SCHEDULE

☐ INDICATES NOTES APPLICABLE TO THIS PLAN ONLY (NO. 1 - UNLESS NOTED OTHERWISE)

1. ALL EXPOSED TRIM, ROOF SHEATHING, BEAMS, ETC. WERE INDICATED SHALL BE REMAIN AND FREE OF LOOSE NAILS, SIPS AND SPLITS AS POSSIBLE.
2. GULLY WITH FLASHING & GUTTERING, FLASHING WITH CALLING AT INTERSECTION OF ROOF TO WALL.
3. ROOFING MATERIAL: "CERTAINTED" GLASS 1/2" ASPHALT SHIMBLIS (GUTTER-ON OR APPROVED EQUAL) PROVIDE 1/2" SPACE TRIM TIED AND DAVE CLIPS. ROOF MATERIAL TO BE RECALLED PER MFG. SPEC'S. PROVIDE 2x 4x 6x 12 FLASHING & GUTTER FLASHING AS REQUIRED. USE (2) LAYERS 30# FELL UNDERLAMENT WHEN ROOF MATERIAL IS APPLIED OVER FLYWOOD. MATCH EXISTING OR VERIFY NUMBER.
4. ALUMINUM HUNGRY 2x4 FASCIA WITH ALUMINUM VENTED BOARDS DAVES. BEAM (SEE NOTE #4) BANGSASH OR CHANGED AS INDICATED SIZE AS SHOWN.
5. ROOF SHEATHING: 1/2" PLANK BANGSASH, CHANGED OR TURED AS INDICATED SIZE AS SHOWN.
6. GULLY: 1/2" LAMINATED 4x12 WITH 1/2" SCREEN BACKING.
7. 2x4 WOOD SURROUND OVER 2x FELL.

12/21/2024  
 12/21/2024  
 24-0497N

**DMA**  
 DAVE MADDEN ARCHITECT  
 Phone 615-770-0446 • Email: madden@dmadma.com  
 2125 Forster-Harrison Hwy, Knoxville, TN 37924

Project and Location:  
**ALLAUNA VITELLI RES**  
 3339 DIVIDE ST  
 KNOXVILLE TN 37921  
 LOT: 2

ELEVATIONS

Drawn by: DM  
 Checked by:  
 Date: 12/21/2024  
 Job No: 24-0497N

1/4" = 1'-0"  
 Sheet Number  
**A-4**  
 Of Sheets

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