



Staff Report

Infill Housing Design Review Committee

File Number: 2-G-25-IH

Meeting: 2/19/2025
Applicant: Dave Madden
Owner: Antares LLC

Property Information

Location: 3335 Divide St. **Parcel ID** 81 P B 003
Zoning: RN-2 (Single-Family Residential Neighborhood)
District: Lonsdale Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary structure fronting Divide Street. Two story residence features a hipped roof (6/12 pitch), an exterior of horizontal vinyl siding, and a foundation of an unspecified material that appears to be a concrete slab. The house is 28' wide by 27'-2" deep, and the front setback is unspecified. It features a 6'-8" wide, 4'-4" deep front porch recessed under a front-gable roof and supported by two square wood posts. Parking is a 10' wide (depth unspecified) concrete driveway in front of the house and is accessed from Divide Street.

The façade (northeast) features three bays, with the front porch and a paneled door flanked by sidelights in the left bay, two 4/4 single-hung windows with shutters on each story in the middle bay, and a swath of siding with the profile of a projecting massing on the right elevation in the right bay. The side elevations each feature one 4/4 single-hung window on each story, which are not organized into bays. The right elevation also features a one-story, 4' wide by 1'-4" deep projecting massing with a front-gable roof. The rear elevation features a projecting hipped roof massing with two 4/4 single-hung windows on each story, and the left bay features an uncovered secondary entrance and stoop with a glass sliding door and one window on the second story.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.

- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house

Comments

1. The front setback of the house is not specified. The final site plan should be revised so that the front walkway connects to both the street and the driveway.
2. The block to receive new construction lacks significant context, as almost all the houses on the street are infill construction, interspersed with Minimal Traditionals and vacant lots . The 28' wide by 27'-2" deep house is not proportionate to the other houses on the block. The infill houses are rectangular in plan and are approximately 28' wide and 40' deep or 44' wide and 28' deep, and most nearby houses on 40' wide lots range in width from 16'-25.' The house also does not meet the minimum side setbacks required by the base zoning, so a variance would be required if this plan moves forward, and the rear setback requirements would allow for a house with a narrower width and larger depth.
3. Infill Housing design guidelines recommend that on lots without alleys, new driveways should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade. Parking is a concrete pad located in front of the house and accessed via a driveway from Divide Street. Parking should be revised to avoid the front yard.
4. The two-story, three-bay façade is not similar in scale and height to the context, which almost exclusively features one-story houses with balanced façades.
5. The house features a 6'-8" wide, 4'-4" deep front porch recessed under a front-gable roof and supported by two square wood posts. Guidelines state that front porches should be proportional to other houses on the block and at least 8' deep. The porch depth should be revised to at least 8', and the porch width should be increased to be proportional to the other houses on the block.
6. Guidelines recommend window and door styles be similar to historic houses on the block, with similar placement and ratio of solid to void. The façade should be revised to avoid the half-shutter on the left first story window. The 4/4 single-hung windows are compatible with the 6/6 single-hung windows on most houses in the block, and the façade and rear elevations feature a sufficient ratio of solid to void. However, the house features five different window sizes, and the windows are placed at different heights on the side elevations, leaving large swaths of siding. The window sizes and placement should be revised to be more cohesive. The paneled door flanked with sidelights is appropriate.
7. The 6/12 roof pitch is the minimum typically approved for Infill Housing.
8. The asphalt shingles and horizontal vinyl siding meet the design guidelines, but the siding should be clapboard-style with an overlap instead of Dutch lap or flush panel siding. The foundation appears to be a concrete slab, which should be clad in stucco or parge-coated to meet the design guidelines.

9. The final site plan should be revised to include a native or naturalized shade tree in the front and back yards.

Recommendation

Staff recommends postponement of Certificate 2-G-25-IH to allow the applicant to select another plan which more clearly meets the design guidelines (specifically, requirements of the base zoning, building width and depth, porch, parking, and window placement).



2-G-25-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

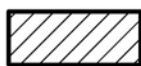
3335 Divide St.

Lonsdale Infill Housing Overlay District

Original Print Date: 2/10/2025
 Knoxville/Knox County Planning - Infill Housing Design Review Committee

Applicant: Dave Madden

**INFILL
HOUSING
REVIEW
BOARD**





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Kelsey Chambers

Applicant

1/20/25

February 19, 2025

2-G-25-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Dave Madden

Dave Madden, Architect

Name

Company

3735 Parker Harrison Way

Knoxville

TN

37924

Address

City

State

Zip

865-770-9496

madden.dave56@gmail.com

Phone

Email

CURRENT PROPERTY INFO

ANTARES LLC

3701 N BROADWAY ST KNOXVILLE, TN 37917

865-770-9097

Owner Name (if different from applicant)

Owner Address

Owner Phone

3335 Divide Street, Knoxville, TN 37921

081PB003

Property Address

Parcel ID

RN-2

Neighborhood

Zoning

AUTHORIZATION

Lindsay Lanois
Staff Signatur

Lindsay Lanois

Please Print

Date

KChambers

Kelsey Chambers

1/20/25

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: Proposed construction of a new single-family residence.

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

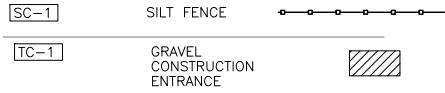
- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
\$250.00		
FEE 2:		
		\$250.00
FEE 3:		
		Pd. 01/24/2025, SG

BMP LEGEND

TEMPORARY RUNOFF CONTROL BMPs:



LEGAL DESCRIPTION:

3335 DIVIDE ST
KNOXVILLE, TN 37921
PARCEL ID 081PE003

SITE NOTES:

INDICATES NOTES APPLICABLE TO THIS PLAN ONLY WHEN REFERENCED.

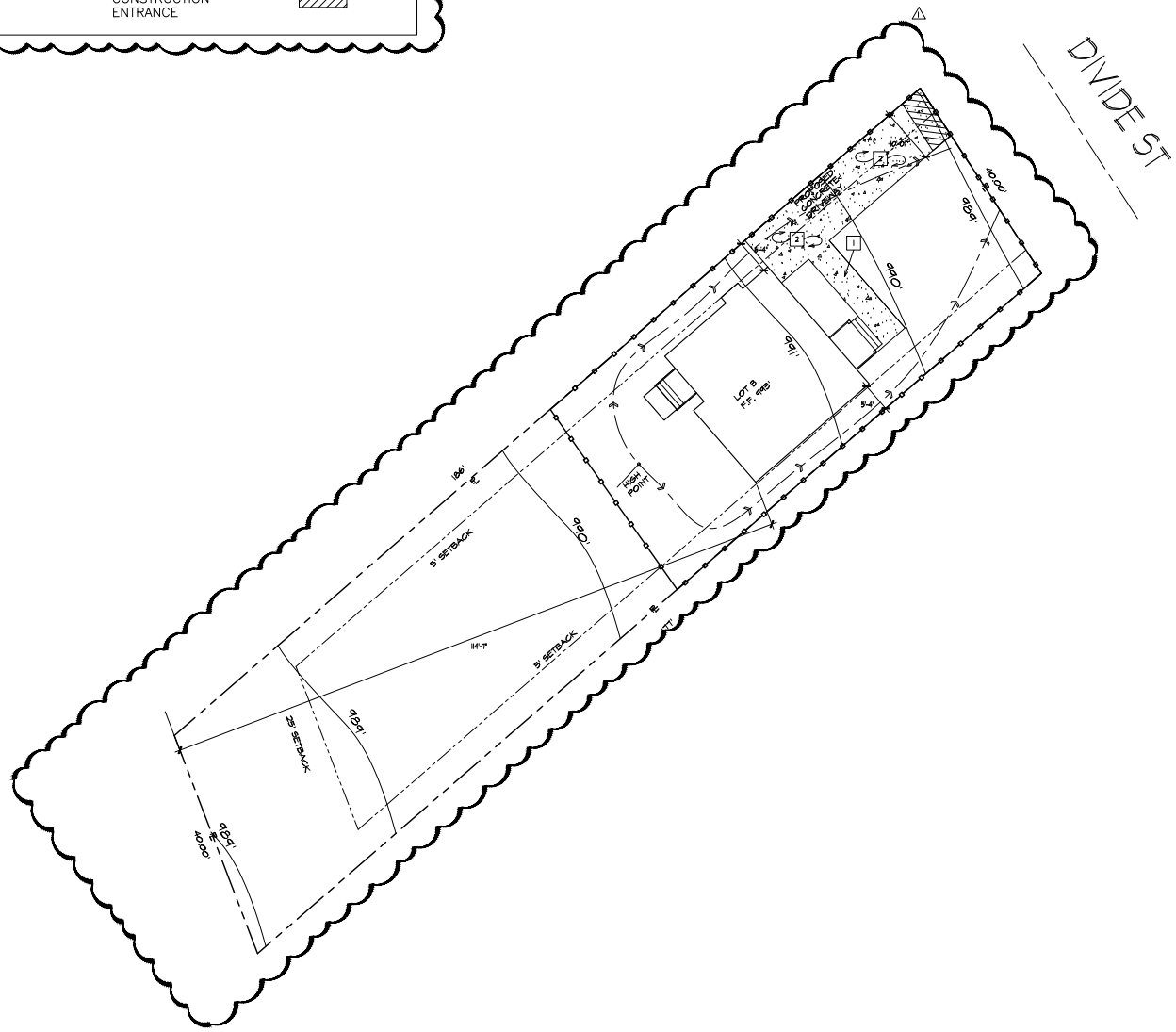
- PROPOSED CONCRETE WALKWAY.
- PROPOSED CONCRETE DRIVEWAY.

SQUARE FOOTAGE:

LOWER FLOOR PLAN:	
LIVING	794 SQ. FT.
PORCH	31 SQ. FT.
UPPER FLOOR PLAN:	
LIVING	794 SQ. FT.
TOTAL LIVING	1418 SQ. FT.

SHEET INDEX:

- A-1 SITE PLAN
- A-2 LOWER FLOOR & UPPER FLOOR PLAN
- A-3 MECHANICAL/ELECTRICAL PLAN
- A-4 ELEVATIONS
- A-5 FOUNDATION PLAN
- A-6 FLOOR FRAMING PLAN
- A-7 ROOF FRAMING PLAN
- A-8 SECTIONS



NOTE:

SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.

Revision: 01/24/2024
 02/27/2024
 03/20/2024
 04/10/2024

DMA
 DAVE MADDEN ARCHITECTURE
 Phone: 865-700-0686 • Email: dmadden@dmadma.com
 37125 PARKER HARRISON PARK, KNOXVILLE TN, 37924

Project and Location: **ALLAUNA VITELLI RES**
 3335 DIVIDE ST
 KNOXVILLE TN 37921
 LOT: 3

State of Tennessee logo

Drawn by: DM
 Checked by:
 Date: 12/27/2024
 Job No. 24-0467N

North arrow

1"=10'-0"
 Sheet Number
A-1
 Of Sheets

SQUARE FOOTAGE:

LOWER FLOOR PLAN:	194 SQFT.
PORCH:	31 SQFT.
UPPER FLOOR PLAN:	194 SQFT.
LIVING:	178 SQFT.
TOTAL LIVING:	178 SQFT.

FLOOR LEGEND

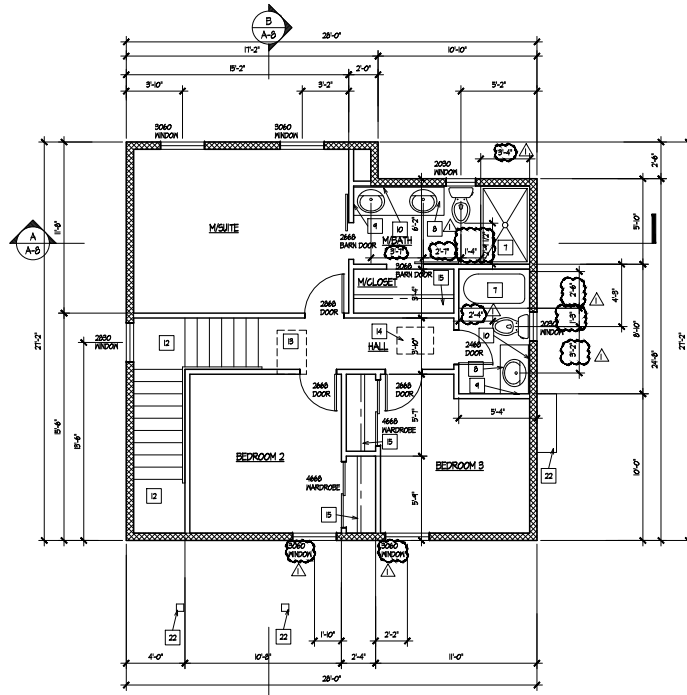
- 2X4 INTERIOR WALLS
- 2X6 EXTERIOR WALLS
- 2X6 PLUMBING WALLS

FLOOR PLAN NOTES

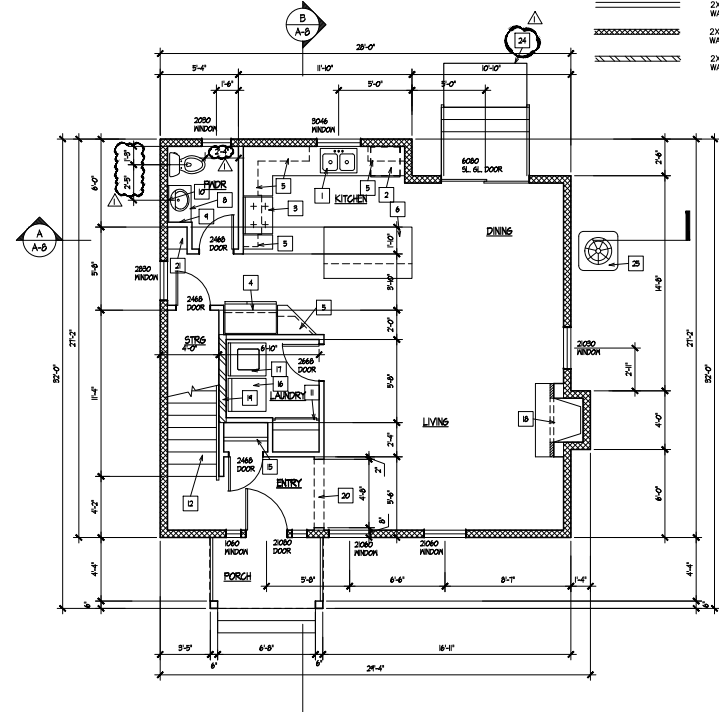
1. CONTRACTOR AND/OR SUBCONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, DATA, DIMENSIONS, SPEC'S, AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK. A REPORT AT ONCE TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION MUST BE DISCOVERED.
2. CONTRACTOR SHALL VERIFY HOWNER ALL FINISHES & MATERIALS PRIOR TO PURCHASE AND/OR INSTALLATION.
3. CONTRACTOR SHALL NOT MAKE ANY CHANGES OR DEVIATE FROM THESE PLANS WITHOUT AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT. IF OWNER AUTHORIZED ANY CHANGES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF STUD (IND.) IN CASE OF CONFLICT, LISTED DIMENSIONS TAKE PRECEDENCE OVER SCALE DRAWINGS. (DO NOT SCALE DRAWINGS)

FLOOR PLAN SCHEDULE

- INDICATES ITEMS REFERABLE TO THIS PLAN ONLY (IND. = UNLESS NOTED OTHERWISE)
1. DOUBLE SINK IN GARBAGE DISPOSAL. PROVIDE REQUIRED ELECTRIC AND WASTE.
 2. SELECT FINISHES. VERIFY DIMENSIONS WITH MFG.
 3. SLIP-R RANGES IN EYE LEVEL. MICROWAVE OR 2ND OVEN IN VENT TO OUTSIDE ARE SEE MECHANICAL PLAN FOR ADDITIONAL INFO.
 4. 3/4" CLEAR REFRIGERATOR/PREEZER SPACE. VERIFY DIMENSIONS WITH MFG. 2" CLEAR TOP WATER FOR ICE MAKER. VERIFY IN MFG. CABINETS & 3/8" A.F.F. IN CABINETS ABOVE. VERIFY IN OWNER. SLAB GARBAGE & 3/8" A.F.F. IN TOP. VERIFY IN OWNER.
 5. (1) PIECE FRIG. GLASS TUBCOVER IN TOP GLASS ENCLOSURE.
 6. BUILT-IN VANITY IN DRAWER.
 7. RECESSED KITCHEN CABINET IN TOP TO ALIGN WITH HINGER. HINGER TIED TO WALL. ABOVE SLAB IN TOP & 1/2" A.F.F.
 8. FACE FRAME LINEN/CLOSET CABINET IN RECESSED IN HALL.
 9. STAIRS SHALL MEET THE FOLLOWING REQUIREMENTS PER 2008 IBC:
 - a. MAX. RISE: 7"6"
 - b. MAX. TREAD: 11"0"
 - c. HINGER TREAD DEPTH AT HALL LINE = 10" MAX. AND 4" MIN. AT HANGOVER EDGE. FOR TREADS LESS THAN 11" THE RISES SHALL BE 7"0" MIN. AND 1/2" MAX.
 - d. MIN. RISE = 5"0"
 - e. MIN. TREAD ROOM = 6"0"
 10. PROVIDE CONTIGUOUS HANDRAIL FOR STAIRS IN 4 OR MORE FEET.
 11. HANDRAILS SHALL BE 3/4" MIN. TO 3/8" MAX. ABOVE JOINTS.
 12. INTERMEDIATE BALUSTERS SHALL BE 4"SP. O.C. MAX. ON OPEN EDGE.
 13. HANDRAILS SHALL BE 3/4" MIN. DIA. 2" MAX. DIA. NON-CIRCULAR & 4" MIN. 4"SP. MAX. PROJECTION DIA. IN 2"SP. MAX. CROSS-SECTIONAL DIMENSION. RADIUS CORNERS = 100" MIN.
 14. HANDRAILS SHALL RETURN TO LEVEL ON FLOORS.
 15. HANDRAILS AND GROUNDERS SHALL BE INSTALLED TO RESIST A SINGLE CONCENTRATED LOAD OF 200 LBS. PER 2008 IBC.
 16. FILL IN ATTIC. PROVIDE A 50" FLOOR JOIST PLATFORM AROUND INT IN MIN. 2" CLEAR IN FRONT OF INT. SEE MECHANICAL PLAN FOR ADDITIONAL INFORMATION.
 17. FILL ON 1/2" HIGH FLOOR JOIST PLATFORM. SEE MECHANICAL PLAN.
 18. 2" X 3/8" ATTIC ACCESS.
 19. SHELF IN PLACE AND METAL BRACKETS.
 20. ENTRY SPACE. SEE MECHANICAL PLAN FOR ADDITIONAL INFO.
 21. ENTRY SPACE. SEE MECHANICAL PLAN FOR ADDITIONAL INFO.
 22. METAL FIRE-RATE "IMPACT" UL LIST OR APPROVED EQUAL. HOOP (NAIL BEAMS) OF MIN. NON-COMBUSTIBLE MATERIAL. AROUND OPENING OF FIRE-RATE. PROVIDE GLASS DOORS. VENT TO OUTSIDE AIR AND PROVIDE AN APPROVED SPINE. APPROVED AT CONNECT. CAP. FIRE-RATE OPENINGS SHALL NOT PERMIT PASSAGE OF A SPHERE WITH A DIAMETER GREATER THAN 1/2" FOR BLOCK PASSAGE OF A SPHERE WITH A DIAMETER OF LESS THAN 3/8". THE MFG'S INSTALLATION INSTRUCTIONS FOR FACTORY BUILT PRODUCTS SHALL BE AVAILABLE TO THE FABRICATOR AT THE FRAMING INSPECTOR. INSTALLATION AND USE SHALL BE IN ACCORDANCE WITH LISTINGS.
 23. 2" X 4" FRAMED PLUMBING WALL.
 24. SUFFIT OPENING.
 25. SELECT OPENING SIZES.
 26. LINE OF FLOOR BELOW.
 27. UNLESS WATER BEAKER IN CABINET USE NON-WOOD CONNECTIONS AND STRAP FOR LATERAL SUPPORT IN TOP-RAMP CASE TOP AND BOTTOM ALSO LAUNDRY DOOR HINGERS AND 5/8" DIA. VENT. SEE MECHANICAL PLANS FOR ADD. INFO.
 28. EXTERIOR COURSE STAIR.
 29. AIR CONDITIONS INT ON CONCRETE PAD.



UPPER FLOOR



LOWER FLOOR

Project and Location: **ALLAUNA VITELLI RES 3335 DIVIDE ST KNOXVILLE TN 37921 LOT: 3**

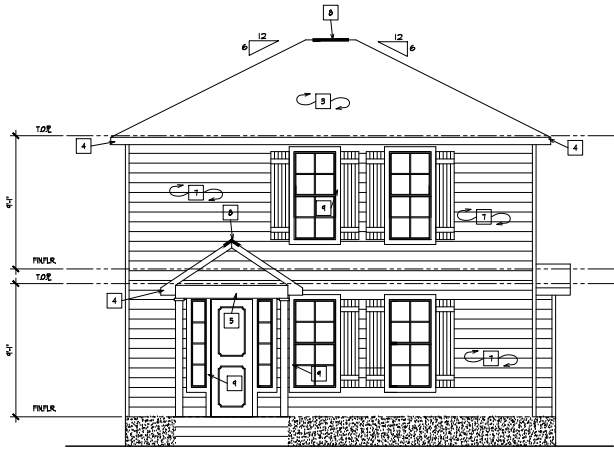
Architect: **DMA DAVE MADDEN ARCHITECTURE**
 Phone: 865-702-0466 • Email: maddendave@gmail.com
 37025 PARKER HANCOCK PARK, KNOXVILLE TN, 37924

Scale: **1/4" = 1'-0"**

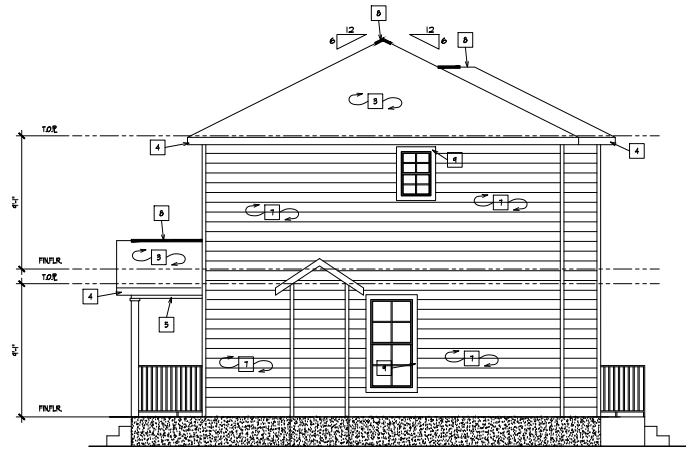
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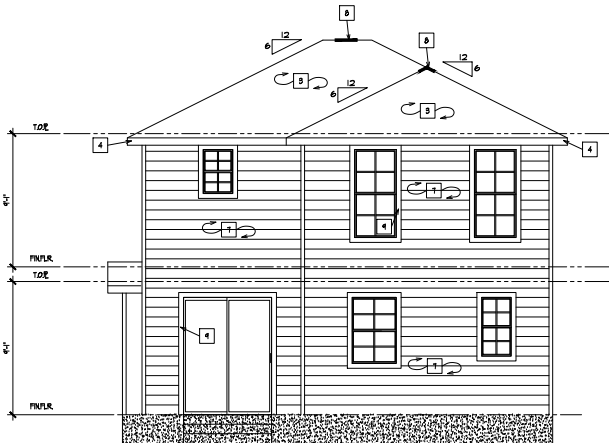
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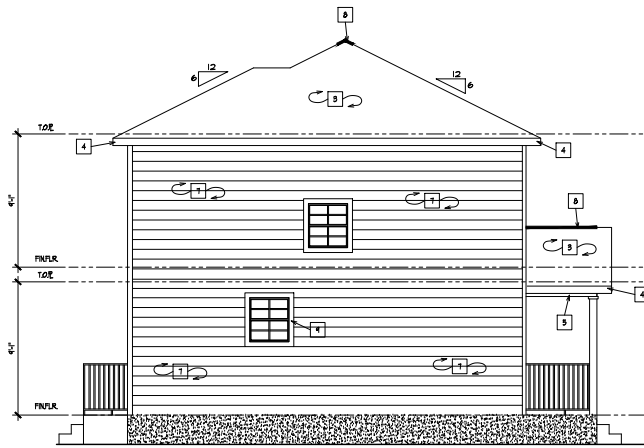
FRONT ELEVATION



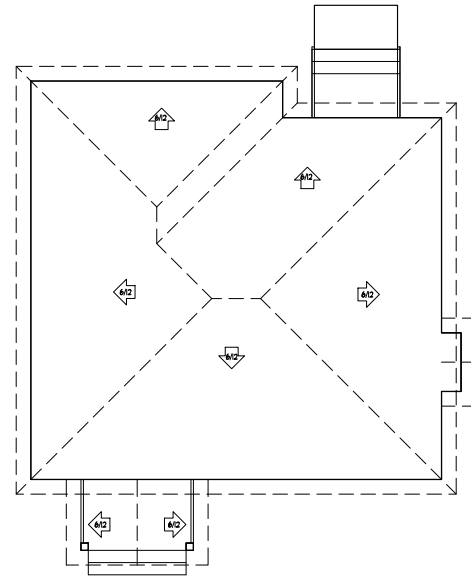
RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



ROOF PLAN

ELEVATION SCHEDULE

INDICATES NOTES APPLICABLE TO THIS PLAN ONLY (SUCH) UNLESS NOTED OTHERWISE

1. ALL EXPOSED TRIM, ROOF SHEATHING, BEAMS, ETC. WERE INDICATED SHALL BE REFINISH AND FINISH OF CHOICE (SUCH) AND SHOWN AS POSSIBLE.
2. GALV. ROOF FLASHING & GUTTER-FLASHING WITH CALLINGS AT INTERSECTION OF ROOF TO WALL.
3. ROOFING MATERIAL: 150 GRADE/CLASS #1 ASPHALT SHINGLES (GUTTER-TRIM OR APPROVED EQUAL) PROVIDE 1/2" RAISE TRIM TIES AND DAVE CLIPS. ROOF MATERIAL TO BE INSTALLED PER MFG. SPECIF. PROVIDE 2x8 @ 12" FLASHING & GUTTER-FLASHING AS REQUIRED. USE 2" LAYERS 50# FELT UNDERLAYMENT PER ROOF MATERIAL'S MFG. SPEC. PROVIDE 1/2" WOOD BRIDGE COATING OR VERIFY FINISHES. ALUMINUM FLASHING 2x FASCIA WITH ALUMINUM VERTICALLY BOARDS. BEAM SEE NOTE #11 BRIDGE/CLIP OR COVERED AS INDICATED SIZE AS SHOWN.
4. ROOF SEE NOTE #11 PLAN BRIDGE/CLIP OR TIED AS INDICATED SIZE AS SHOWN.
5. HORIZONTAL VINYL SIDING COLOR NUMBER.
6. GALV. MTL. LAUNDERED ATTIC VENT WITH SUREN BACKING.
7. 2x4 ROOF BRIDGE OVER 6" FELT.

DAVE MADDEN ARCHITECT
 Phone: 615-770-0466 • Email: madden@dmarch.com
 3125 Forster - Harrison Hwy., Rockville, TN 37124

ELEVATIONS

Project and Location:
ALLAUNA VITELLI RES
3335 DIVIDE ST
KNOXVILLE TN 37921
LOT: 3



Drawn by: DM
 Checked by:
 Date: 12/21/2024
 Job No: 24-0467N

1/4" = 1'-0"
 Sheet Number:
A-4
 Of Sheets