

File Number: 12-E-25-IH

**Meeting:** 12/17/2025  
**Applicant:** Logan Higgins Heyoh Design & Development  
**Owner:** Quinn Epperly QB Realty Team LLC  
**District:** Edgewood Park Infill Housing Overlay District

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### Property Information

**Location:** 2802 N. Broadway **Parcel ID:** 81 D E 001  
**Zoning:** C-G-2 (General Commercial)  
**Description:** New primary structures

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### Staff Recommendation

The Board should discuss the site plan, parking placement, the front elevations, a potential porch element, and measures to differentiate the buildings.

Staff recommends postponement of Certificate 12-E-25-IH to allow the applicant to resolve zoning issues, clarify details on the site plan, and provide unique elevation drawings.

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### Description of Work

Level III New Primary Structure

Two new identical three-story multi-family buildings accessed via Bill Williams Avenue. The buildings measure 49'-5" wide by 92'-2" deep and contain two rectangular massings connected by an open central massing with a staircase. The proposed setbacks are not specified. The buildings feature horizontal siding, siding panels, and brick, a brick-clad slab foundation, and a flat roof with a shed clerestory roof over the central massing. Parking is accessed via a driveway from Bill Williams Avenue that runs in front of the buildings and connects to two surface parking lots to the east of each building.

The front and rear elevations (north and south, labelled as "side elevations") are clad in siding and each story features two casement windows and a fixed window flanking a vertical brick module, and there are four openings on either side of the clerestory that are visible above the primary roofline. The side elevations (east and west, labelled as "front & back elevations") are identical and feature two modules with a mix of horizontal siding and siding panels flanking a recessed brick module on either side of the connected by the central massing. The left and right modules feature three stories of three fixed windows, and the two modules flanking the clerestory feature a casement window and fixed window on each story.

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### Comments

1. The plans indicate a third apartment building on the neighboring parcel (081DE005) that is labelled "phase II" and is not part of this application because a 12-unit apartment building is not currently a permitted use. The applicant is

requesting to rezone parcel 081DE005 and a 65' wide by 20' deep section at the southeast corner of 2802 N Broadway to the RN-5 (General Residential Neighborhood) zone (map at end of file), and the case (1-I-26-RZ/1-B-25-SP/1-C-25-PA) will be heard at the January 8 Planning Commission meeting. Both depicted parking lots are included in this application, but the third building will need to be reviewed with a separate application.

2. Staff recommended that the case be postponed to allow the applicant to have a Project Discussion Meeting before it is heard by the Board after a number of zoning issues were identified during the preliminary review, including but not limited to the build-to-zone, the build-to-zone percentage, side setbacks, buffer yards, the access, and concerns about the principal use standards (Article 9.3.I). This was communicated with the applicant who decided not to postpone the case so that they could receive feedback from the Board. The case should be postponed until these zoning issues are resolved.

3. The setbacks are not specified. If the rezoning case is successful, building B would not meet the required 25' minimum rear setback in RN-5. The front setbacks scale to range from approximately 35'-40', which aligns with the adjacent building's 40' front setback.

However, the property has a cross-slope, rising approximately 20' from west to east. The grading plan is not clear, and details are not provided for the detention pond, with notes indicating these elements will be finalized later by a civil engineer. The current site plan and setbacks could be significantly affected by necessary revisions to meet City Engineering standards and stormwater requirements. The case should be postponed to allow the applicant to clarify the grading plan, detention pond details, and setbacks.

4. The proposed driveway running in front of the buildings and the parking lots adjacent to the buildings do not align with the recommendations of the design guidelines, which state that "Parking should be provided behind apartments..." and that "On streets without alleys...parking pads...should be at least 20 feet behind the front façade..." Plans Review and Inspections expressed concerns about the access.

It would be challenging to revise the site plan to place parking behind the buildings due to the access off Bill Williams Avenue and the depth of the lot. The applicant should provide the unit mix to calculate the minimum required off-street parking spaces. The appx. 5' of pavement that projects from the rear (south) of the parking lots must not extend into the required Class A buffer to comply with Article 12.8.A. The final site plan should meet City Engineering standards. The Board should discuss the parking and driveway placement and whether additional measures should be taken to reduce the size and visibility of the parking.

5. The landscaping includes the shade trees recommended by the guidelines, shrubs around the perimeters of the buildings, and buffer yards along the south lot line that abuts the rear of a block of single-family houses. Existing trees are marked to be preserved along the north and south lot lines, which aligns with guideline recommendations. The final site plan should meet Article 12 and fulfill the requirements of the Tree Protection Ordinance, with revisions to be approved by staff.

6. The site plan includes sidewalks along the perimeter of the parking lots, and a potential pedestrian access to N Broadway that crosses over the detention pond is depicted on the west lot line. Guidelines recommend that new construction feature a walkway to the street. Pedestrian access to Bill Williams Avenue should be provided, and the applicant should coordinate with City Engineering to confirm the feasibility of the pedestrian access to N Broadway.

7. The guidelines for multi-family housing recommend that new multi-family buildings "be designed in scale and context with the early architectural features of the neighborhood." The block only features commercial and office buildings, and Branson Avenue to the south primarily features Craftsman bungalows. Most nearby apartments are two-story with brick cladding and date from 1965-1980, with the exception of two three-story, Tudor apartment buildings from 1928 at 3328 N Broadway with elaborate parapets and masonry cladding and details.

The proposed buildings are modern in style, but they incorporate brick cladding with alternating sections of running

bond and stacked soldier bond profiles that aligns with the context. Variations in the proposed parapets, such as the crenellations and gables at 3328 N Broadway, could add visual interest to the front elevations and increase compatibility with surrounding residential architecture.

8. The three-story height is appropriate within the surrounding nonresidential context, and the rear landscaping reduces the visual scale from Barton Avenue. Separate drawings should be submitted for each elevation, and the final drawings should be unique for each building and accurately depict the foundation along grade.

9. Guidelines recommend using “porches, bays, and breaks in the front façade,” to “continue the architectural rhythm of the block,” and create massings “divided into separate sections that are proportionally similar to original houses on the block.” This is achieved by the alternating modules of brick and siding and the clerestory massing. However, a recess and/or projection should be added to the flat front elevations (labelled “side elevations” on plans). The applicant should coordinate with Plans Review and Inspections about any necessary revisions to meet the principal use standards for multifamily development (Article 9.3.I).

10. Guidelines for single-family and multifamily construction encourage incorporating porches or stoops with proportions compatible with the context. The open central staircase massing is oriented towards the side yards and is accessed via a small concrete walkway from the parking lot on the east elevations. Multifamily buildings recently approved within the overlay have included porches large enough for seating at shared and individual entries (see 11-D-24-IH, 2501 Edgewood Ave. and 9-F-25-IH, 3547 Oswald St.). The Board should discuss whether revisions to incorporate a porch element are necessary, such as providing space for seating and emphasizing the entrance on the central massing (side elevations) or adding a shared patio space on the front elevations.

11. The design primarily uses single-light fixed windows interspersed with casement windows, and all elevations feature sufficient transparency. Fixed windows are not typically approved within the overlay but can be appropriate for the modern apartment buildings. The doors in the central massing are not depicted but are unlikely to be visible from the street.

12. The buildings feature a flat roof and a shed roof clerestory, which is appropriate for a modern multifamily building. The side elevations feature shorter parapets on the recessed brick massings, and the parapets along the front and rear elevations do not vary in height. Variations to the parapets and clerestory roof forms could be used to differentiate the buildings and to incorporate contextual architectural features.

13. The horizontal siding and brick cladding meet the design guidelines, and the design benefits from the brick detailing, which should be retained. The material of the flush panels should be clarified. Final material specifications should be sent to staff for review. Brick masonry or veneer should be used, as opposed to thin brick.

14. The two apartment buildings (and the third not included in the application) feature an identical design. The Board should discuss measures to differentiate the buildings.

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## Applicable Design Guidelines

### Heart of Knoxville Infill Housing Design Guidelines

#### 1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

## 2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

## 3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

## 4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

## 5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

## 6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

## 7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms

were historically used on the block.

- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

#### 8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

#### 11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house.

#### 10. Multi-Unit Housing

- Multi-unit housing (where permitted by zoning) should have similar front yard space to that of the traditional single-family houses along the street.
- In zoning districts where multi-unit housing is permitted, the height of the new housing should be similar to the original houses along the street.
- Multi-unit housing should be designed to continue the architectural rhythm of the block. In addition to the same build-to line, porches, bays and breaks in the front façade should be created to mimic the look of older homes when looking down the block. This should be done by dividing the building into separate sections that are proportionally similar to original houses on the block.
- Parking should be provided behind apartments with access from the alley.



# DESIGN REVIEW BOARD

**12-E-25-IH**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

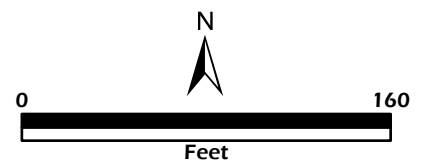


**2802 N. Broadway**  
**Edgewood Park Infill Housing Overlay District**

Original Print Date: 12/5/2025 Revised:  
Knoxville - Knox County Planning · Design Review Board

Revised:

**Petitioner: Logan Higgins Heyoh Design  
& Development**





## DESIGN REVIEW REQUEST

☐ DOWNTOWN DESIGN (DK)

☐ HISTORIC ZONING (H)

☒ INFILL HOUSING (IH)

Heyoh Architecture

Applicant

11-26-25

12/17/2025

12-E-25-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☐ Contractor ☐ Engineer ☒ Architect/Landscape Architect

Logan Higgins

Heyoh Architecture

Name

Company

133 S Gay St

Knoxville

TN

37902

Address

City

State

Zip

8652360430

admin@heyohdesign.com

Phone

Email

## CURRENT PROPERTY INFO

QB Reality Team LLC

9812 Westland Dr

Owner Name (if different from applicant)

Owner Address

Owner Phone

2802 N Broadway, Knoxville, TN 37917

081DE001

Property Address

Parcel ID

Edgewood Park

C-G-2

Neighborhood

Zoning

## AUTHORIZATION

*Malynda Wollert*

Malynda Wollert

12-1-25

Staff Signature

Please Print

Date

*Logan Higgins*

Logan Higgins

11-26-25

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs    ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure    ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HISTORIC ZONING

Level 1:

- ☐ Signs    ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials    ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure    ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities    ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street    ☐ Changes to porches visible from the primary street

Level 3:

- ☒ New primary structure  
☒ Site built    ☐ Modular    ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☒ Brief description of work: New construction of 2 identical, multi-family structures with 12 units each (for a total of 24 units). Design to incorporate use of siding and brick materials with a garden-style breezeway in the middle of each building.  
\_\_\_\_\_  
\_\_\_\_\_

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist  
☐ Historic Zoning Design Checklist  
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

\$250

FEE 2:

FEE 3:

TOTAL:

Pd. 12/02/2025, SG





# BROADWAY APARTMENTS

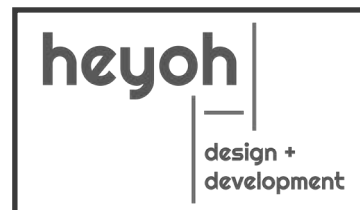
2802 N BROADWAY + 0 BILL WILLIAMS AVE.  
INFILL HOUSING REVIEW



## INDEX

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This application has been prepared to seek approval of the project from Knoxville's Design Review Board under Infill Housing Review.



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# OVERVIEW + EXISTING SITE CONDITIONS

2802 N Broadway and 0 Bill Williams Avenue are an empty pair of lots off of Broadway in northern Knoxville, about 10 minutes north of Downtown. At roughly 3/4 acre, the site lives in 2 zones, 3 sectors, and is essentially surrounded by commercial and office spaces.

On its southeastern side, it abuts a residential neighborhood, but there are no other residential uses on its block, to the north, nor to the southwest.

The design for this double lot is three individual apartment buildings totaling 36, 1-3 bedroom units across all three buildings.

These apartments bring multi-family housing to an area without a consistent fabric, with a lack of surrounding multi-family housing, and directly adjacent to a commercial corridor making it a prime location.



1985



2010



2025



EXISTING SITE CONDITIONS

\*Photos above/below courtesy of realtors.



NORTH BROADWAY

\*Photos above/below courtesy of realtors.



NORTH BROADWAY

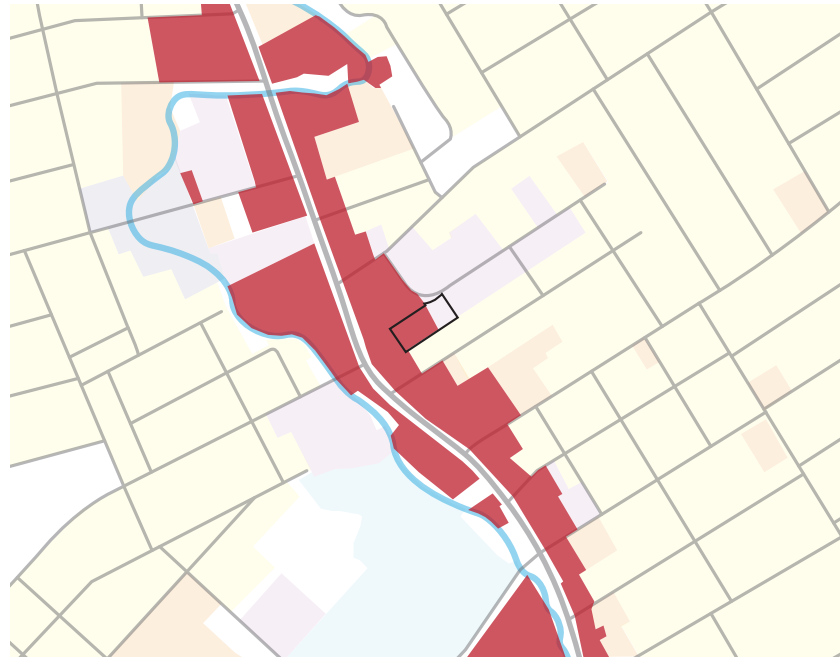
## ZONING & SURROUNDING USES

While Design Review Board has no bearing on zoning, the lack of consistent infill fabric that is typical in other infill zones across Knoxville creates a situation where this site's integration into the existing fabric is difficult.

The site is surrounded by miscellaneous businesses ranging from auto parts stores, restaurants, loan offices, and convenience stores.

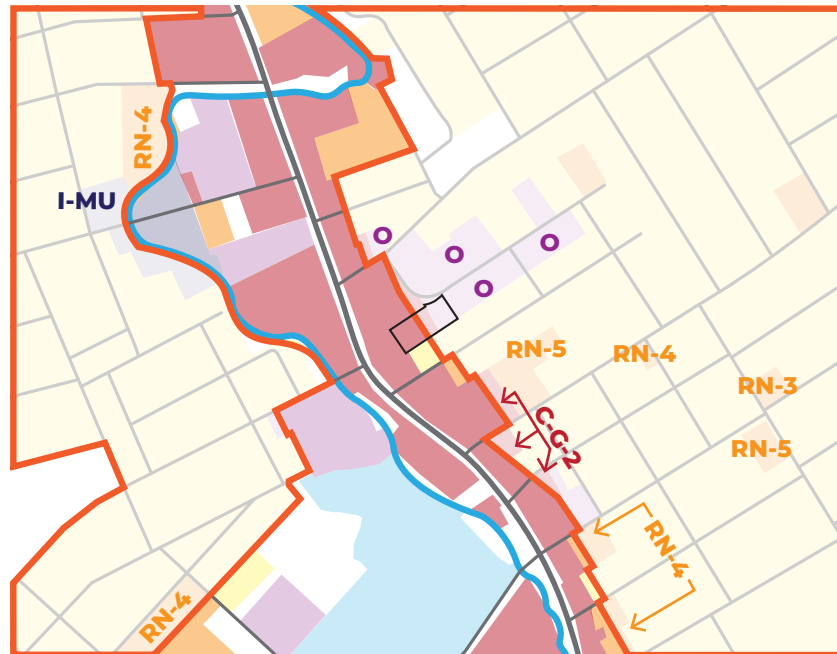
While half the property currently exists in TDR sector planning, there are multiple instances around the site where higher-density uses spill into that sector which further explains the lack of consistent character in the area.

**The photos on the following page clearly portray the characteristics of the block and surrounding buildings.**



### COMMERCIALLY ZONED LAND IN VICINITY

■ C-G-2 Zoning



### BOUNDS OF TDR + ZONES THAT OVERLAP

- Commercial Zoning
- Higher Density Residential (RN-3,4,5,6)
- RN-2
- INSTITUTION
- INDUSTRIAL (I-MU)
- OFFICE



# URBAN & NEIGHBORHOOD FABRIC



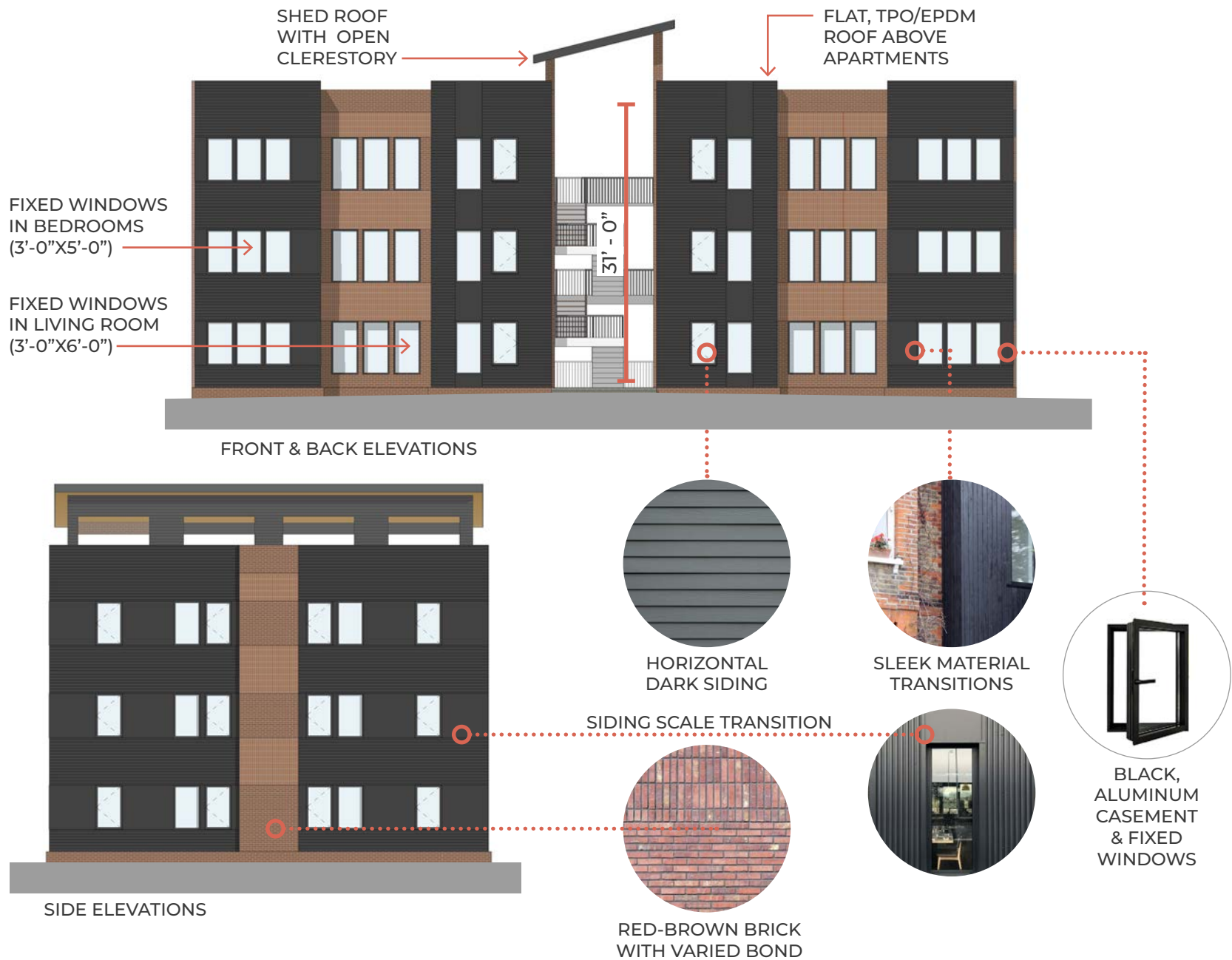


# PRECEDENTS FOR BUILDING DESIGN

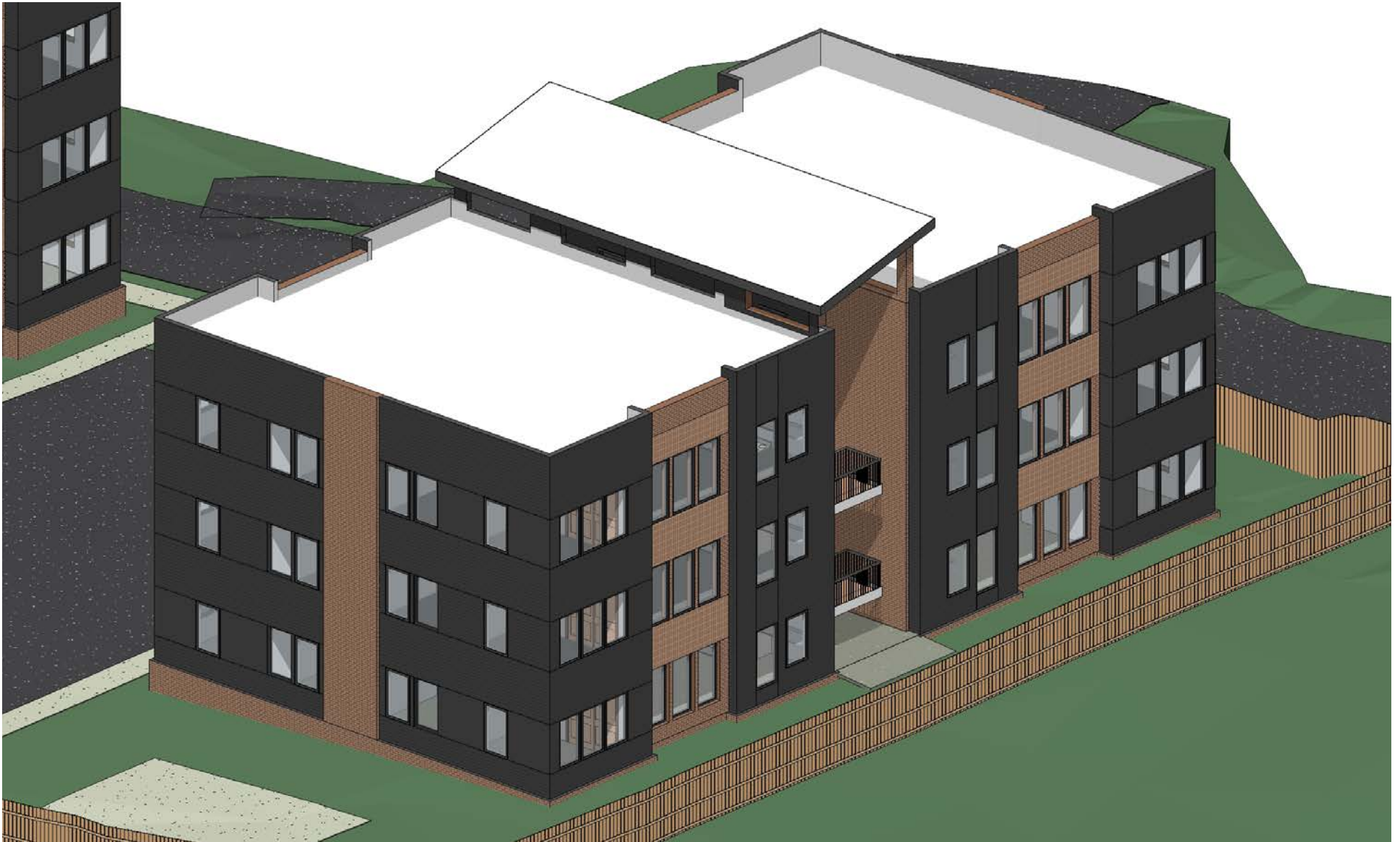






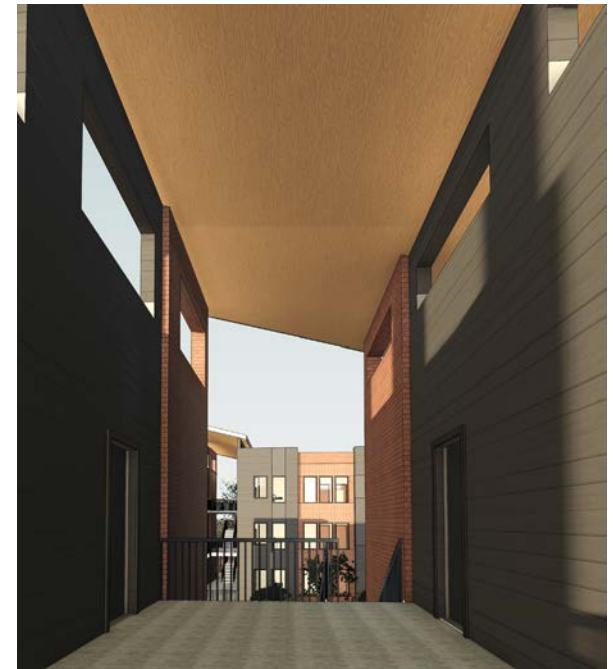


# AXONOMETRIC









# KNOXVILLE INFILL HOUSING REVIEW GUIDELINES

## EXCERPT FROM HEART OF KNOXVILLE INFILL HOUSING DESIGN GUIDELINES:

### INTRODUCTION

*"The purposes of these guidelines are to re-establish the architectural character of those historically valuable properties with **new housing that is architecturally compatible; to foster neighborhood stability; to recreate more pedestrian-oriented streets; and to meet a wide range of housing needs.** These guidelines should be used to understand the major elements of architectural compatibility and promote housing designs that are usable and economically achievable. **These guidelines have been created to apply to areas where there are no historic or neighborhood conservation zoning overlays or Traditional Neighborhood Development district zoning.** Those areas already have specific guidelines for infill and vacant lot development; the guidelines for those districts are available through the Metropolitan Planning Commission."*

*In an effort to explain the new infill project, we have thoroughly gone through the Infill Housing Review Guidelines and noted on the following pages how we have appropriately responded to each guideline.*

## 1. FRONT YARDS

Front yard space was consistent from house to house with porches being located about the same distance from the street. Although there is variation in some blocks, a twenty-five foot setback to the front door is very common. Lawns and an occasional shade tree were found on virtually all lots.

GUIDELINES	APPLICATION
Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.	<b>As there is not a consistent pattern of yards, setbacks, and blockface, the yards created respect the surrounding parcels per zoning code.</b>
When several infill houses are sited, porches and the habitable portion of each house should be about the same distance from the street as the original houses.	<b>N/A - No adjacent houses; original house existed without typical setbacks.</b>
A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.	<b>As there are no adjacent sidewalks or gridded streets, there are only internal walkways to get from parking to the buildings.</b>
Fences that are constructed of traditional materials, such as picket fencing, may be used to define the front yard. Chain linked, masonry, wide boards and other contemporary fencing should be used only in backyards.	<b>N/A - Front yard fences are not being proposed.</b>
Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.	<b>Healthy, existing trees will be preserved to the highest degree possible.</b>

## 2. HOUSE ORIENTATION + SIDE YARDS

The typical city lot prior to 1930 was 50 feet wide. This dimension led to the development of houses which were relatively narrow and had substantial depth. Craftsman style homes are good examples of this characteristic. Because of this characteristic, side yards were relatively narrow.

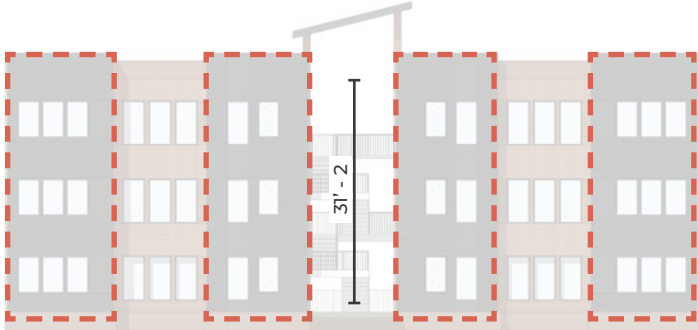
GUIDELINES	APPLICATION
New housing should be proportional to the dimensions of the lot and other houses on the block.	<b>N/A - No other houses on block. However, the buildings are proportional to the size of the lot in terms of FAR and building coverage.</b>
On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in "Heart of Knoxville" neighborhoods.	<b>N/A</b>
Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.	<b>A similar sideyard setback is provided between the adjacent house and new building to match the condition of the existing houses.</b>
On lots greater than 50' in width, consider re-creating the original lot size.	<b>This particular lot has never had a traditional lot size, and therefore there are no original lot sizes to re-create.</b>

### 3. ALLEYS, PARKING, AND SERVICES

<i>Alleys should serve two significant purposes: (1) accommodation of such services as utilities and garbage collection, and (2) access to off-street parking including garages and parking pads. A large proportion of the “Heart of Knoxville” neighborhoods have alleys. Unfortunately, such standards as setbacks for garages, types of materials for parking pads and encouragement of alleys for off-street parking are lacking. With infill development, the use of alleys for parking access is necessary.</i>
GUIDELINES
Parking should not be in front yards.
Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front facade.
Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
On those streets which have alleys, driveways should not be permitted from the front of the house.
On corner lots, a driveway to the garage may be provided off the side street.
<b>Not applicable as there are no alleys to access this site. However, parking will be provided with no parking in the front yard(s)</b>

### 4. SCALE, MASS, + FOUNDATION HEIGHT

<i>The scale of early homes was generally consistent from one house to another; especially foundation heights, proportions of first floor elevations, and sizes and shapes of roofs. Sometimes, a one and one-half story house might be found next to a two story house but the essential elements of similar foundation height and façade characteristics created homes that tried to look tall and resulted in architectural compatibility.</i>	
<i>When a house is built on slab with a low pitch next to a traditional older house, the proportions of the two houses clash, resulting in an absence of architectural harmony. The following principles are critical in maintaining historic and property values.</i>	
GUIDELINES	APPLICATION
The front elevation should be designed to be similar in scale to other houses along the street.	<b>We are proposing multi-family but with projecting bays to break up the facade into proportions more fitting in a housing setting even though this lot is not in that setting.</b>
The front façade of new houses should be about the same width as original houses on the block.	
If extensions or bays were typically part of the neighborhood’s historic house design, such elements should be incorporated into infill housing.	<b>Projecting bays are incorporated into the facade design.</b>
New foundations should be about the same height as the original houses in the neighborhood.	<b>Foundation heights are similar to housing in the greater area.</b>
If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.	<b>The building height is comparable to the surrounding office and commercial spaces.</b>





# 5. PORCHES + STOOPS

<i>Porches and stoops were incorporated into most house designs in Knoxville prior to 1900, providing a comfortable place to enjoy a summer breeze or to talk with family and neighbors. Later, front porches became less prominent as such styles as Dutch Colonial, Tudor Revival and Ranch houses became popular. Some houses only had small stoops.</i>
<b>GUIDELINES</b>
Porches should be part of the housing design in those neighborhoods where porches were commonplace.
Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron, "antebellum" columns and other materials that were not used in the early 1900's should not be used.
Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.
The addition of a porch to a Ranch-style house may be acceptable in some 1930-1950 era neighborhoods.
<b>Not applicable - no porches or stoops being proposed.</b>

# 6. WINDOWS + DOORS

<i>Every architectural style also has certain distinguishing window shapes and location. For instance, the windows of Victorian-era houses are narrow and tall. Craftsman houses are broader with a multiple paned sash over a one pane sash. When an infill housing design is selected, the windows should be similar in scale and design to those of other houses on the block.</i>
<b>GUIDELINES</b>
When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
To respect the privacy of adjacent properties, consider the placement of side windows and doors.
The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.
<b>These guidelines have been followed as applicable. The proposed windows will be a combination of metal casement and fixed windows which are typical proportions to windows in the area (3ftx5ft &amp; 3ftx6ft). This window style is a typical size, though not commonly used in the area but this is also an example of advances in technology and allowing for contemporary elements.</b>



LARGE PICTURE  
WINDOWS FOR  
DAYLIGHTING



BLACK,  
ALUMINUM  
CASEMENTS



# 7. ROOF SHAPES + MATERIALS

# 8. SIDING MATERIALS

<i>Steeper roof pitches and relatively darker shingles were common to most historic homes and are a basic consideration in new construction. Less pitch is common in Ranch styles, popularized after World War II.</i>	
GUIDELINES	APPLICATION
New roofs should be designed to have a similar pitch to original housing on the block	<b>Since this lot is part of an office/ commercial fabric with no consistent typology, we are incorporating a flat roof.</b>
More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.	N/A
Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.	<b>The roofing material will not be seen from the street, so we are proposing a light colored membrane roof for greater energy efficiency.</b>
In some 1930-1950 era neighborhoods that have a mix of Ranch-style houses, it may be appropriate to change the roof to add a half-story.	N/A

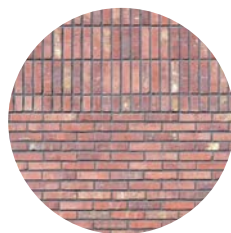
<i>Clapboard and brick were the most common siding. Houses in some neighborhoods, like Oakwood, were almost totally constructed with clapboard. The exterior materials of new construction should be like that of the neighborhood's older or historic architecture.</i>	
GUIDELINES	
Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.	
Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.	
Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate.	
Sheds, garages, and other outbuildings can be constructed of vertical siding or other more economical materials.	
<b>These guidelines have been followed as applicable. The surrounding commercial and office materials are primarily stucco and brick. To create a break in this composition and set this aside as housing, both horizontal siding / clapboard-like materials and red/brown brick are being proposed.</b>	



HORIZONTAL  
DARK SIDING



SLEEK MATERIAL  
TRANSITIONS



RED-BROWN  
BRICK WITH  
VARIED BOND



SIDING SCALE  
TRANSITION

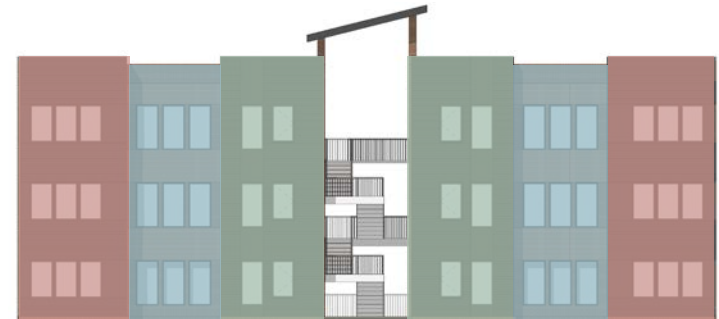
# 10. MULTI-UNIT HOUSING

\* NUMBERS 9 AND 12 HAVE BEEN OMITTED DUE TO LACK OF APPLICATION

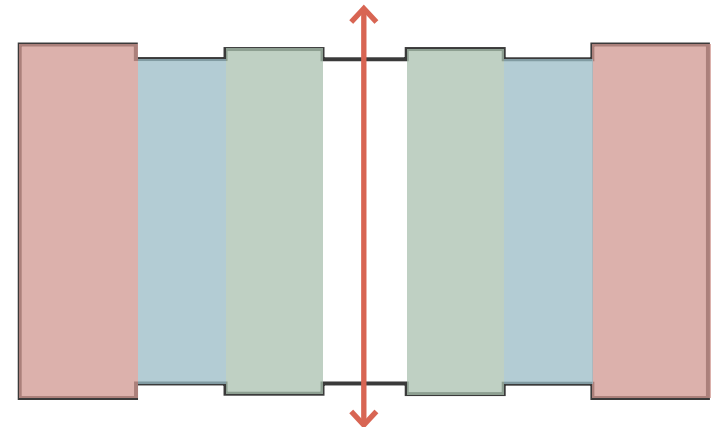
Following World War II, many single-family neighborhoods were rezoned to permit apartments. **This was done under an urban development theory that the highest density housing should be close to the central business district.** The results have been mixed. In some instances the design of multi-unit buildings are completely out of context to older neighborhoods with apartment buildings looking like they should have been part of suburbia.

In places where multi-unit housing is permitted by zoning, it is essential to neighborhood stability that new apartment buildings be designed in scale and context with the early architectural features of the neighborhood.

GUIDELINES	APPLICATION
Multi-unit housing (where permitted by zoning) should have similar front yard space to that of the traditional single family houses along the street.	<b>The setbacks and yards proposed are similar in scale to a traditional single family home even though these do not exist on the block.</b>
In zoning districts where multi-unit housing is permitted, the height of the new housing should be similar to the original houses along the street.	<b>As there are no original houses on the street, we have limited the height to 3-stories and are comparable in height to some surrounding office spaces. The closest multi-family units are 2 &amp; 3-stories in height.</b>
Multi-unit housing should be designed to continue the architectural rhythm of the block. In addition to the same "build-to line," porches, bays and breaks in the front façade should be created to mimic the look of older homes when looking down the block. This should be done by dividing the building into separate sections that are proportionally similar to original houses on the block.	<b>We are proposing multi-family but with projecting bays to break up the facade into proportions more fitting in a housing setting even though this lot is not in that setting.</b>
Parking should be provided behind apartments with access from the alley.	<b>We are proposing common parking for residents and visitors throughout the development (see site plan).</b>
Landscaping, including shade trees, should be planted in both front and back yards.	<b>Trees will be preserved and/or planted in front and back yards.</b>



ELEVATION FACADE PATTERN



PLAN MASSING PATTERN



3104 N Broadway



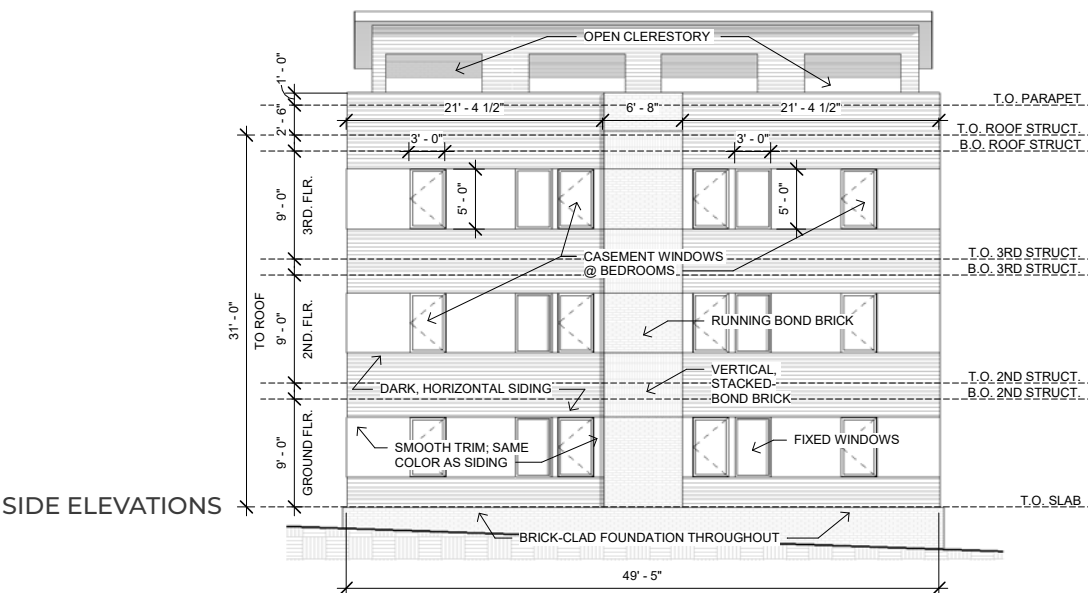
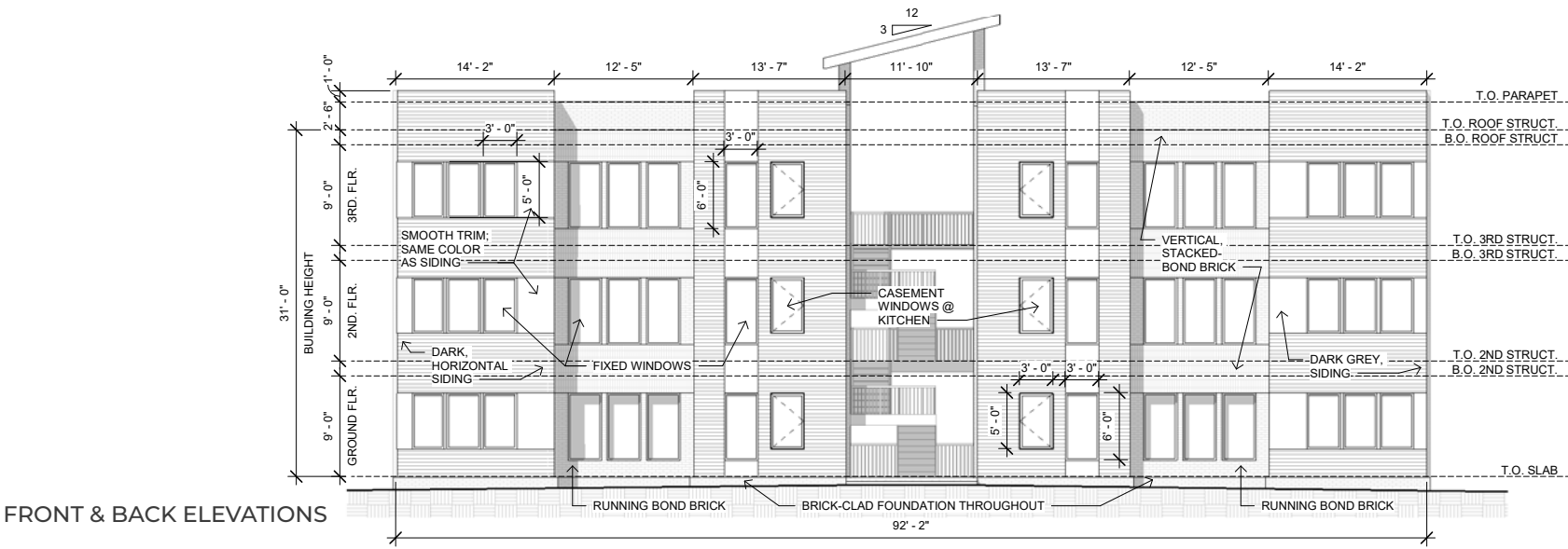
3314 N Broadway

# 11. LANDSCAPING + OTHER CONSIDERATIONS

\* NUMBERS 9 AND 12 HAVE BEEN OMITTED DUE TO LACK OF APPLICATION

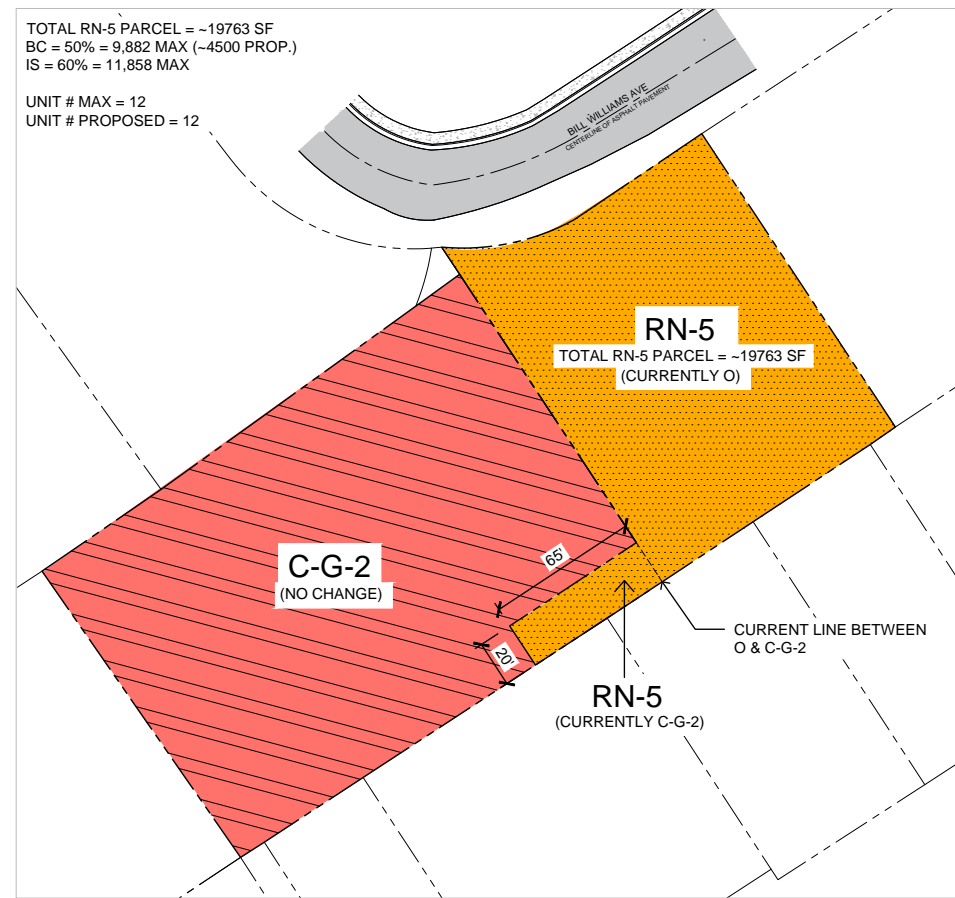
<i>In historic neighborhoods around the Heart of Knoxville, street trees were planted to provide shade and cover near the sidewalks in the front yard. Fences were made of available materials and remained low and decorative around the front yard. This tradition is important when considering the overall aesthetic of a historic neighborhood.</i>
<b>GUIDELINES</b>
One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.*
Fencing and hedges should not exceed 42 inches in height in front yards.
Chain link fencing should be reserved for the rear yard, no less than 5 feet behind the front facade.
Front yard fences may use picket, wrought iron, or other historic material only.
Front yard trees are not necessary along blocks that have planting strips that are more than 6 feet wide.
<b>These guidelines have been followed as applicable.</b>

# APPENDIX A: ELEVATIONS

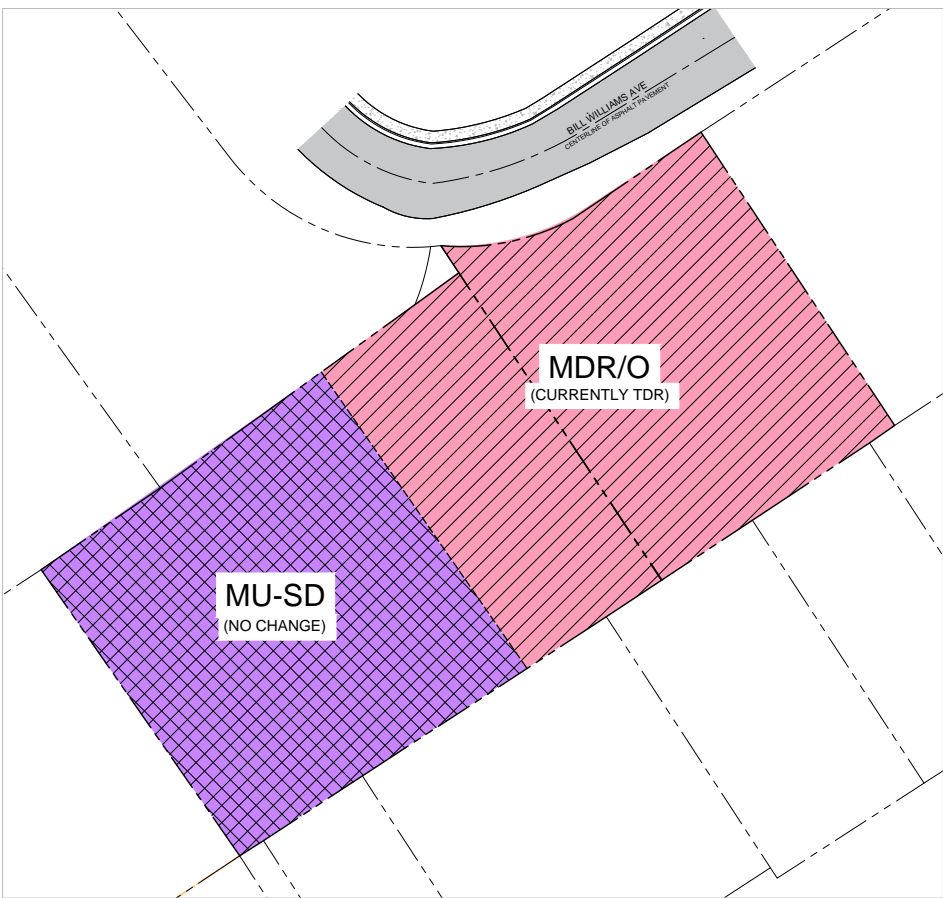


# APPENDIX B: REZONING EXHIBIT

FOR REFERENCE ONLY; NOT TO SCALE



PROPOSED ZONING DIAGRAM (1" = 50')



PROPOSED SECTOR PLAN DIAGRAM (1" = 50')

Client: QB REALTY  
Project: BROADWAY APARTMENTS  
Location: 2802 N BROADWAY | Knoxville, TN 37917  
Date: 11.19.2025

