

File Number: 8-B-25-DT

**Meeting:** 8/20/2025  
**Applicant:** Logan Higgins Heyoh Architecture  
**Owner:** Joseph & Julie Gunn  
**Project:** 120 S. Gay St - Rooftop Deck and Addition

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### Property Information

**Location:** 120 S. Gay St. **Parcel ID:** 94 E G 042  
**Zoning:** DK (Downtown Knoxville)  
**Description:**

Commerce Building, c.1891. Four-story, four-bay wide, brick masonry building with arched transoms at the fourth story windows and modified storefronts.

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### Description of Work

Level II Addition to an Existing Building/Structure

Revision to 3-C-24-DT: previous COA approved the installation of new rooftop deck and pergola on the leftmost unit of the Commerce Building. The deck and pergola will adjoin the existing penthouse area. The pergola will measure approximately 23'-5" wide by 19'-4" deep, consisting of a 10'-5" tall steel structure wrapped with square wood posts and a roof of flat wood rafters.

An additional deck space, measuring approximately 23'-5" wide by 8'-4" deep, will adjoin the pergola area. The deck will be recessed from the building edge by 4'-4" and enclosed by a 42" tall steel guardrail with a black powder coat.

New application includes an extension of the interior penthouse, where the penthouse will feature a low-slope shed roof and an exterior of metal siding, extending towards the front/southwest elevation of the building.

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### Applicable Design Guidelines

Downtown Design Guidelines

#### 1. Rooflines and Additions

Alterations of the rooflines of historic buildings are not appropriate. A one-story rooftop addition, including railings, may be possible on taller buildings if it is inconspicuous from the public right-of-way. Additions should be set back from the primary elevation of the building, and should not damage character-defining features, including parapets and side walls. These walls are often topped by coping stones offering contrasting color or texture, or contain cornices, decorative grills, chimneys, corbelled brickwork and other architectural elements. Rooftop additions are almost never appropriate on buildings less than four stories in height.

#### GUIDELINES:

- 1a. Preserve or restore historic roofline features, including parapet walls and cornices.
  - 1b. Design rooftop additions to be complimentary to the historic building in terms of materials and color.
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- 1c. Avoid construction that maintains only the historic facade.
  - 1d. Do not alter, obscure or destroy significant features of historic resources when constructing additions.
  - 1e. Design rooftop additions so that they are not seen from adjoining streets and sidewalks.
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## Comments

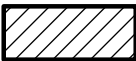


The Commerce Building is a contributing resource to the Southern Terminal and Warehouse District, so the Historic Resources section of the guidelines applies. Rooftop additions have been approved on historic buildings downtown when they are not visible from the street; the applicant has provided a line-of-sight drawing illustrating the proposed pergola's lack of visibility from the sidewalk across the street. The pergola structure will be recessed 12'-8" from the building edge. The proposed pergola will not result in the removal of any historic features; a penthouse addition already exists on the same building area. The newly-proposed penthouse will not further detract from the building's integrity or viewshed.

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## Recommendation

Staff recommends approval of Certificate 8-B-25-DT as submitted.



<b>DESIGN REVIEW BOARD</b>	<b>8-B-25-DT</b>		Petitioner: Logan Higgins Heyoh Architecture
	<b>APPLICATION FOR CERTIFICATE OF APPROPRIATENESS</b>		
		<b>120 S. Gay St.</b> <b>Level 2: Addition to an existing building/structure</b>	
Original Print Date: 8/6/2025      Revised:			
Knoxville/Knox County Planning · Design Review Board			



## DESIGN REVIEW REQUEST

- ☒ DOWNTOWN DESIGN (DK)  
☐ HISTORIC ZONING (H)  
☐ INFILL HOUSING (IH)

Heyoh Design & Development

Applicant

8-1-25

8/21/25

8-B-25-DT

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Owner ☐ Contractor ☐ Engineer ☒ Architect/Landscape Architect

Logan Higgins

Heyoh LLC

Name

Company

133 S Gay St

Knoxville

TN

37902

Address

City

State

Zip

865-236-0430

admin@heyohdesign.com

Phone

Email

## CURRENT PROPERTY INFO

Joseph & Julie Gunn

Unit #701, 120 S Gay St

423-782-7188

Owner Name (if different from applicant)

Owner Address

Owner Phone

120 S Gay St, Unit #701

094EG042 (Condo)

Property Address

Parcel ID

Downtown (Commerce Lofts)

DK

Neighborhood

Zoning

## AUTHORIZATION

  
Staff Signature

Lindsay Lanois

8.1.25

Please Print

Date

  
Applicant Signature

Logan Higgins

8-1-25

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

☐ Signs    ☐ Alteration of an existing building/structure

Level 2:

☒ Addition to an existing building/structure

Level 3:

☐ Construction of new building/structure    ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☒ Brief description of work: Addition of a rooftop deck/pergola above 120 S. Gay St. The proposed addition will have no effect on the historic facade of the building and should not be visible from the public view on S Gay St. The proposed deck will utilize ~700SF of roof area and will be accessed by an extension to the existing rooftop penthouse.

HISTORIC ZONING

Level 1:

☐ Signs    ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

☐ Major repair, removal, or replacement of architectural elements or materials    ☐ Additions and accessory structures

Level 3:

☐ Construction of a new primary building

Level 4:

☐ Relocation of a contributing structure    ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work:

INFILL HOUSING

Level 1:

☐ Driveways, parking pads, access point, garages or similar facilities    ☐ Subdivisions

Level 2:

☐ Additions visible from the primary street    ☐ Changes to porches visible from the primary street

Level 3:

☐ New primary structure  
☐ Site built    ☐ Modular    ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work:

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist  
☐ Historic Zoning Design Checklist  
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

50.00 (revision)

FEE 2:

FEE 3:

TOTAL:

50.00

Pd. 08/01/2025, SG





(UNIT 701) 120 S. GAY ST

DESIGN REVIEW BOARD



## INDEX

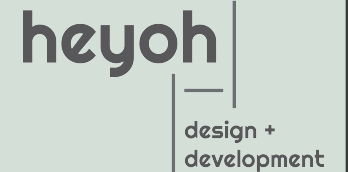
- 03 PROJECT LOCATION
- 04 SITE CONTEXT
- 05 DESIGN GUIDELINES
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- 07 SITE PLAN
- 08 ELEVATIONS
- 09 ROOF PLAN

## PROJECT OVERVIEW

The Commerce building is an existing structure at (Unit 701) 120 S. Gay St.

The project is proposing the addition of a rooftop deck and pergola above (Unit 701) 120 S. Gay St. of the Commerce Building. The proposed addition will not be visible by pedestrian foot traffic on S. Gay St.

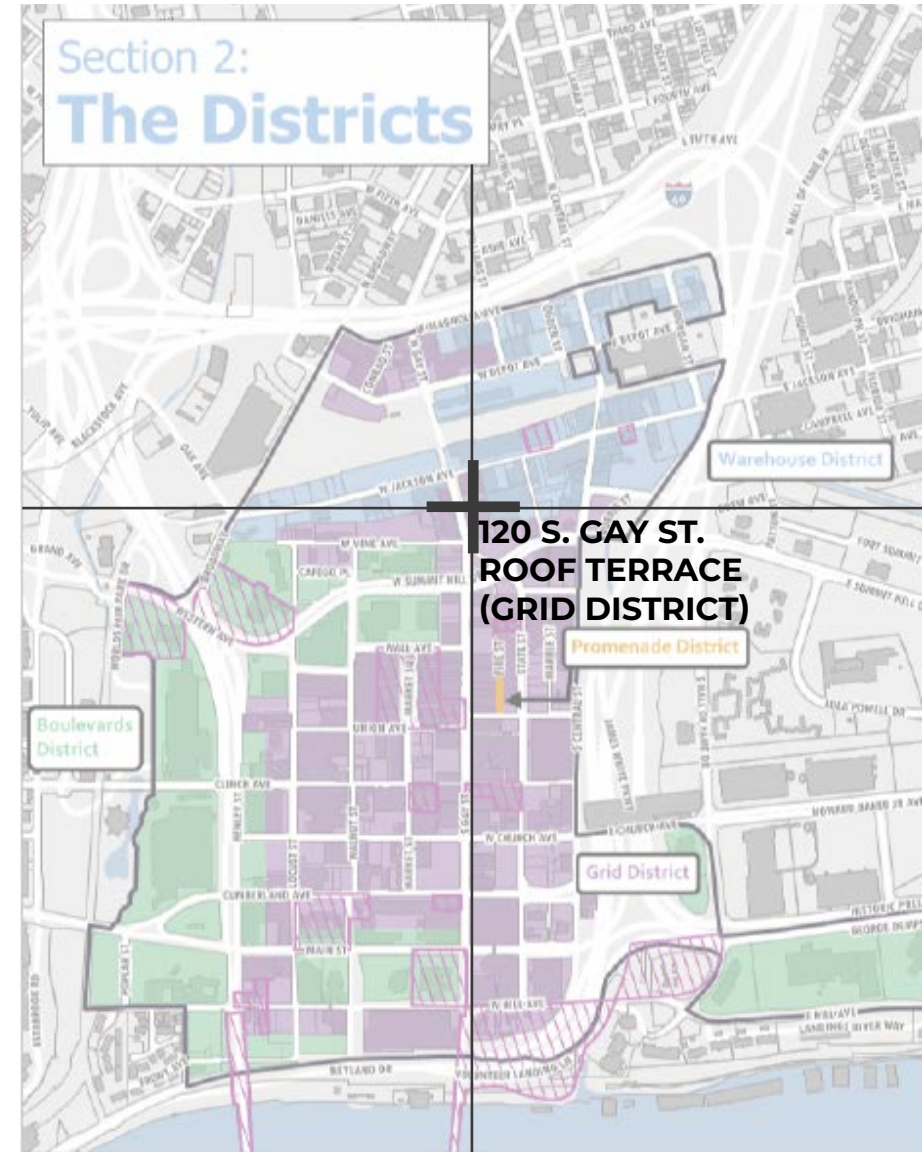
This application has been prepared to seek approval from the Design Review Board under the City of Knoxville's Downtown Design Guidelines.



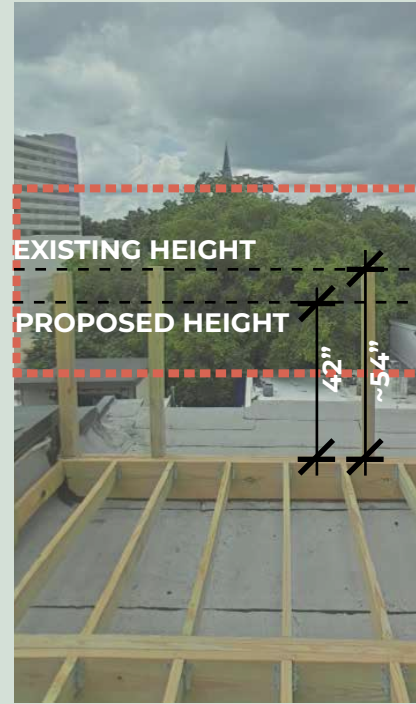
Heyohdesign.com  
865.236.0430  
Admin@heyohdesign.com



# PROJECT LOCATION IN DESIGN GUIDELINE BOUNDARIES







This single-occupant unit is located within the Commerce Building on the 100 Block of Downtown's Gay Street. The rooftop neighbors the Sterchi Lofts building to the north, and another unit to the south. The north boundary of site shares a 0' setback where Sterchi Lofts exterior wall borders the building.

The proposed rooftop addition will be minimally visible, if at all, from street level, and shall have no effect on the existing historic building facade.



Existing (non-conforming) guard posts are 54" above finished deck. Proposed rail height is 42" above finished deck elevation. Existing guard posts are barely visible from street level, across the street.

Proposed guards are only 42" above finished deck elevation, and will not be visible from street level.

Proposed guard is placed 4" - 6" farther from face of building than the existing posts.

# DESIGN GUIDELINES

## 1. ROOFLINES AND ADDITIONS

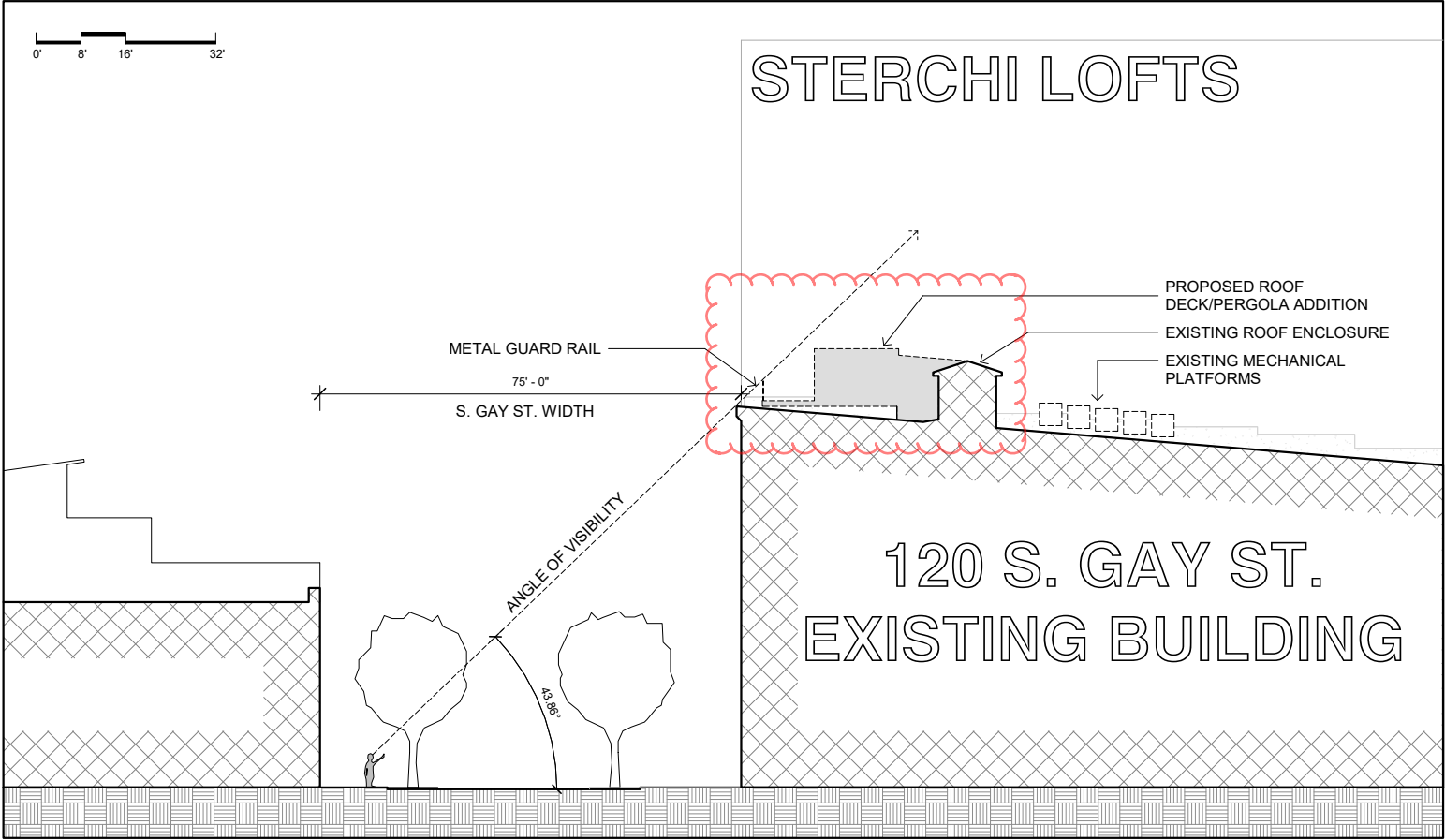
A one-story rooftop addition, including railings, may be possible on taller buildings if it is inconspicuous from the public right-of-way. Additions should be set back from the primary elevation of the buildings, and should not damage character-defining features, including parapets and side walls.

### GUIDELINES

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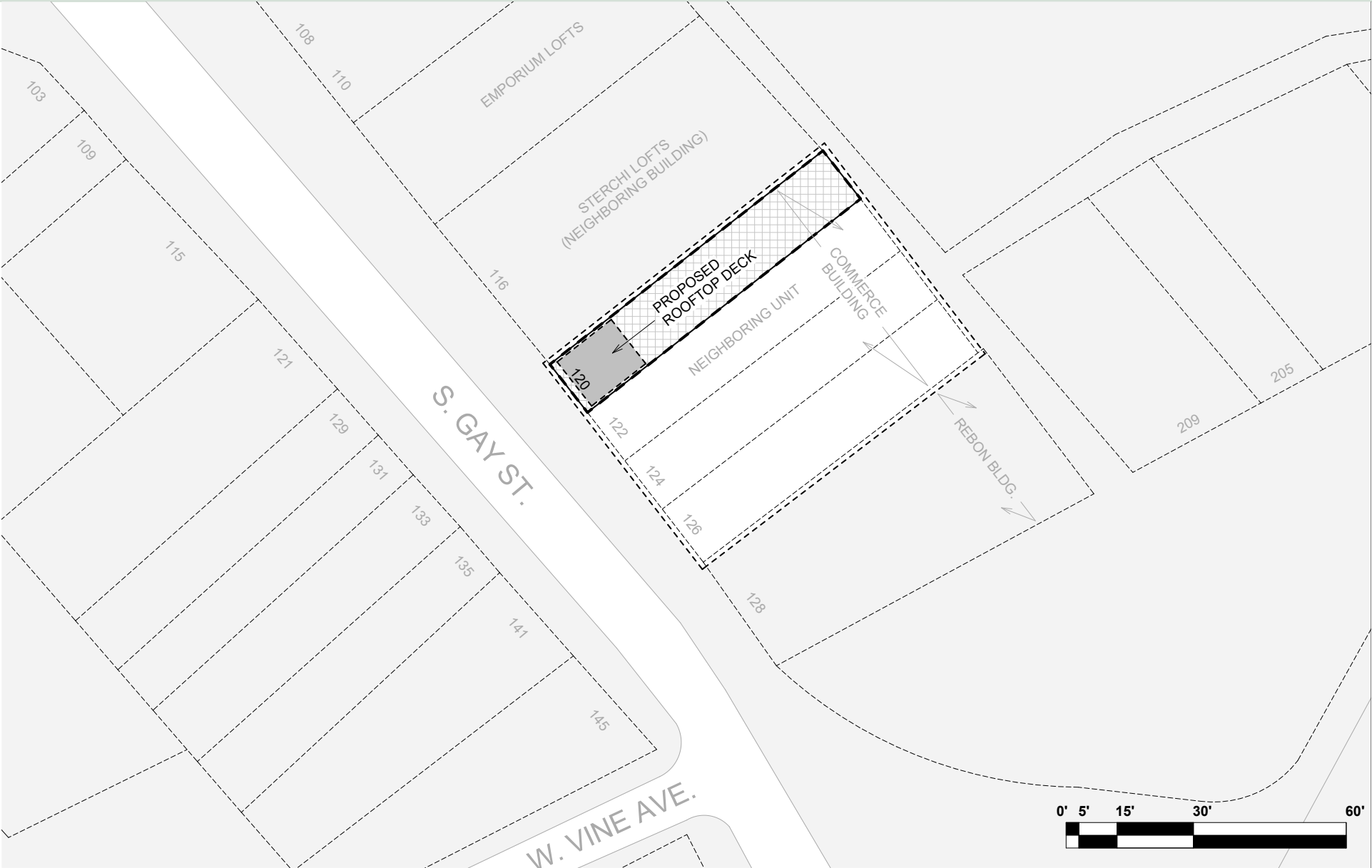
**These recommendations have been followed as applicable.**

# SECTION DIAGRAM



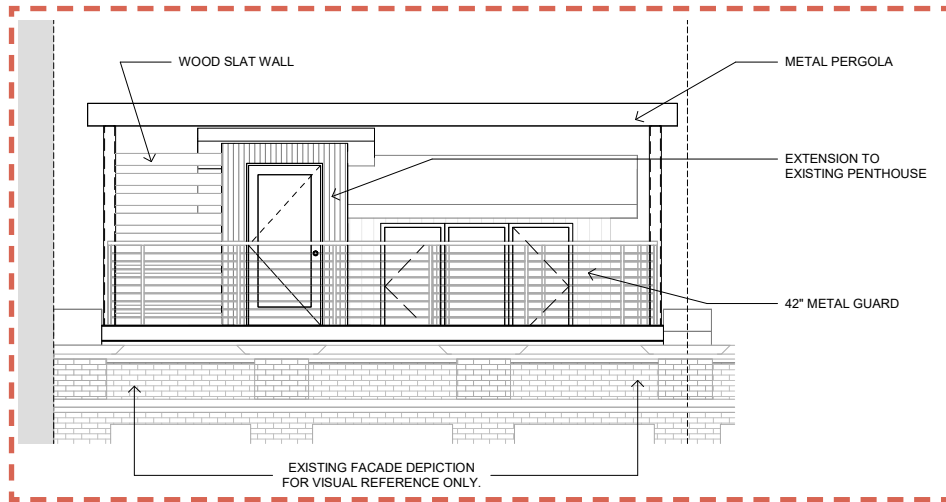
As indicated in the diagram above, the proposed rooftop addition will not be visible from the public realm.

# SITE PLAN



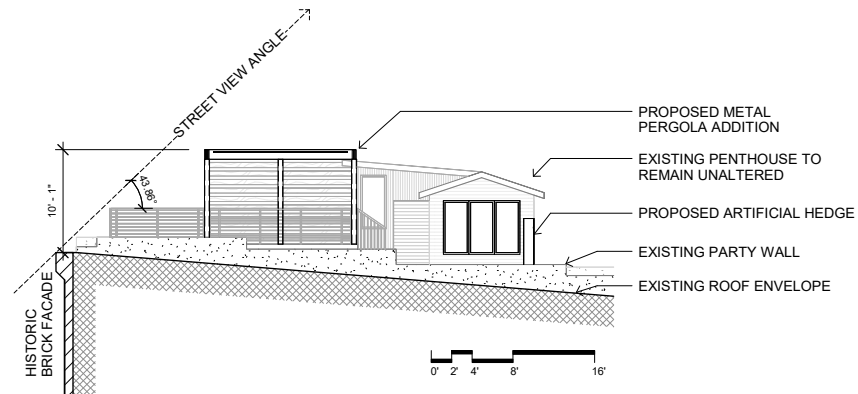


# ELEVATIONS

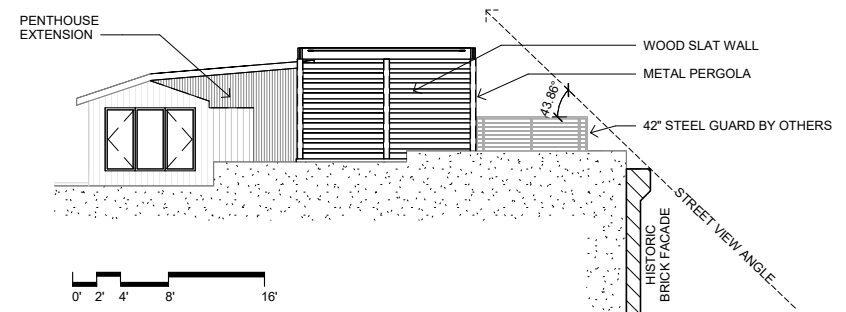


## PROPOSED SW ELEVATION

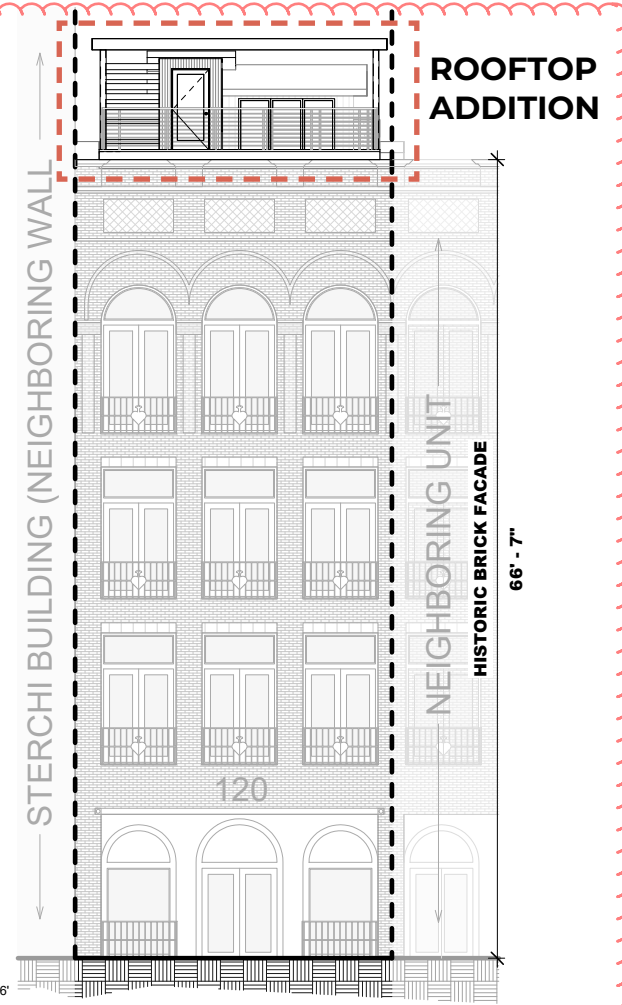
1/4" = 1'-0"



## PROPOSED SE ELEVATION



## PROPOSED NW ELEVATION



# ROOF DECK PLAN

