

File Number: 6-A-25-IH

Meeting: 8/20/2025
Applicant: Josh Braden Braden Family Properties, LLC
Owner: Josh Braden Braden Family Properties, LLC
District: Lonsdale Infill Housing Overlay District

Property Information

Location: 3112 Rector St. **Parcel ID:** 81 | H 02501
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description:
New primary structure.

Description of Work

Level III New Primary Structure

New primary structure (duplex) fronting Rector Street. Two-story building features a front-gable roof (6/12 pitch), an exterior of lap siding with shake siding accents, and a block foundation. The duplex is 28' wide by 55' deep (one 26'-10" deep unit in front of the other) and will be set 21.9' from the front lot line. Each unit features a full-length 8' deep front porch recessed under the primary roofline and supported by four 8" by 8" square posts with a simple handrailing and steps. Parking is a 37.3' wide concrete pad accessed from the alley.

The façade (southwest) features three bays, with a half-lite paneled door with a sidelight in the leftmost bay followed by two bays of two 1/1 single-hung windows on the first story and two projecting bays with two 1/1 single-hung windows on the second story, one of which projects from a front-gable massing. The projecting windows and gable fields are clad in shake siding. The rear elevation, which serves as the primary entrance to the other unit, is a mirrored copy of the façade. The left elevation features five windows on the second story, and the first story features six windows, two of which are on one story massings projecting from the façade with a partial hipped roof. The right elevation features four windows on the second story and a patio on the first story to access the secondary entrance for each unit.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

10. Multi-Unit Housing

- Multi-unit housing (where permitted by zoning) should have similar front yard space to that of the traditional single-family houses along the street.
- In zoning districts where multi-unit housing is permitted, the height of the new housing should be similar to the original houses along the street.
- Multi-unit housing should be designed to continue the architectural rhythm of the block. In addition to the same build-to line, porches, bays and breaks in the front façade should be created to mimic the look of older homes when looking down the block. This should be done by dividing

the building into separate sections that are proportionally similar to original houses on the block.

- Parking should be provided behind apartments with access from the alley.
- Landscaping, including shade trees, should be planted in both front and back yards.

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house

Comments

1. The applicant intends to use Section 4.6 of the zoning code, the Middle Housing standards, which are "intended to promote the development of neighborhood-scale housing forms which are compatible with existing housing in the surrounding area," and "may allow more flexible development of land than is possible under the base district zoning regulations," subject to additional dimensional, design, and parking standards. Middle Housing review occurs separately during permitting; the DRB review focuses on how the project meets the Infill Housing design guidelines. However, some elements of Middle Housing review may trigger site plan and building elevation revisions, which would require additional review by the DRB. A recessed or projecting feature will need to be added to the right elevation to meet the standards of Section 4.6.E.4.b.

2. The house is proposed to be set 21.9' from the front property line. The average of the blockface is 15.8', with the adjacent houses at 14' and 9'. The house should be moved to be aligned with the front setback pattern of the block, to meet Infill guidelines and Middle Housing standards. The site plan includes a walkway from the front porch to the street.

3. Parking is a 37.3' wide concrete pad at the rear of the lot and accessed via the alley, which meets the design guidelines.

4. The site plan depicts a shade tree in the front and rear yards.

5. The guidelines for multi-unit housing recommend that "new multi-family buildings be designed in scale and context with the early architectural features of the neighborhood." The block to receive new construction is

characterized by Craftsman bungalows, modified Queen Anne cottages, and infill construction. All houses on the block are one story. The duplex is proportionate to the dimensions of the lot and generally proportionate to other houses on the block, and it is similar in scale to a single family house.

6. The 28' wide duplex is compatible in façade width with original houses in the neighborhood and meets the maximum building width and depth requirements in Article 4.6, Middle Housing standards, for a side-by-side duplex. However, the duplex is deeper than the other houses on the block. The side elevations are large in scale but attempt to break up the massing with bay windows on one side and trim separating each story. A recess or projection will need to be added to the left elevation to meet Middle Housing standards. Guidelines also recommend that multi-unit housing be similar in height to original houses on the street. The two-story building is taller than the surrounding context, as the block only features one story houses. The duplex also features a 1'-8" tall foundation, which increases the building's overall height. The Board should discuss the height and depth of the duplex.

7. The full-length, 8' deep front porches supported by 8" by 8" posts on the façade and rear elevation meet the design guidelines.

8. At least a 6/12 roof pitch is required in the Middle Housing standards to fill the "steep" category of roofline; 6/12 is also the minimum pitch approved by the Infill Housing guidelines. The design benefits from the front-gable massings, partial cornice returns, and rake mold trim, which should be retained. The large building may also benefit from additional variations in roofline, particularly on the larger side elevations.

9. Guidelines recommend window and door styles be similar to historic houses on the block, with similar placement and ratio of solid to void. The front, rear, and right elevation feature sufficient transparency for the context, but additional windows should be added to the first story of the left elevation to avoid large swaths of blank siding.

10. The lap siding, shake siding, and asphalt shingles meet the design guidelines for materials. The block foundation should be parge-coated or clad in stucco.

Recommendation

The Board should discuss the proposed height and depth of the duplex within the neighborhood context.

Along with any necessary revisions or conditions, staff recommends approval of Certificate 6-A-25-IH, subject to the following conditions: 1) final site plan to meet City Engineering standards, with major changes to the site plan to return to the Board; 2) front setback to be revised to align with the front setback pattern of the blockface; 3) a recessed or projecting feature be added to the left elevation to meet Article 4.6.E.4.b and meeting all relevant standards of Article 4.6. and Article 9.3.J., with minor revisions to be approved by staff; 4) additional windows be added to the first story of the left elevation, to be approved by staff; 5) final construction to retain the partial cornice returns, rake mold trim, and other details as depicted; and 6) foundation to be parge-coated or clad in stucco, with final drawings showing foundation height on-grade.



**DESIGN
REVIEW
BOARD**

6-A-25-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

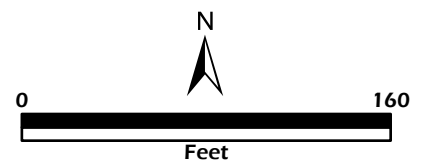


3112 Rector St.
Lonsdale Infill Housing Overlay District

Original Print Date: 6/9/2025
Knoxville - Knox County Planning - Design Review Board

Revised:

Petitioner: Josh Braden Braden Family
Properties, LLC



(1) Download and fill out this form at your convenience. (2) Sign the application digitally (or print, sign, and scan). (3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices or email it to applications@knoxplanning.org.



DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☐ HISTORIC ZONING (H)
☒ INFILL HOUSING (IH)

Josh Braden

Applicant

5/20/25

6/18/25

6-A-25-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☒ Owner ☒ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Josh Braden, Managing Member

Braden Family Properties, LLC

Name

Company

303 Bob Smith Ln

Knoxville

TN

37924

Address

City

State

Zip

865-696-7343

joshuabradens4@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Braden Family Properties, LLC

303 Bob Smith Ln

865-696-7343

Owner Name (if different from applicant)

Owner Address

Owner Phone

~~0 Rector St Knoxville, TN 37921~~

3112 Rector St

081IH02501

Property Address

Parcel ID

AMBROSE & GALBRAITH

RH-2

Neighborhood

Zoning

AUTHORIZATION


Staff Signature

Lindsay Lanois

5.21.25

Please Print

Date


Josh Braden (May 20, 2025 15:43 EDT)

Josh Braden

5/20/2025

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☐ Brief description of work: _____

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☒ New primary structure
☒ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

250.00

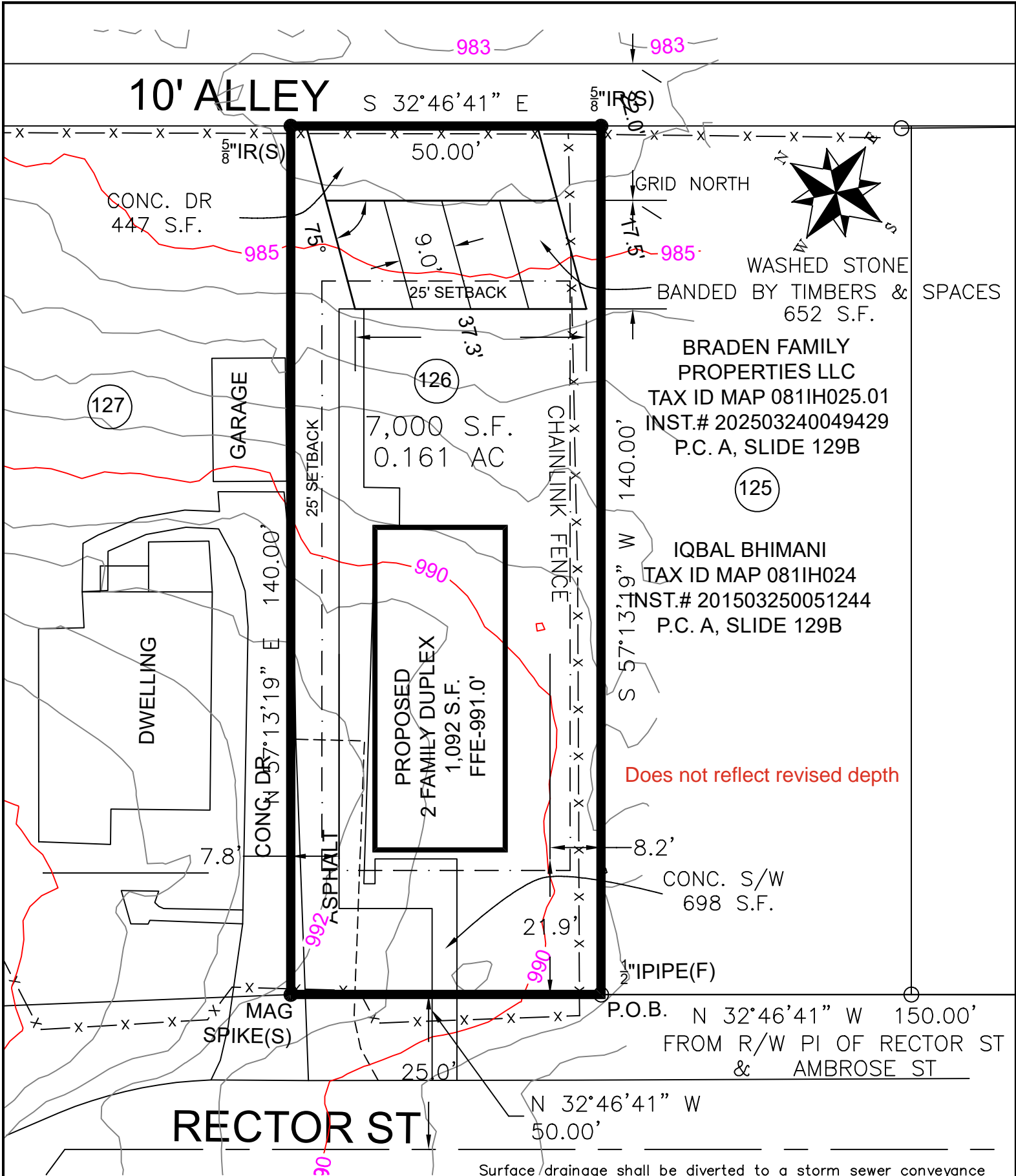
FEE 2:

FEE 3:

TOTAL:

250.00

Pd 05/21/2025, SG



SITE DATA:
TOTAL MAX COVERAGE(40%)2,800 S.F. [2,563 S.F.]
MAX. BLDG COVERAGE(30%)2,100 S.F. [1,092 S.F.]

REVISION: 06/24/25
DATE: 05/20/25

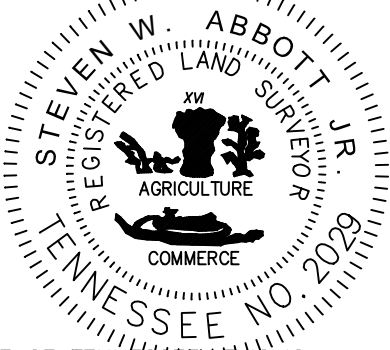
SITE PLAN

Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from the foundation walls. The grade shall fall not fewer than 6 inches within the first 10 fee.

DRAWING NUMBER 496025

FOR **BRADEN FAMILY PROPERTIES LLC**
ADDRESS RECTOR STREET
DISTRICT 7th COUNTY KNOX CITY KNOXVILLE STATE TN ZIP 37921
LOT NO. 126 AMBROSE & GALBRAITH S/D
WARD 19th CITY BLOCK 19461 DRAWN BY SWA
MAP CAB. P.C. A, SLIDE 129B
TAX MAP 0811 GROUP H PARCEL 025.01
WARRANTY DEED BK. 20503240049429
MORTGAGE CO.
TITLE CO.

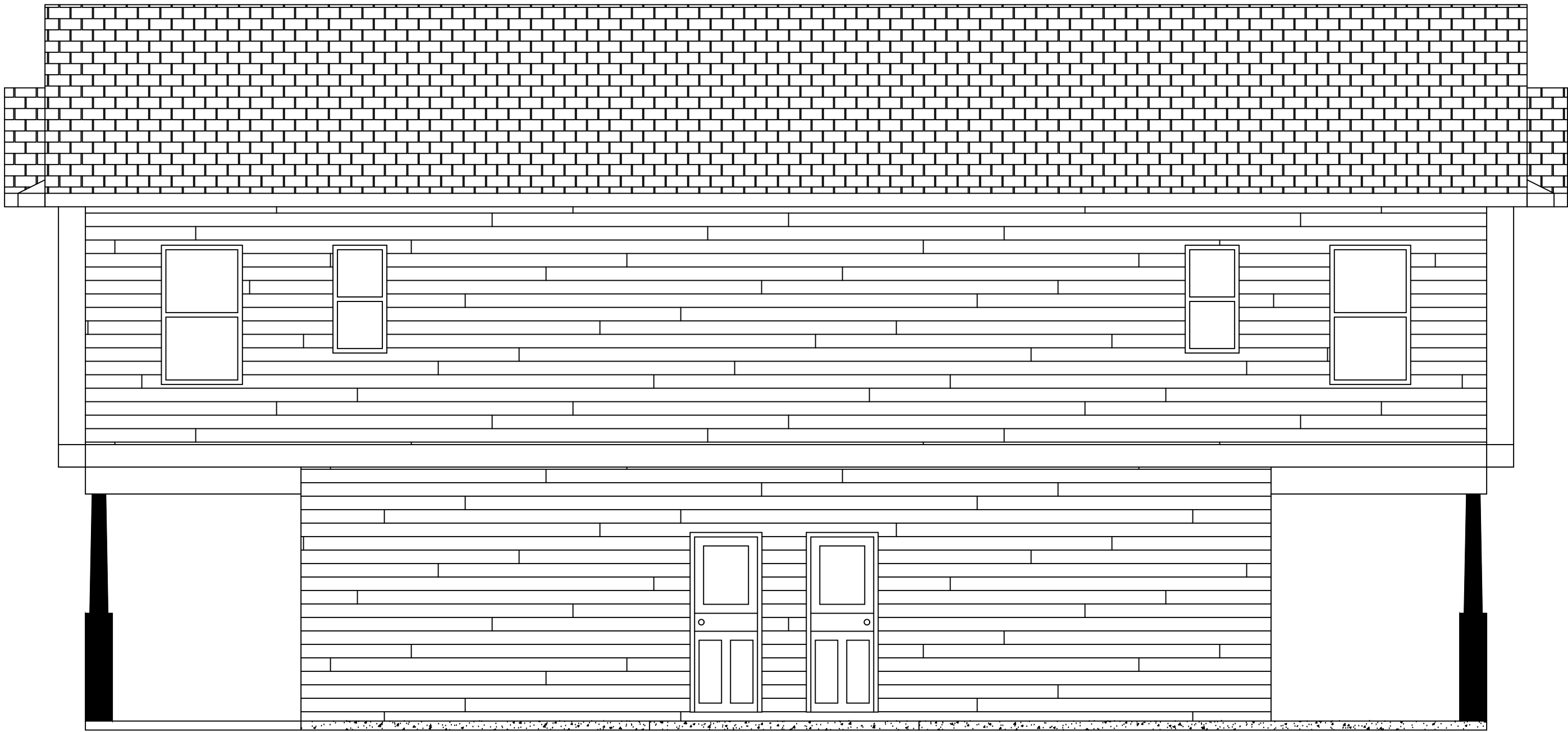
SCALE 1" = 30'
ABBOTT LAND SURVEYING LLC
STEVEN W. ABBOTT JR, RLS
1109 E. WOODSHIRE DRIVE
KNOXVILLE, TN 37922
OFFICE: (865) 671-1149
EMAIL: survmap@tds.net



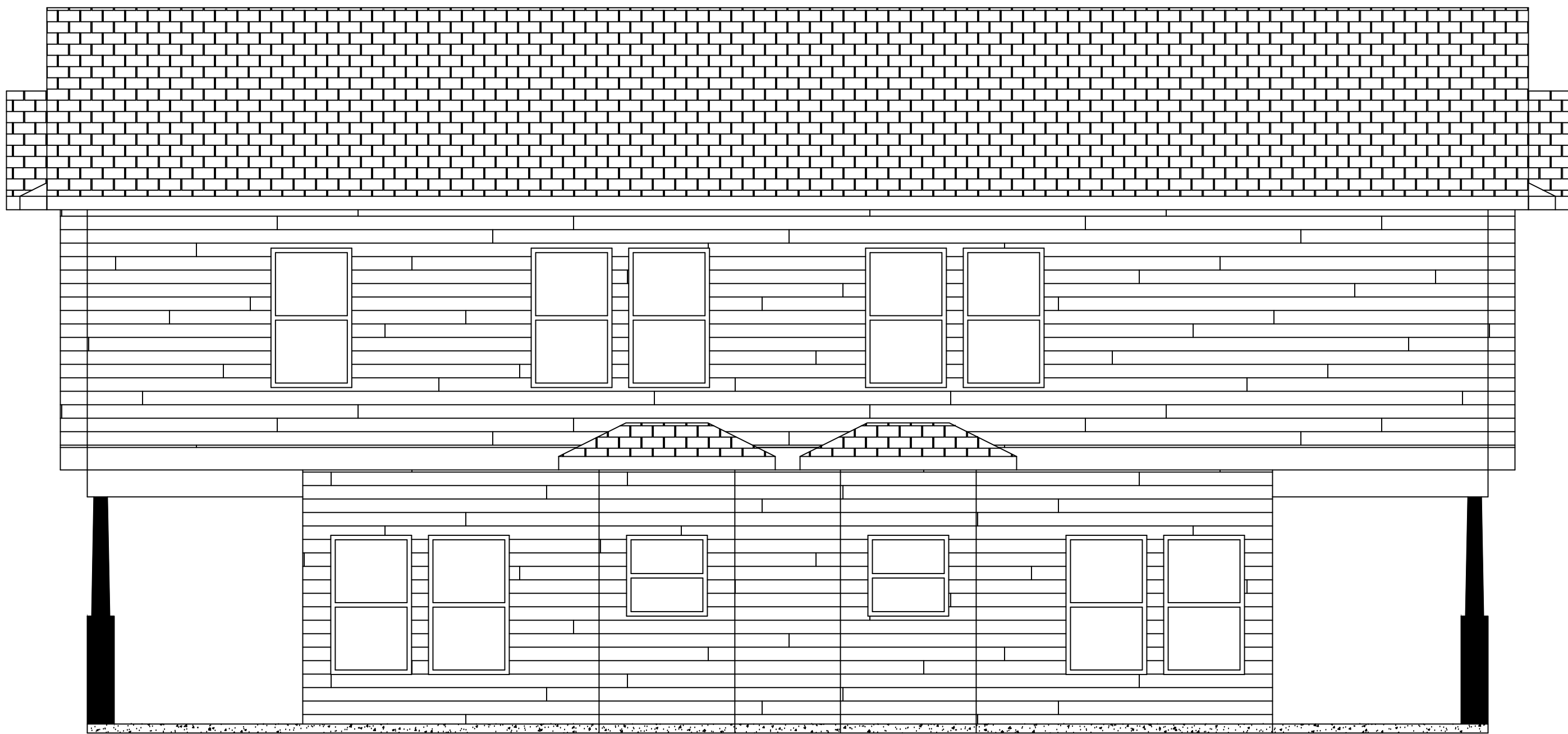
THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE. THIS IS TO CERTIFY THAT ON THE DATE SHOWN, I MADE AN ACCURATE SURVEY OF THE PREMISES SHOWN HEREON USING THE LATEST RECORDED DEED AND OTHER INFORMATION FURNISHED TO ME, THAT THERE ARE NO EASEMENTS, ENCROACHMENTS OR PROJECTIONS EVIDENT OTHER THAN THOSE SHOWN. THE SURVEY WAS DONE UNDER THE AUTHORITY OF TCA 62-18-126: AND THE SURVEY IS A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-07. THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE DESCRIBED NOT TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA.



Rear Elevation
Scale: $\frac{1}{4}" = 1'-0"$



Right Elevation
Scale: $\frac{1}{4}" = 1'-0"$



Left Elevation
Scale: $\frac{1}{4}" = 1'-0"$



Front Elevation
Scale: $\frac{1}{4}" = 1'-0"$

Every attempt has been made to ensure these plans meet the ICC IRC 2024 Code and provide the required information and detail to allow code compliant construction of the proposed structure. However it is the contractor and MEP sub-trades responsibility to ensure that all construction methods, materials, installation and workmanship are performed to and meet the ICC codes, state requirements and adopted ordinances and zoning requirements of the local jurisdiction.

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SHEET
A-01

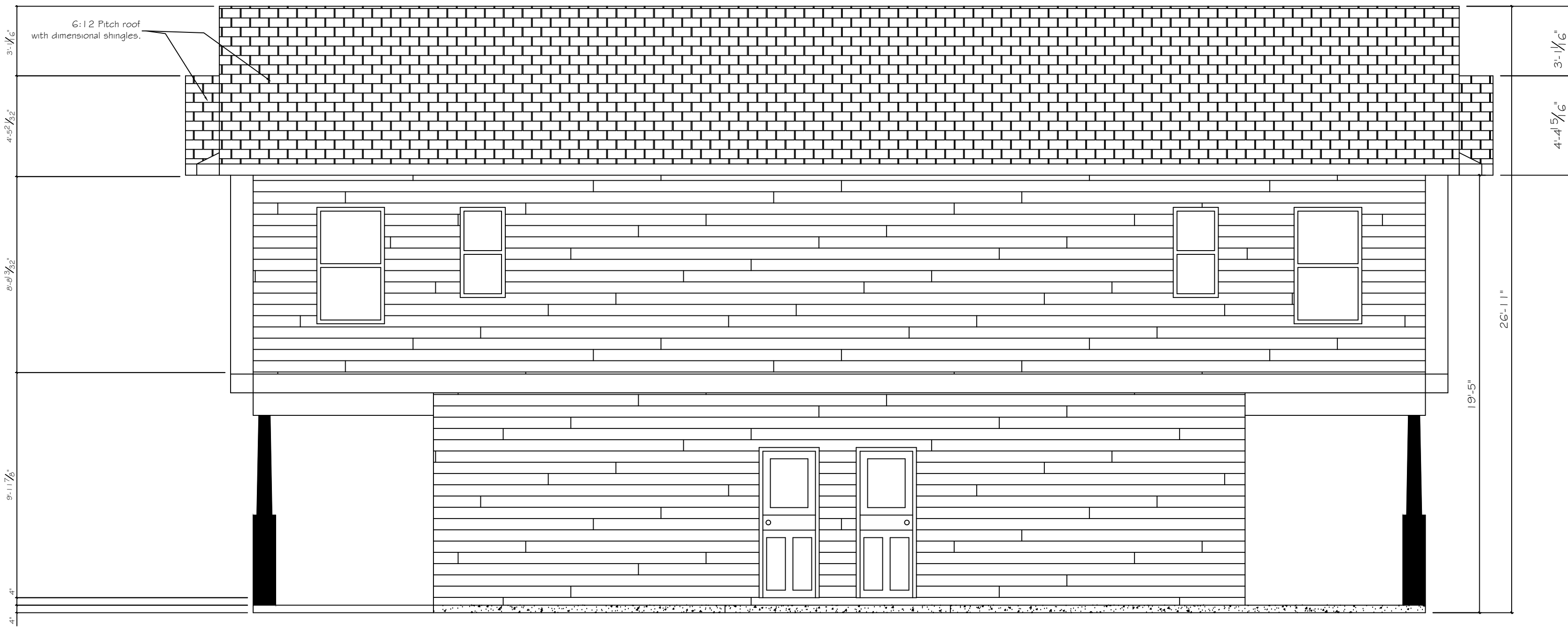
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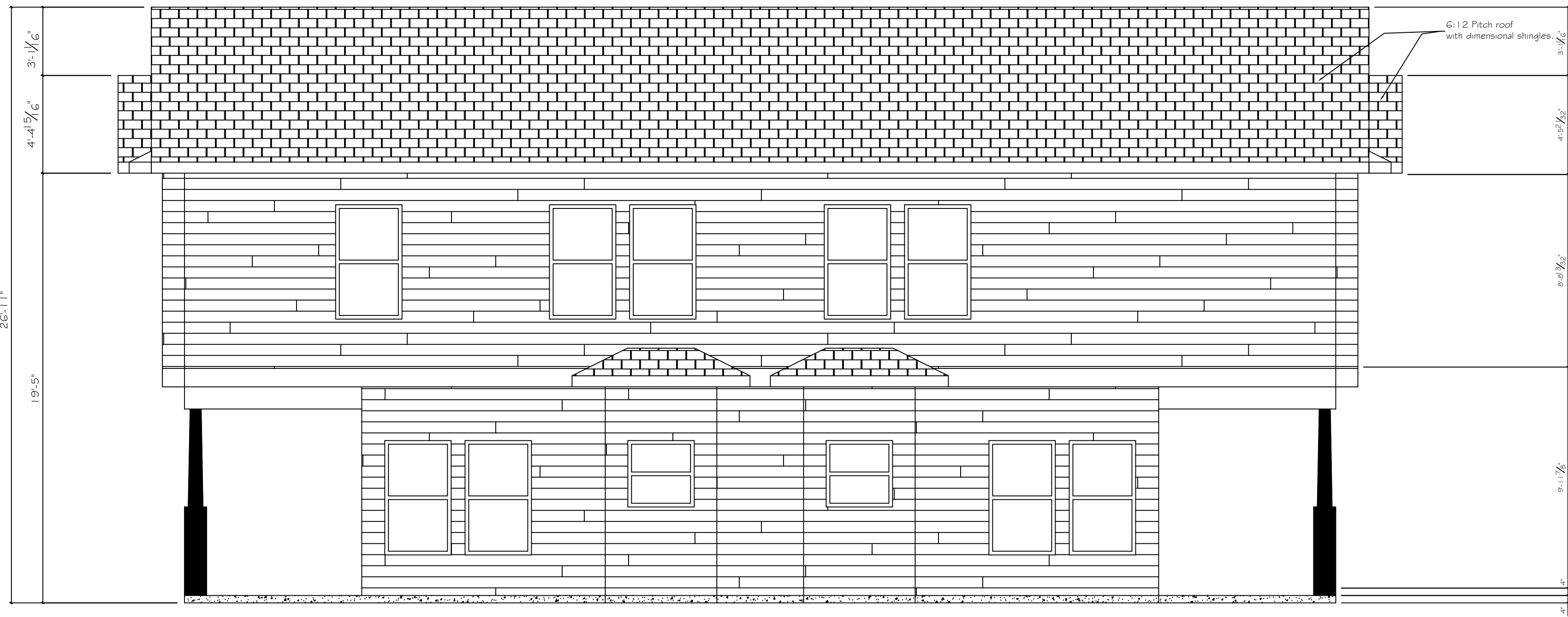
Project Information	Project Description: Two Story-3 Bed-2.5 Bath Two Family
Project Name:	Cozy Plan Right
Address:	Knoxville, Tennessee
Contractor:	Braden Family Properties
Phone:	(865) 696-7343
Project Number:	2025-P017
Plan ID:	TFTS3BD2.5BRTSRH
Date Drawn:	July 20, 2025



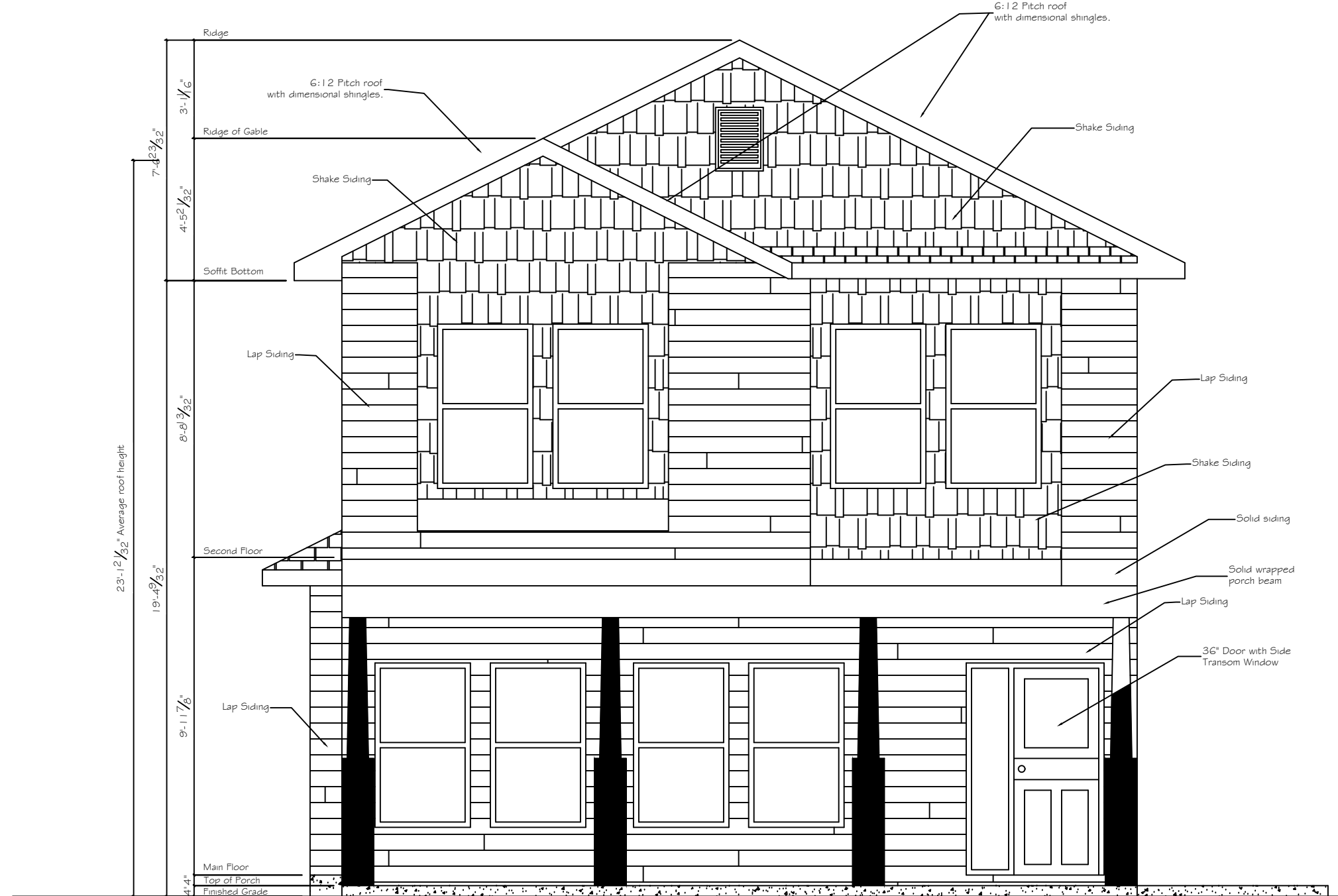
Rear Elevation
Scale: 1/4" = 1'-0"



Right Elevation
Scale: 1/4" = 1'-0"



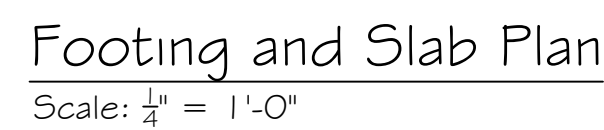
Left Elevation
Scale: 1/4" = 1'-0"



Front Elevation
Scale: 1/4" = 1'-0"

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Project Description: Two Story-3 Bed-2.5 Bath Two Family		Project Name: Cozy Plan Right		Address: Knoxville, Tennessee	
Address: Braden Family Properties		Contractor: (865) 696-7343		Phone: 2025-P017	
Plan ID: TFTS3BD2.5BRTSRH		Revision: July 20, 2025		Date Drawn:	



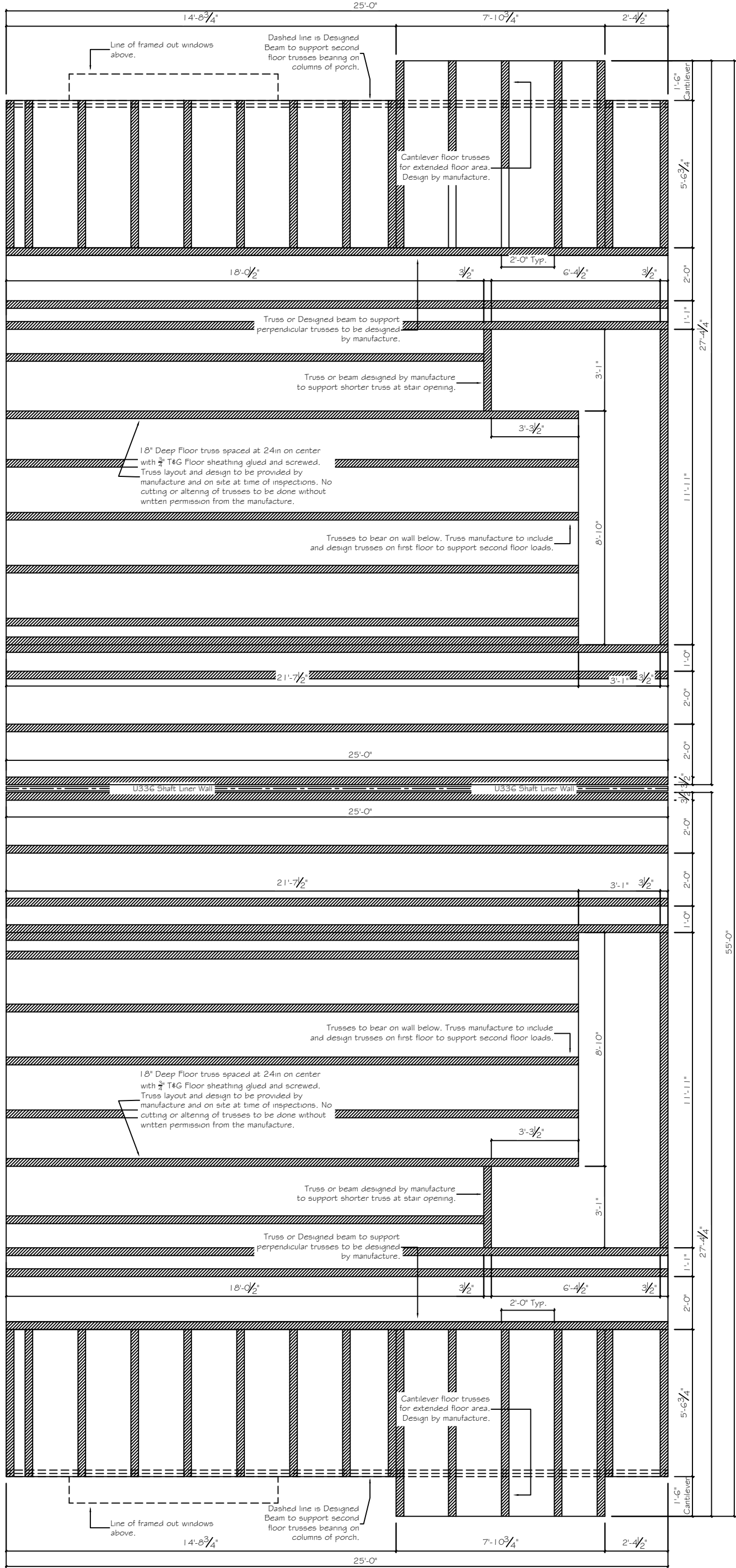
Every attempt has been made to ensure these plans meet the ICC IRC 2024 Code and provide the required information and detail to allow code compliant construction of the proposed structure. However it is the contractor and MEP sub-trades responsibility to ensure that all construction methods, materials, installation and workmanship are performed to and meet the ICC codes, state requirements and adopted ordinances and zoning requirements of the local jurisdiction.

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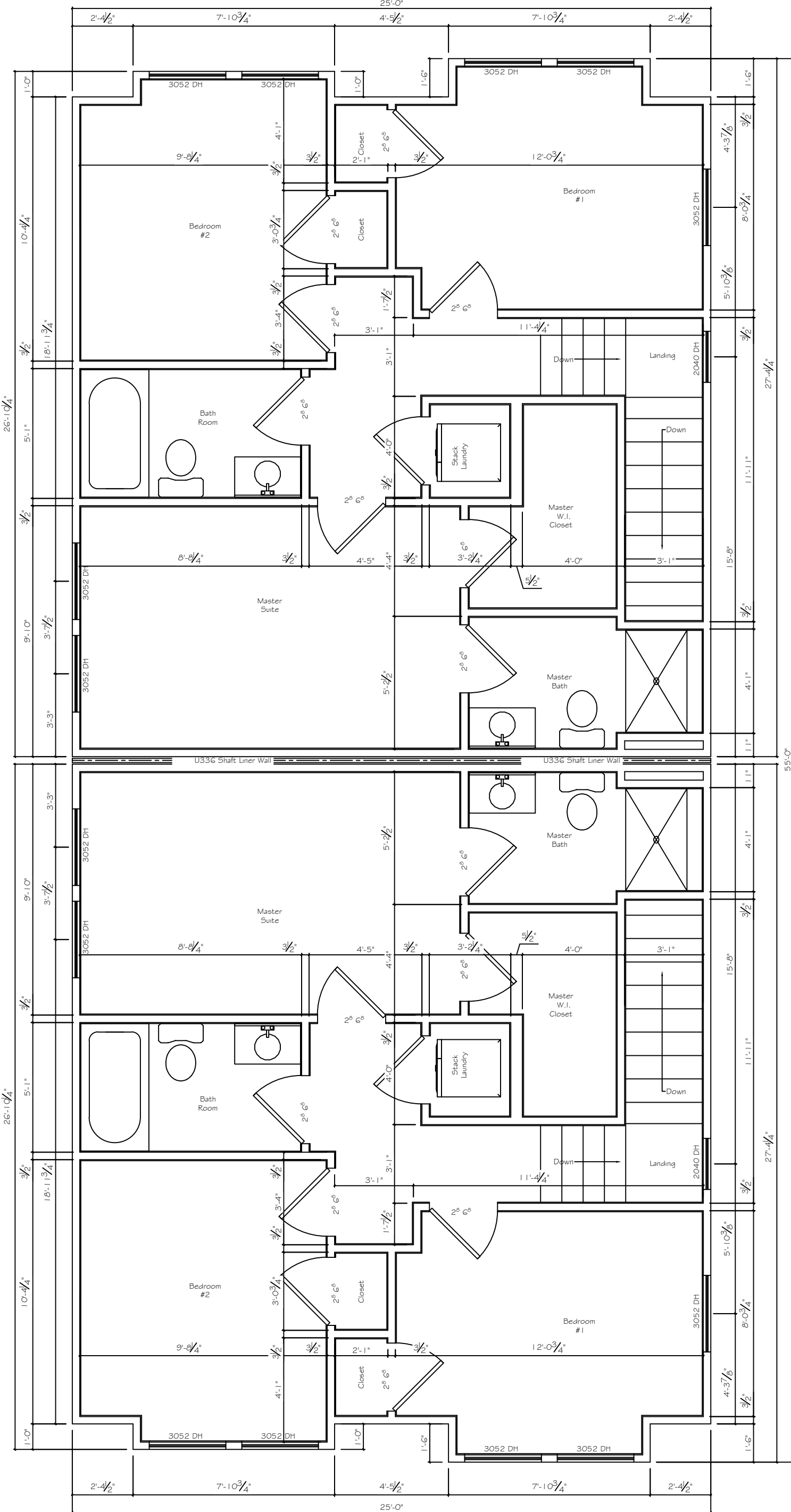
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SHEET
A-03

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Project Information	
Project Description:	Two Story-3 Bed-2.5 Bath Two Family
Project Name:	Cozy Plan Right
Address:	Knockville, Tennessee
Address:	Braden Family Properties
Contractor:	(865) 696-7343
Phone:	2025-P017
Plan ID:	TFTS3BD2.5BRTSRH
Date Drawn:	July 20, 2025



Second Floor Framing Plan
Scale: $\frac{1}{4}" = 1'-0"$



Second Floor Optional Layout Plan
Scale: $\frac{1}{4}" = 1'-0"$

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Revision:
Revision:
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Project Information
Project Description: Two Story-3 Bed-2.5 Bath Two Family
Project Name: Cozy Plan Right
Address: Knoxville, Tennessee
Address: Braden Family Properties
Contractor: (865) 696-7343
Phone: 2025-P017
Plan ID: TFTS3BD2.5BRTSRH
Date Drawn: July 20, 2025