

File Number: 4-B-25-IH

Meeting: 4/16/2025
Applicant: Roger Villegas
Owner: Roger Villegas
District: Lonsdale Infill Housing Overlay District

Property Information

Location: 3008 Johnston St. **Parcel ID:** 81 J A 030
Zoning: RN-2 (Single-Family Residential Neighborhood)
Description:
New primary structure.

Description of Work

Level III New Primary Structure

New primary structure fronting Johnston Street. One-story residence features an exterior of vinyl lap siding with corner boards, a front-gable roof (8/12 pitch) clad in asphalt shingles with 1' eave overhangs, and a slab foundation to be clad in stucco or parge-coated. The house is 24' wide by 48' deep and the main massing will be set 28' from the front lot line. It features a half-length, 8' deep porch recessed under a projecting front-gable roof and supported by three 10" square columns. Parking is a 18' wide by 25' deep concrete pad at the rear of the property and is accessed via the alley. The site plan indicates a native or naturalized shade tree in the front and rear yards and a walkway from the front porch to the street.

The façade (southwest) features three bays, with a window in the left and right bays and a quarter-lite paneled door in the central bay, and the projecting front-gable massing features a horizontal header and rake end trim. The left elevation features three windows, and the right elevation features two windows and a full-lite secondary entrance with steps and a landing. The rear elevation features one window. All windows are 6/6 single-hung and feature trim and projecting sills.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.

- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house

Comments

1. The house is proposed to be set 28' from the front property line. The average front setback of the block is 7.5' (with measurements to the full-length front porches), with the adjacent houses at 7' and 11'. The house should be moved to 18' from the front property line, which will allow the front porch to be 10' from the front property line and aligned with the block. The site plan includes a walkway from the porch to the street.
2. The block to receive new construction is characterized by shotguns and Craftsman bungalows. The 48' deep by 24' wide house is proportionate to other houses on the block and the lot.
3. Parking is a concrete pad at the rear of the property and is accessed via the alley, which meets design guidelines.
4. The three-bay, one-story façade is similar in scale, height, and design to the context.
5. The design includes a half-length, 8' deep front porch recessed under a projecting front-gable roof supported by three 10" square columns, which meets the design guidelines. The design benefits from the horizontal header, which should be retained.
6. Guidelines recommend window and door styles be similar to historic houses on the block with a similar ratio of solid to void. All elevations feature sufficient transparency, and the 6/6 single-hung windows with trim and the paneled door match the historic context.
7. The 8/12 roof pitch matches the neighborhood context, and the design benefits from the overhanging eaves and rake mold trim, which should be retained.
8. The asphalt shingles, vinyl lap siding, and slab foundation either clad in stucco or parge-coated meet the design guidelines.
9. The final site plan includes a native or naturalized shade tree in the front and rear yards.

Recommendation

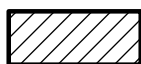
Staff recommends approval of Certificate 4-B-25-IH, subject to the following condition: 1) final site plan to meet City Engineering standards; 2) front setback to be revised to align with the blockface.



**DESIGN
REVIEW
BOARD**

4-B-25-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

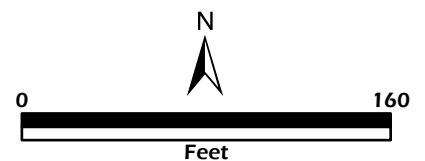


3008 Johnston St.
Lonsdale Infill Housing Overlay District

Original Print Date: 4/2/2025
Knoxville/Knox County Planning · Design Review Board

Revised:

Petitioner: Roger Villegas





DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☐ HISTORIC ZONING (H)
☒ INFILL HOUSING (IH)

Roger Villegas

Applicant

3/25/2025

4/16/2025

4-B-25-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☒ Owner ☒ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Roger Villegas

Name

Company

4209 crestfield rd

knoxville

tn

37921

Address

City

State

Zip

8435049929

rogermustanglover@yahoo.com

Phone

Email

CURRENT PROPERTY INFO

Roger and Marissa Villegas

4209 crestfield rd

8435049929

Owner Name (if different from applicant)

Owner Address

Owner Phone

3008 johnston st knoxville tn 37921

081JA030

Property Address

Parcel ID

ambrose & Galbrath

Neighborhood

Zoning

AUTHORIZATION

Lindsay Lanois

Lindsay Lanois

3.31.25

Staff Signature

Please Print

Date

Roger Villegas

Roger Villegas

3/25/25

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work: _____

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☒ New primary structure
☒ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

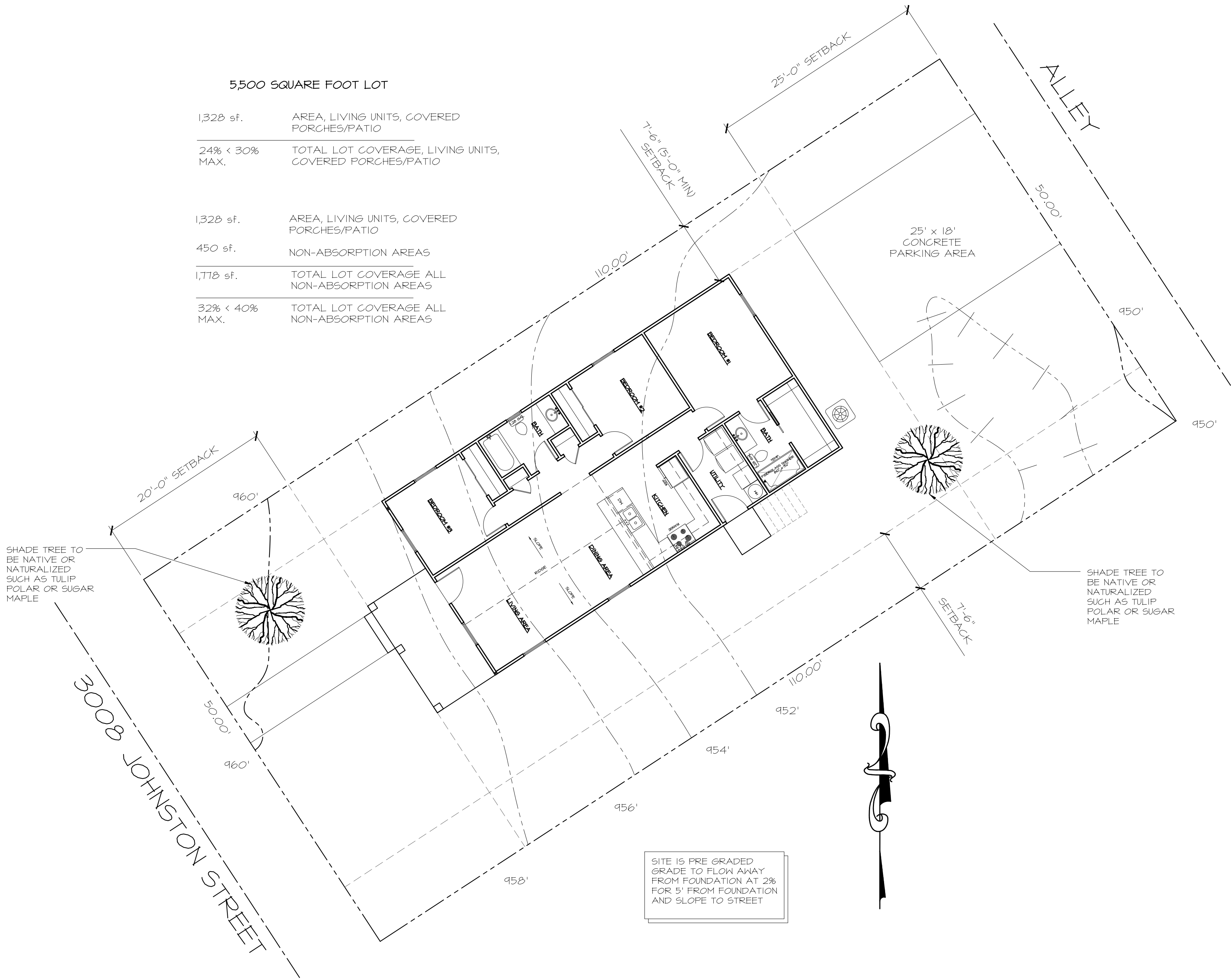
1010 250.00

FEE 2:

FEE 3:

TOTAL:

250.00
Paid 3/28/25
DD



REVISIONS	BY
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PROJECT

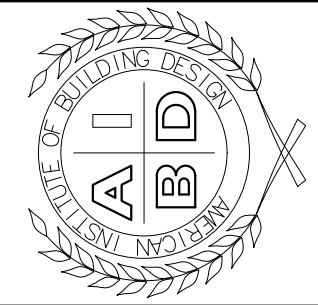
VILLEGAS SPEC

3008 JOHNSTON STREET

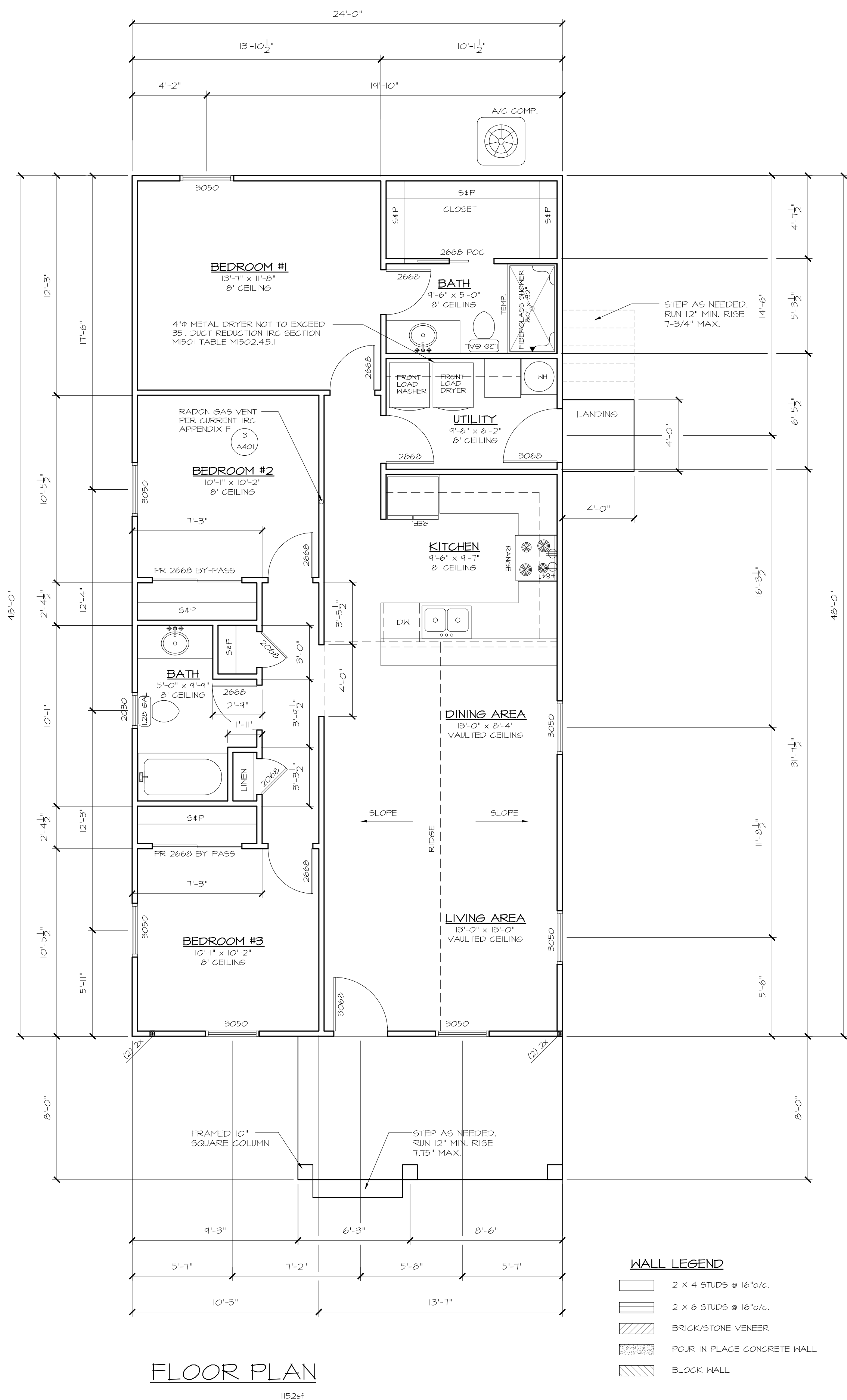
KNOXVILLE, TN

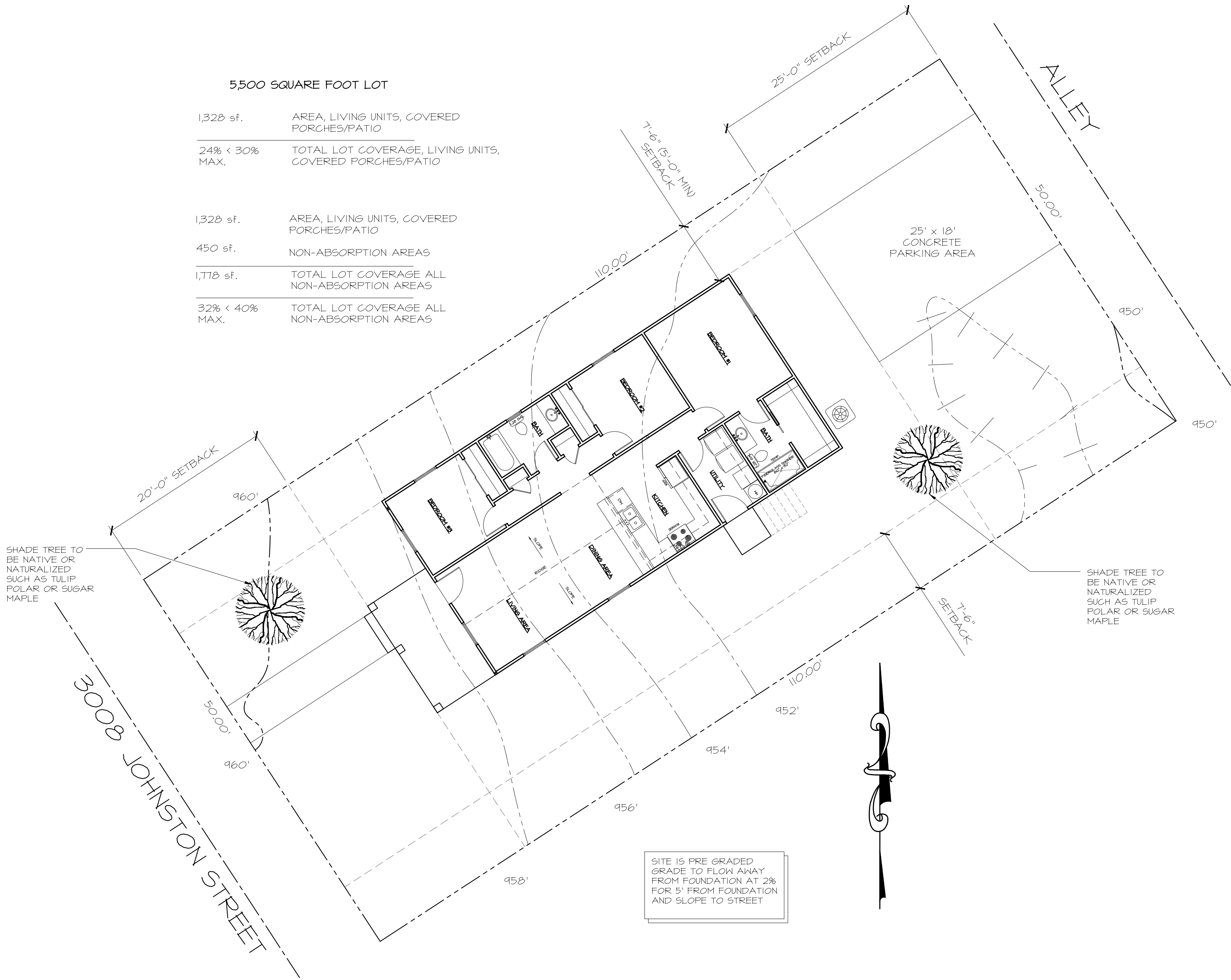
SITE PLAN

A&R
DESIGN & DRAFTING
SERVICE
320 CRESTVIEW CIRCLE
LENOIR CITY TENNESSEE 37112
(865) 594-8812 ROJETTE@GMAIL.COM



DATE	3/28/2025
SCALE	1/4"=1'-0"
DRAWN	RJ
JOB	VIL25010
SHEET	C001

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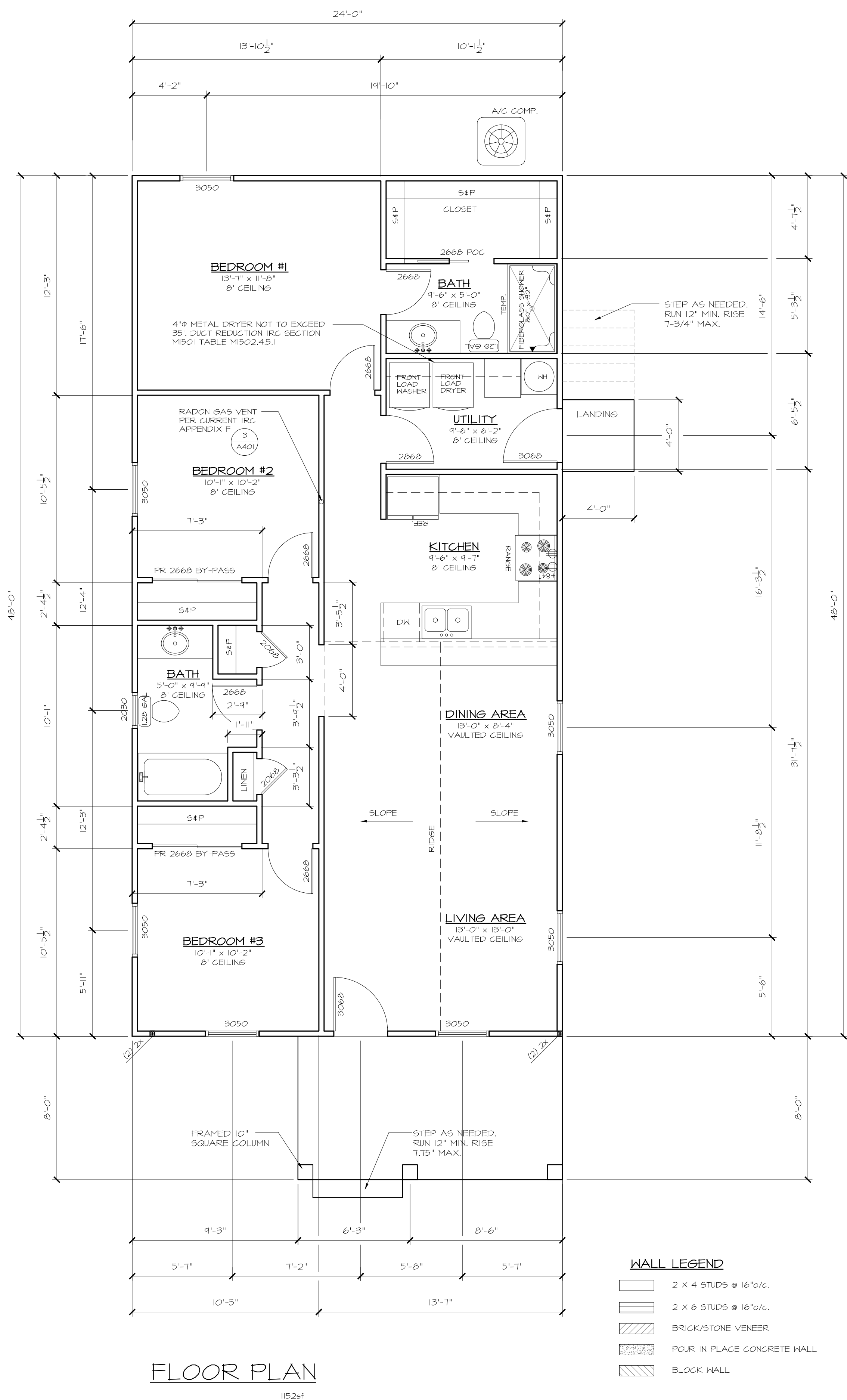
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PROJECT	VILLEGAS SPEC
	3008 JOHNSTON STREET KNOXVILLE, TN

SITE PLAN

A&R DESIGN & DRAFTING SERVICE	320 CRESTVIEW CIRCLE LENOIR CITY TENNESSEE 37112 (865) 594-8812 ROJETTE@GMAIL.COM

	DATE	3/28/2025
	SCALE	1/4"=1'-0"
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