



# Staff Report

Infill Housing Design Review Committee

File Number: 9-C-24-IH

**Meeting:** 9/18/2024  
**Applicant:** Aaron Nichols The Nichols Company LLC  
**Owner:** Real Estate Investing Solutions

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## Property Information

**Location:** 2422 Seymour Ave. **Parcel ID** 70 P B 02701  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**District:** Edgewood Park Infill Housing Overlay District

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## Description of Work

Level III New Primary Structure

New primary structure on a flag lot. Access will extend from Seymour Avenue, and house will face Derieux Dr. One-story residence features a front-gable roof, with a side-gable roof massing projecting towards the left elevation. The façade (east) features a partial-width, front-gable porch supported by tapered wood piers on bases clad in light-weight simulated stone veneer. The house will be clad in 8" textured lap siding with cedar shake shingles in the gable fields, and feature decorative triangular brackets in the gable fields. Parking is proposed as a 15' wide gravel drive extending south from Seymour Avenue, leading to a 28' wide gravel parking area in front of the house (towards Derieux Dr) and extending to the rear of the house.

The façade (east) features paired double-hung windows flanking a central door. There are three bays of doors on the right side elevation and three on the left, with a secondary access door on the left side elevation.

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## Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

### 1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

### 2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

### 3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

### 4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

### 5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

### 6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

### 7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

### 8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.

- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

#### 11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house

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## Comments

1. The house is proposed to be set approximately 46'-7" from the east side property line. Due to the flag lot, the house will be set behind 2418 Seymour Ave and face the side street, Derieux Dr. The house will be set well behind the existing blockface on Derieux Drive, as it's set behind the rear yard of 2426 Seymour Ave. Based on the setback requirements and the unique nature of the property, the proposed setbacks are sufficient. Due to the location and layout of the property, a walkaway to the street would not be possible.
2. The blocks to receive new construction are characterized by Ranch houses along Derieux Drive and Craftsmans and Minimal Traditionals along Seymour Ave. The proposed new house is proportionate to the dimensions of the lot and the other houses on the block.
3. The proposed parking is also complicated by the shape of the lot. Access off Seymour Ave is required, but the gravel parking area should be reduced in size to be limited to one lane adjacent to the house and eliminate the section of gravel parking area in front of the house. If a turnaround is needed, the house could be moved up towards the east property line and a turnaround could be located behind the house. The final site plan should meet City Engineering standards.
4. The façade is similar in scale and width to other houses along the street and in the broader context. Drawings indicate a slab foundation; the surrounding houses also have relatively low foundations.
5. The house incorporates a 6' deep, front-gable roof porch on the right half of the façade. The porch incorporates Craftsman-style details which contribute to the overall design, including triangular brackets in the gable field and tapered posts on piers. The design guidelines discourage stone veneer, which typically lacks precedent in Knoxville's historic neighborhoods; the piers could be clad in brick veneer or stucco.
6. Guidelines recommend window and door styles be similar to historic houses on the block, with similar placement and ratio of solid to void. All elevations feature sufficient transparency for the historic context, and the windows benefit from the trim and sills.
7. The 6/12 pitch roof meets the design guidelines and the house benefits from additional roofline complexity with the front porch and the side-gable massings projecting to the sides.
8. Overall, the asphalt shingle roofing, horizontal lap siding, and gable field shingles meet the design guidelines for materials.
9. The final site plan should incorporate one native or naturalized shade tree in the front and rear yards.

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## Recommendation

Staff recommends approval of Certificate 9-C-24-IH, subject to the following conditions: 1) site plan to be revised to avoid front yard parking; 2) final site plan to meet City Engineering standards; 3) front porch piers to be revised to be clad in brick veneer or stucco; 4) final site plan to include one tree in both the front and the rear yards.





**9-C-24-IH**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

**2422 Seymour Ave.**

Edgewood Park Infill Housing Overlay District



Original Print Date: 9/5/2024  
 Knoxville/Knox County Planning - Infill Housing Design Review Committee

Revised:

Applicant: Aaron Nichols The Nichols Company LLC

**INFILL HOUSING REVIEW BOARD**





# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Aaron Nichols, The Nichols Company LLC

Applicant

08/23/2024

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Aaron Nichols

The Nichols Company, LLC

Name

Company

1506 Dogwood Cove Lane

Knoxville

TN

37919

Address

City

State

Zip

865-236-0737

info@tncllc.biz

Phone

Email

## CURRENT PROPERTY INFO

Real Estate Investing Solutions

5513 Riverbend Drive

Owner Name (if different from applicant)

Owner Address

Owner Phone

2422 Seymour Avenue, Knoxville, TN 37917

070PB02701

Property Address

Parcel ID

Henck

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*  
Staff Signature

Lindsay Crockett

Please Print

8.26.24

Date

*A Nichols*  
Applicant Signature

Aaron Nichols

Please Print

08/23/2024

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
      Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

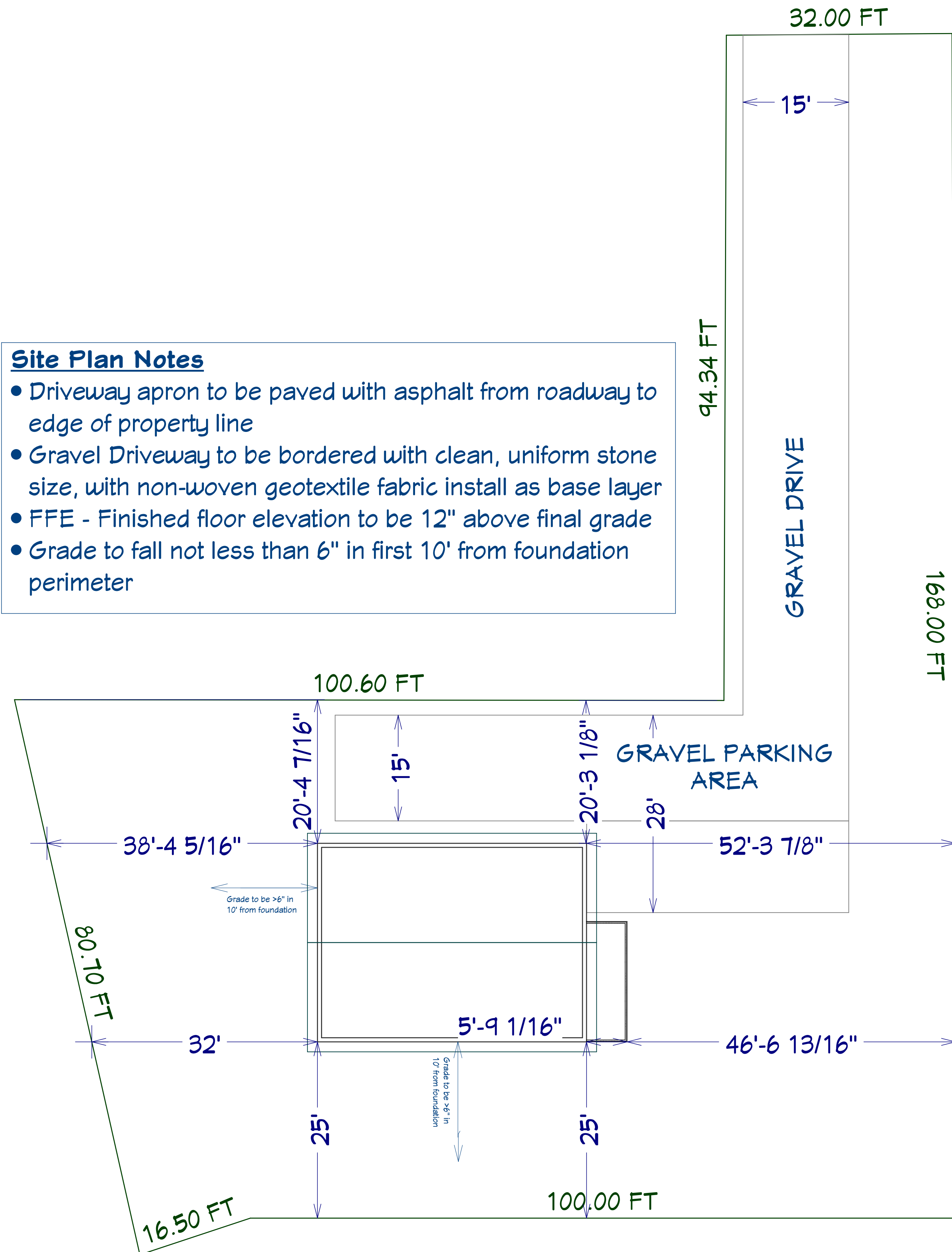
- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>	<b>TOTAL:</b>
<b>FEE 2:</b>	
<b>FEE 3:</b>	



- Site Plan Notes**
- Driveway apron to be paved with asphalt from roadway to edge of property line
  - Gravel Driveway to be bordered with clean, uniform stone size, with non-woven geotextile fabric install as base layer
  - FFE - Finished floor elevation to be 12" above final grade
  - Grade to fall not less than 6" in first 10' from foundation perimeter

**SITE PLAN**  
not to scale

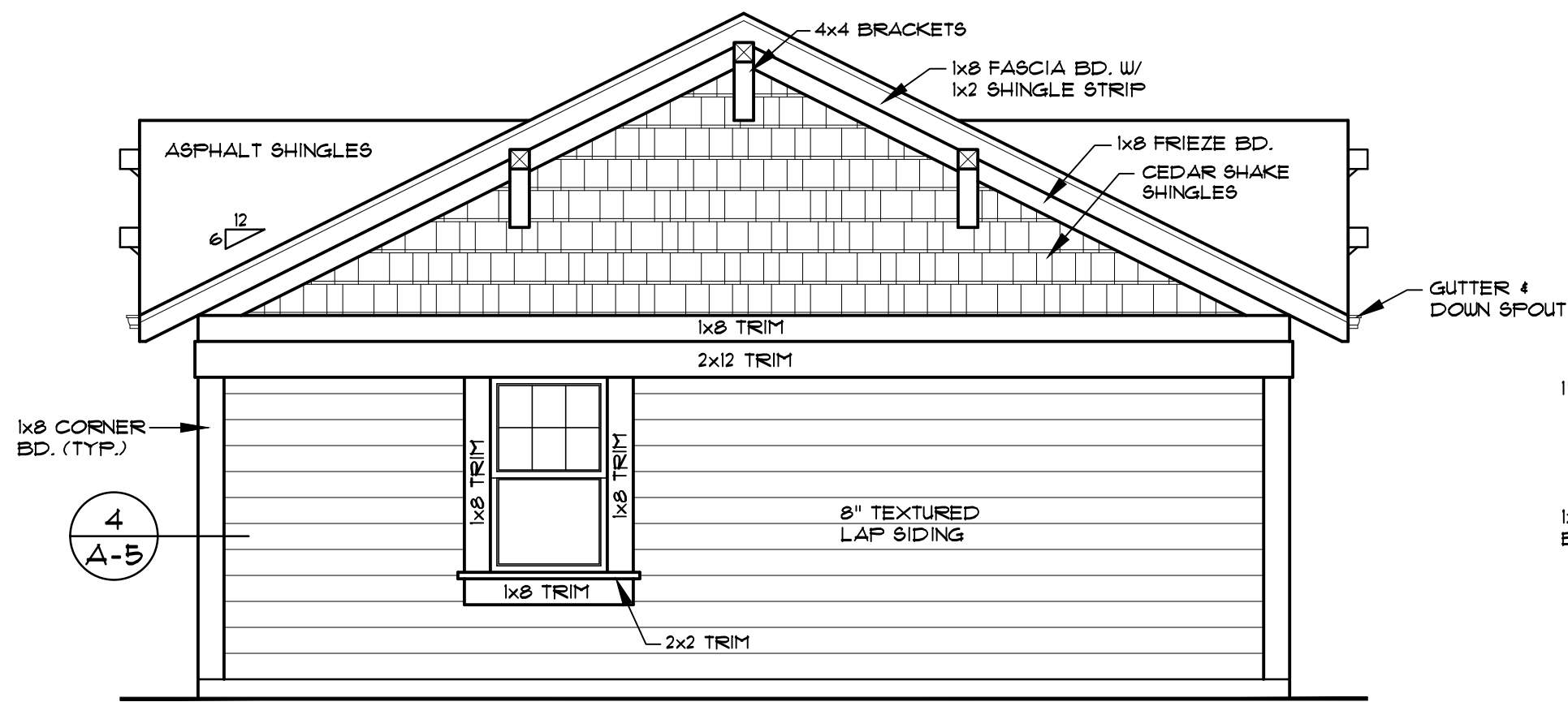
SHEET NUMBER  
**1**  
REVISION #:

**SITE PLAN**  
DRAWN BY: A NICHOLS  
DATE: 07/25/2024

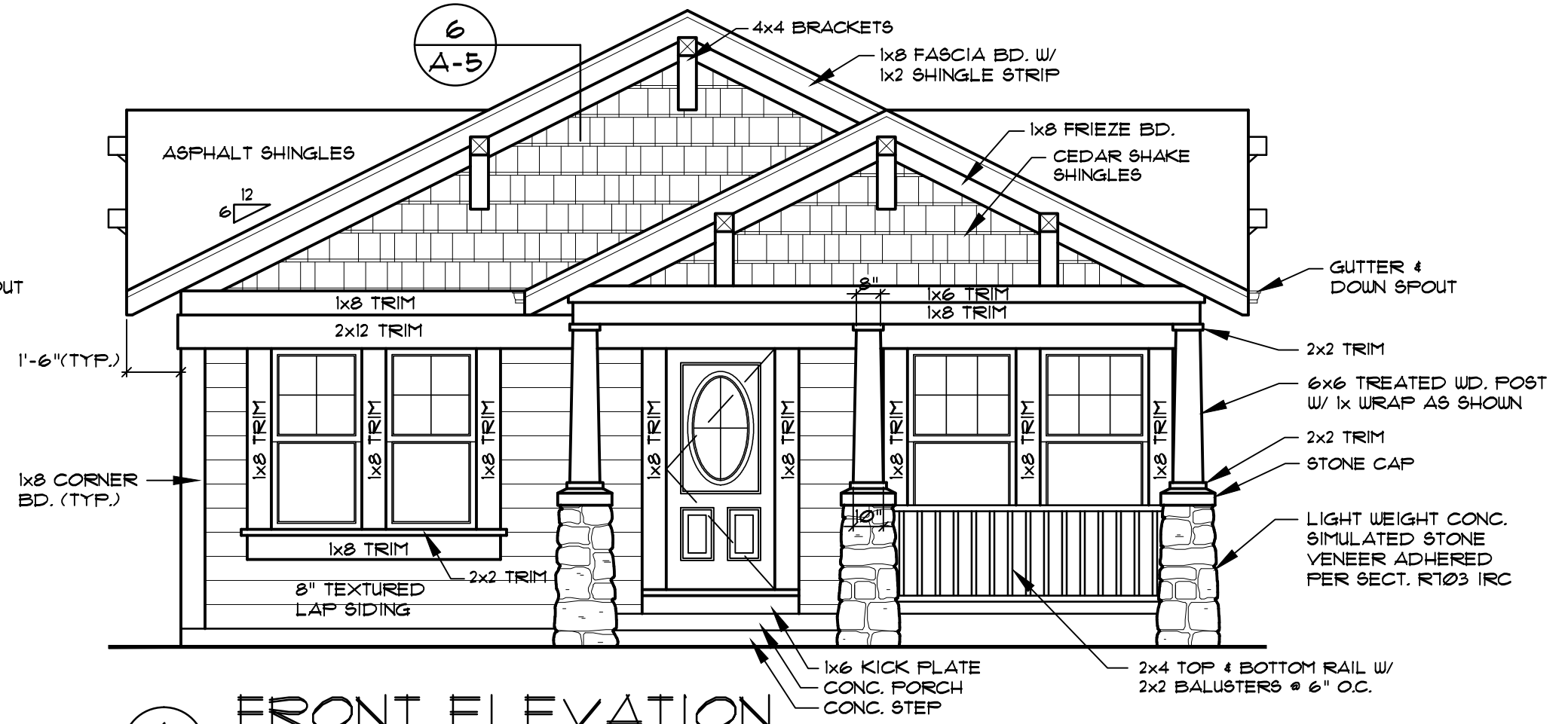
Real Estate Investing Solutions  
2422 Seymour Avenue  
Knoxville, TN 37917

**THE NICHOLS COMPANY**  
1506 Douglas Cove Ln. Knoxville, Tennessee  
865.236.0737 info@triclcl.biz

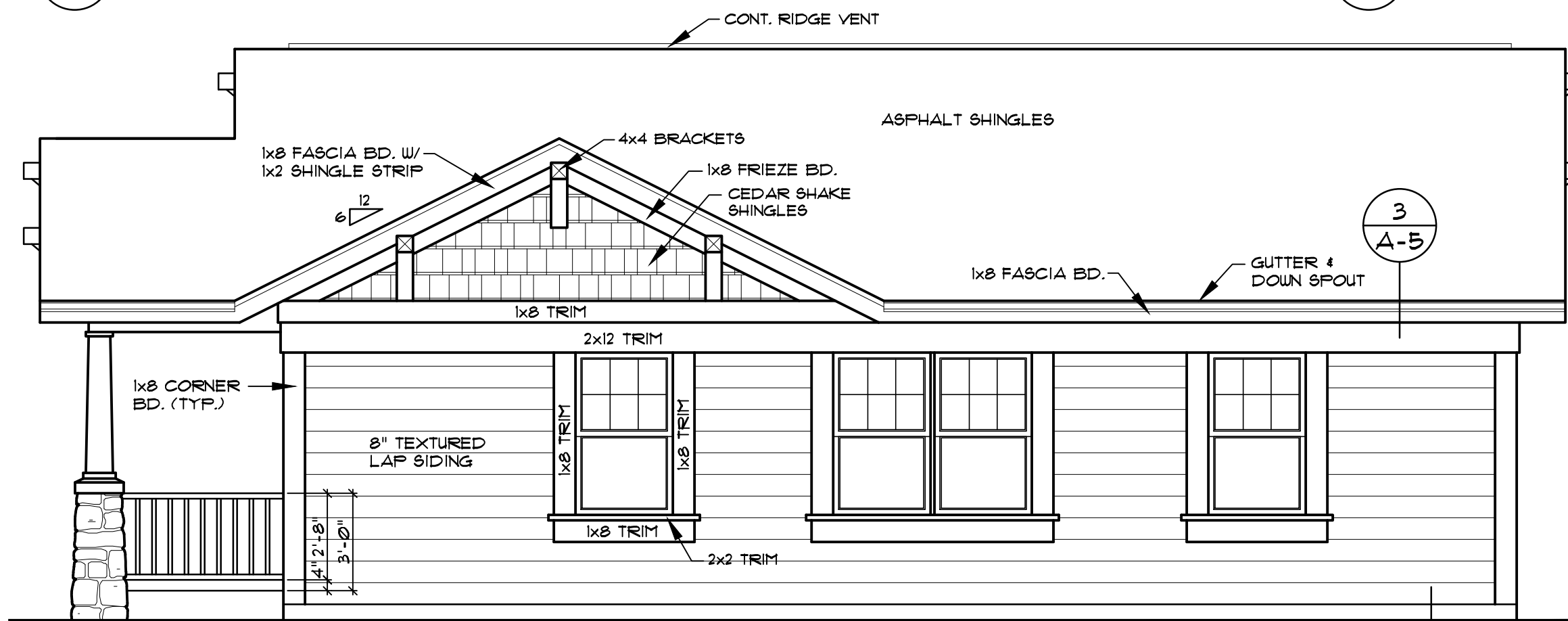




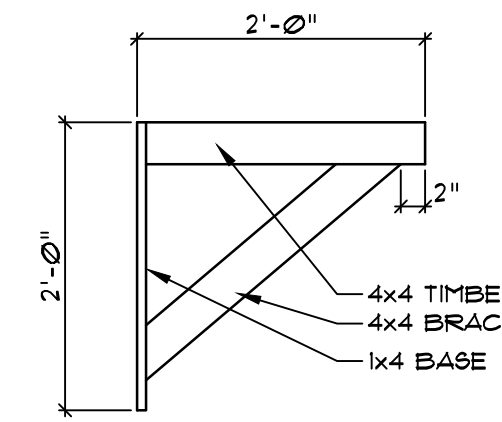
2 REAR ELEVATION  
A-4 1/4" = 1'-0"



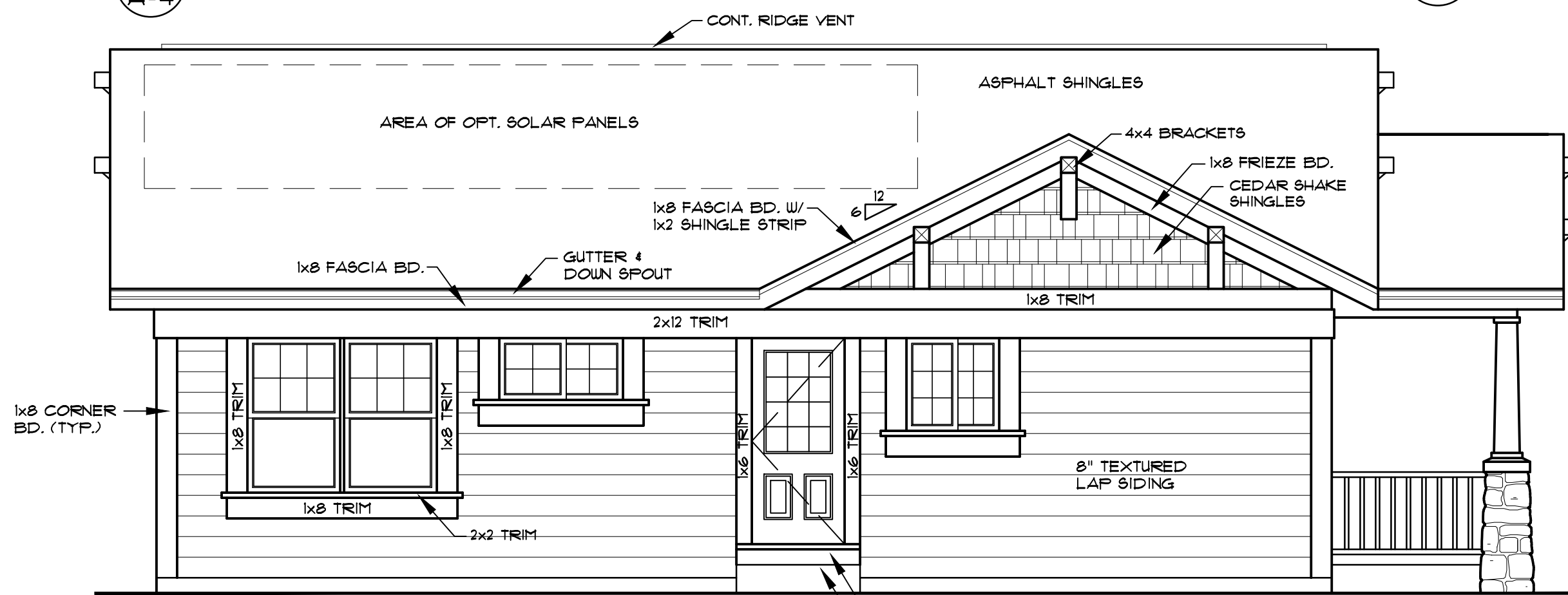
1 FRONT ELEVATION  
A-4 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION  
A-4 1/4" = 1'-0"



5 BRACKET DETAIL  
A-4 3/4" = 1'-0"

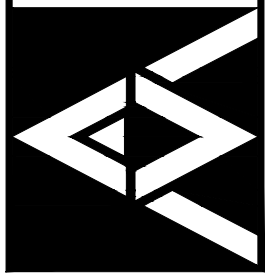


4 LEFT SIDE ELEVATION  
A-4 1/4" = 1'-0"

**TILT AND ORIENTATION OF SOLAR PANELS**  
Solar panels should be placed as close as possible on a south facing roof in the Northern Hemisphere. The angle of degree varies as per location.

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drawn by:  
M.A.M.  
checked by:  
J.B.M.

date:  
01-05-01

revised:

sheet index:  
ELEVATIONS

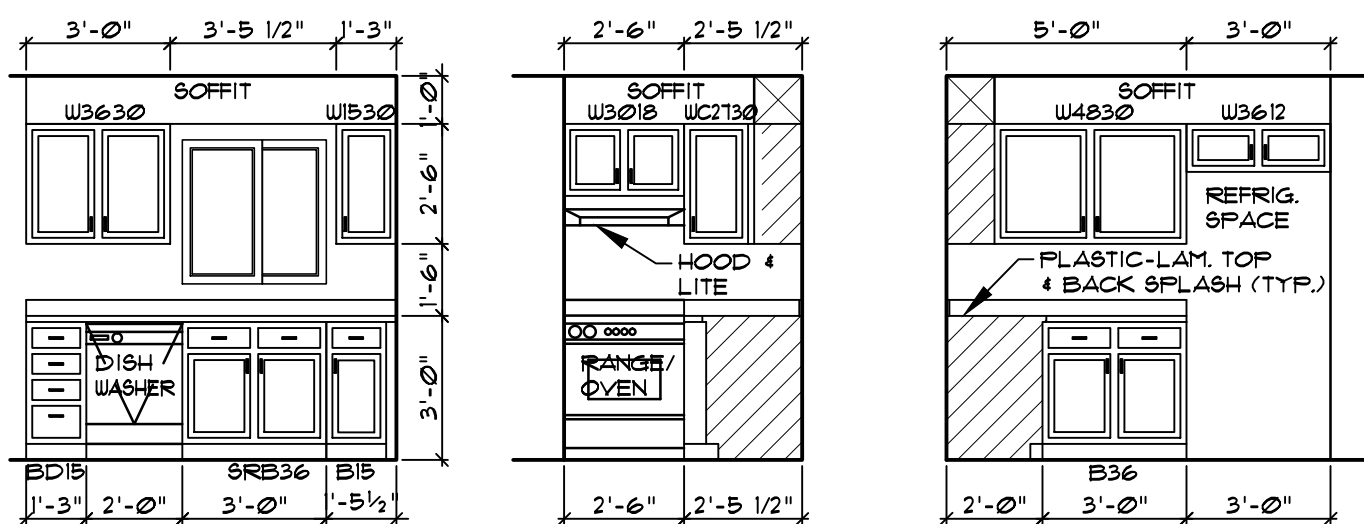
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A4 of 11

H-1027-C

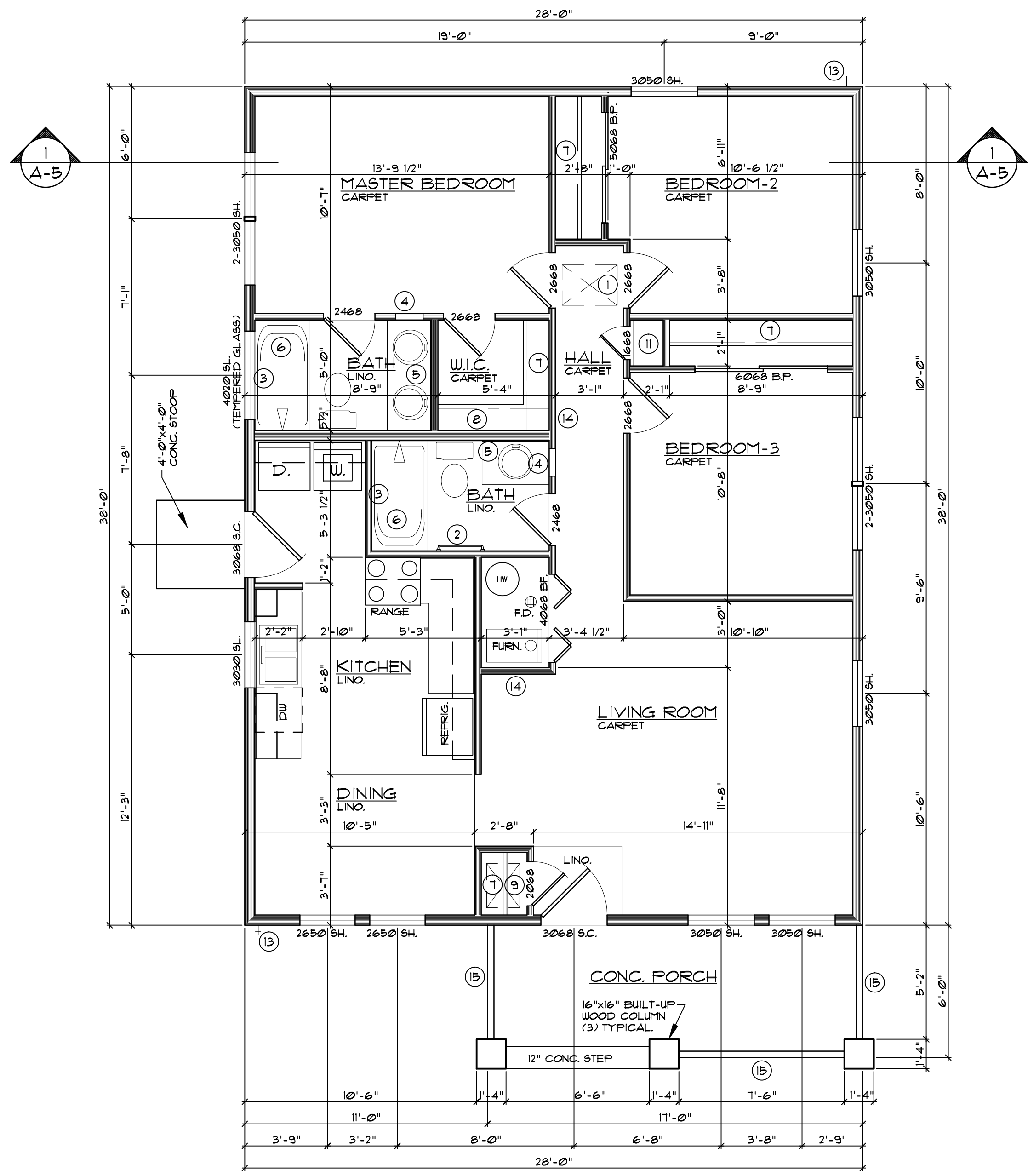
model no.

**ARCHITECTURAL LEGEND**

1. Provide 22"x30" attic access.
2. 24" towel bar.
3. Soap and grab bar.
4. Recessed medicine cabinet.
5. Mirror.
6. 30"x60" tub & shower w/ tempered glass enclosure.
7. One shelf and one rod.
8. One shelf and two rods 42" high and 40" between.
9. Provide 18"x24" crawl space access.
10. 36" high (min.) guardrail w/ balusters @ 4" O.C. (max.).
11. Linen - 5 shelves
12. Broom closet
13. Hose bibb.
14. Provide 1" minimum clearance around furnace flue.
15. 36" high guardrail w/ balusters @ 6" O.C.



**2**  
**A-3** KITCHEN CABINET ELEVATIONS  
1/4" = 1'-0"



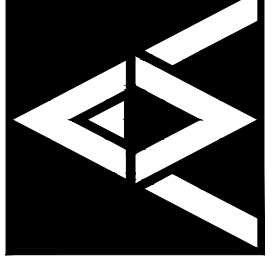
**1**  
**A-3** MAIN LEVEL FLOOR PLAN  
1/4" = 1'-0" 1067 Sq. Ft.

Do not scale drawings, use dimensions as specified on drawings.

model no.  
**H-1027-C**

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drawn by:  
**M.A.M.**  
checked by:  
**J.B.M.**

date:  
**01-05-01**

revised:

sheet index:  
**MAIN LEVEL FLOOR PLAN**

sheet no.  
**A3 of 11**