



# Staff Report

Infill Housing Design Review Committee

File Number: 9-A-24-IH

**Meeting:** 9/18/2024  
**Applicant:** R. Jason Barnes Barnes Capital Management LLC  
**Owner:** R. Jason Barnes Barnes Capital Management LLC

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## Property Information

**Location:** 1205 Adcock Ave. **Parcel ID** 81 | A 041  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**District:** Lonsdale Infill Housing Overlay District

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## Description of Work

Level III New Primary Structure

New primary structure fronting Adcock Avenue. One-story residence features a hipped roof (8/12 and 6/12 pitch). The house is square in shape, with a small hipped-roof entry stoop centered over the door. The house is proposed to be clad in vinyl siding with a concrete block foundation. Parking is proposed for the front of the lot, via an 18' by 18' parking pad in front of the house.

The façade (east) is three bays wide and features two multi-light picture windows flanking a central door. There are no windows proposed for the right elevation, and one for the left, with two windows and a secondary door accessing a deck on the rear elevation.

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## Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

### . Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

### 2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

### 3. Alleys, Parking, and Services

- Parking should not be in front yards.

- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

#### 4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

#### 5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

#### 6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

#### 7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

#### 8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.

- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

#### 11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house

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## Comments

1. The house is proposed to be set 22' from the front property line. The average of the blockface is 18.5', with the two adjacent houses at 17' and 20'. The front setback will be generally consistent with the block. The final site plan should include a walkway from the front door to the street.

2. The block to receive new construction is characterized by Minimal Traditionals, modified Queen Anne cottages, and infill construction, which are largely small, rectangular plan houses. The adjacent house is a small, rectangular Minimal Traditional house; the proposed new house is proportional to the modest houses on the block. The side yard setbacks are consistent with the block.

3. Infill Housing design guidelines recommend that on lots without alleys, new driveways should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade. Parking is currently proposed for the front yard and should be revised to meet guidelines. The final site plan should meet City Engineering standards.

4. The façade is similar in width to the context, which already features relatively small houses. The house is depicted to be on an elevated concrete block foundation, which will reflect historic houses on the block. The concrete block foundation should be clad in stucco or parge-coated to match the context.

5. Guidelines recommend a front porch proportionate to original houses on the block, extending about 8-12' to the street, but also note that "small stoops centered on entry and no more than 5' deep are appropriate on blocks where porches were not traditional." The two Minimal Traditional houses on the block lack front porches but the remainder of the houses, including the infill construction, have partial- or full-width porches. The Board should discuss the necessity of a full-width porch on the smaller house.

6. Guidelines recommend window and door styles be similar to historic houses on the block, with similar placement and ratio of solid to void, and also note that "contemporary windows such as 'picture windows' should not be used" in historic neighborhoods. The façade windows should be revised to typical sizes of double-hung windows (could be paired) to reflect the context; the right side elevation should feature at least one window to avoid a large swath of siding with no transparency.

7. The hipped roof has a sufficiently steep pitch for the neighborhood context.

8. Vinyl siding meets the Infill Housing design guidelines but the vinyl siding should be a horizontal lap siding with an overlap instead of Dutch lap or flush panel siding.

9. The final site plan should feature one native or naturalized tree in the front and rear yards.

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## Recommendation

Staff recommends approval of Certificate 9-A-24-IH, subject to the following conditions: 1) final site plan to include a walkway from the front door to the street; 2) revisions to parking to meet design guidelines and avoid the front yard; 3) final site plan should meet City Engineering standards; 4) revisions to façade and side elevation window design and placement, with approval by staff; 5) final site plan to include one tree in front and rear yards; and

allowing for additional Board discussion and conditions on the front porch design.



**INFILL HOUSING REVIEW BOARD**

**9-A-24-IH**  
**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

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**1205 Adcock Ave.**


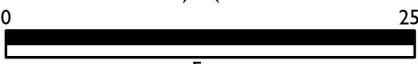
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Lonsdale Infill Housing Overlay District

Original Print Date: 9/5/2024      Revised:

Knoxville/Knox County Planning - Infill Housing Design Review Committee

Applicant: R. Jason Barnes Barnes Capital Management LLC

  
 0 250  
  
 Feet



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

B&B Family Holdings LLP

Applicant

8/13/24

September 18, 2024

9-A-24-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

R. Jason Barnes

Barnes Capital Management LLC

Name

Company

802 Lovell Road

Knoxville

TN

37932

Address

City

State

Zip

865-599-3515

barnes4315@yahoo.com

Phone

Email

## CURRENT PROPERTY INFO

Same

802 Lovell Rd. Knoxville, TN, 37932 / (865) 599-3515

Owner Name (if different from applicant)

Owner Address

Owner Phone

1205 Adcock Ave. Knoxville, TN, 37921 / 0311 A 041.00

Property Address

Parcel ID

Lonsdale

RN-2

Neighborhood

Zoning

## AUTHORIZATION

Lindsay Crockett

Staff Signature

Lindsay Crockett

Please Print

8.14.24

Date

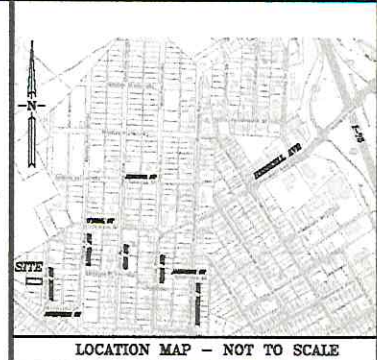
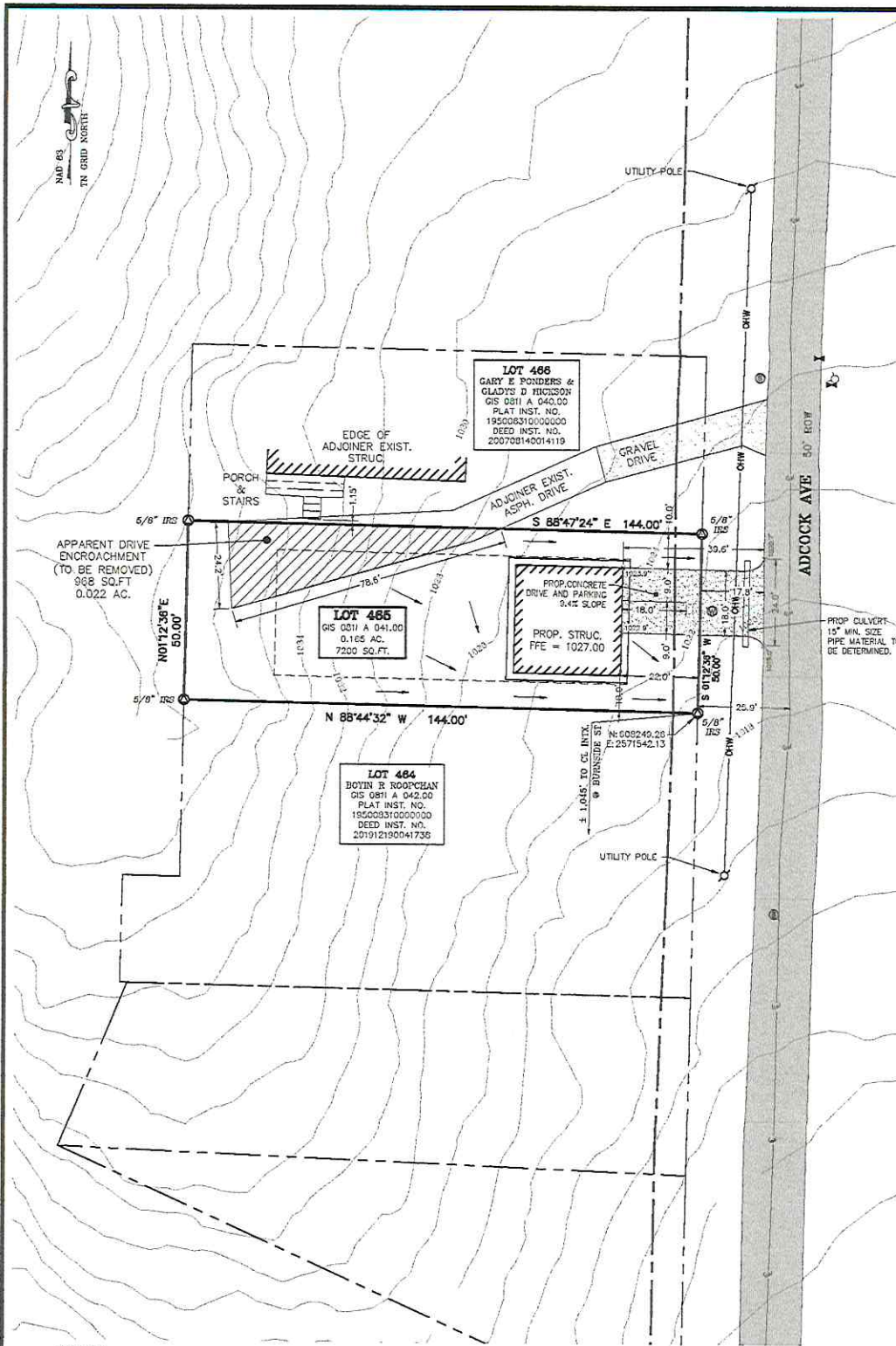
Applicant Signature

R. Jason Barnes

Please Print

8/13/24

Date



- SURVEYOR'S NOTES**
1. THE SURVEY SHOWN HEREON WAS PRODUCED USING GPS REAL TIME KINEMATIC (RTK) POSITIONAL DATA OBTAINED ON JUNE 20, 2024, UTILIZING A TRIMBLE R-12 DUAL FREQUENCY RECEIVER. POSITIONAL ACCURACY OF THE GPS NETWORK DOES NOT EXCEED 0.07 FEET HORIZONTALLY.
  2. PEGGED CONTROL STATIONS ARE LISTED AS FOLLOWS:  
T201 (DISTRICT 15 CODE ARV, PEG. 105540, LAT. N2310'00.000000", LONG. W82°45'15.97247")
  3. BEARING SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN DATUM 1983 (NAD 83), CODE 98, EPOCH 2022.0, TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 4300, TENNESSEE GEODETIC REFERENCE NETWORK (TRGN) AND ARE FURTHER REFERENCED TO THE TENNESSEE DEPARTMENT OF TRANSPORTATION VERTICAL REFERENCE SYSTEM (VRS).
  4. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1885 (NAVD83) GEOID 18.
  5. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES MEASURED IN U.S. SURVEY FEET. THE CORRECTED SCALE FACTOR FOR THIS PROJECT IS 1.0000480283.
  6. ALL ABOVE-GROUND IMPROVEMENTS AND UTILITIES WITHIN 5 FEET OF ALL PROPERTY LINES HAVE BEEN LOCATED AND ARE SHOWN HEREON. THERE HAS BEEN NO ATTEMPT TO LOCATE ANY UNDERGROUND UTILITIES OR IMPROVEMENTS. UNDERGROUND UTILITIES SHOWN WERE FROM ACTUAL FIELD EXHCAVATION. OTHER UTILITIES MAY EXIST AND NOT BE SHOWN OR VARY FROM WHERE SHOWN. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE ACTUAL LOCATION OF ANY UTILITY SHOWN, WHICH ARE NOT VISIBLE FROM THE SURFACE.
  7. THE SURVEY SHOWN HEREON WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE EXAMINATION OF TITLE SEARCH. ALL PROPERTY OR DEED INFORMATION WAS PROVIDED BY THE CLIENT.
  8. SOURCES OF INFORMATION USED TO FACILITATE THIS SURVEY WERE PREVIOUS SURVEYS BY THIS SURVEYOR, SURVEYS BY OTHER SURVEYORS, INFORMATION FURNISHED BY THE CLIENT, NO TITLE SEARCH, TITLE OPINION OR ABSTRACT WAS PERFORMED BY THIS SURVEYOR.
  9. THE SURVEY SHOWN HEREON MAY BE SUBJECT TO DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAY, BUILDING SETBACKS, REGULATIONS, OR OTHER INSTRUMENTS OF RECORD WHICH COULD AFFECT THE BOUNDARIES OF THIS PROPERTY THAT WERE NOT FURNISHED AT THE TIME OF THE SURVEY.
  10. THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X", AN AREA OF MINIMAL FLOOD HAZARD PER THE FIRM FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 4703020273A EFFECTIVE DATE AUGUST 8, 2018.
  11. SUBJECT PROPERTY IS CURRENTLY ZONED RN-2. CURRENT BUILDING SETBACK ARE FRONT 20, SIDE 7.5' AND REAR 20' PER KNOX CITY ZONING OFFICE.

**SURVEYOR'S CERTIFICATION**

THIS IS TO CERTIFY THAT THIS IS A CATEGORY IV RIN GPS SURVEY WHICH MEETS ALL THE TECHNICAL REQUIREMENTS SET FORTH BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYING.

I FURTHER CERTIFY THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH ALL CURRENT TENNESSEE STATUTE STANDARDS OF PRACTICE.

I FURTHER CERTIFY THAT THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION, THAT THIS DRAWING ACCURATELY SHOWS THE SURVEY, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

07/25/2024  
 DATE OF SIGNATURE      MICHAEL P. MESSINA JR.      TN #3328

**LEGEND**

- ⊙ = 1/2" IRON ROD & CAP SET
- ⊕ = UTILITY POLE
- ⊙ = SANITARY SEWER MANHOLE
- ⊕ = WATER METER
- ⊕ = WATER VALVE
- ⊕ = FIRE HYDRANT
- = BOUNDARY/PROPERTY LINE
- = ADJOINING PROPERTY LINE.
- = LINE NOT SURVEYED, LINE MAPPED FROM DEEDS OR PLATS UNLESS NOTED
- = RIGHT OF WAY LINE.
- = LINE NOT SURVEYED, LINE MAPPED FROM DEEDS OR PLATS UNLESS NOTED
- = SETBACK LINE
- = OVERHEAD WIRE
- = DRAINAGE FLOW

**IMPERVIOUS LOT COVERAGE CALCULATIONS**

IMPERVIOUS AREA:	PROP. HOUSE: 900 SQ.FT.±
	PROP. DRIVEWAY: 396 SQ.FT.±
TOTAL LOT 1 AREA:	7200 SQ.FT.±
TOTAL IMPERVIOUS LOT COVERAGE:	1,296 SQ.FT.± OR 18.00%

**NOTE:**  
 SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONDUIT OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARDOUS SITUATION. THE DRAINAGE SHALL FALL NOT FEWER THAN 1" WITHIN THE FIRST 10 FEET.



**TRUeline LAND SURVEYING**

TrueLine Land Surveying, LLC  
 P.O. Box 32242  
 Knoxville, TN 37930

(865) 627-0131  
 info@trueline.com  
 www.trueline.com

**REFERENCES:**  
 DEED INSTR. NO. 195008310000000  
 PLAT INSTR. NO. 200212200005000

**PARCEL ID:** OB11 A 041.00

**JOB NO:** 202416607

**DRAWN BY:** M. D. DEMBO

**DATE:** 07/23/2024

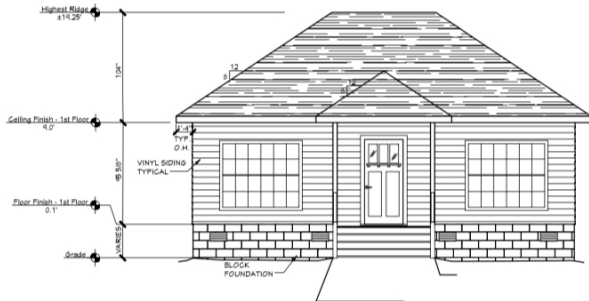
**SCALE:** 1" = 20'

**SITE PLAN OF:**  
**ROSEDALE ADDITION, BLOCK 36 - LOT 465**

SHOWING A SURVEY REQUESTED BY JASON BARNES  
 CIVIL DISTRICT 5, COUNTY OF KNOX, STATE OF TENNESSEE

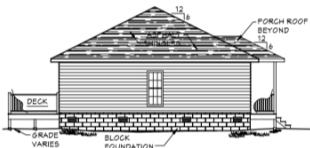
REVISIONS:		
#	DATE	BY
1	08/13/2024	SLG

SHEET 1 OF 1



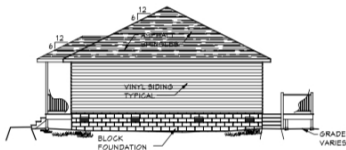
**FRONT ELEVATION**  
SCALE: 1/8"=1'-0"

1  
A1



**LEFT ELEVATION**  
SCALE: 1/8"=1'-0"

2  
A1



**RIGHT ELEVATION**  
SCALE: 1/8"=1'-0"

3  
A1



**REAR ELEVATION**  
SCALE: 1/8"=1'-0"

4  
A1

TOTAL HEATED AREA:

FIRST FLR: 900 SF  
GARAGE: 52 SF  
CRAWL SPACE: 84 SF  
PORCH: 52 SF  
DECK: 84 SF

PLAN DESCRIPTION:  
ELEVATIONS

RESIDENCE TYPE:

Memphis, TN

DRAWN BY:

**JH DRAFTING & CONSULTING**

1047 SAINT JOHNS DRIVE  
MARTINVILLE, TN 37051  
PH: (662) 350-4337

REVISIONS

NO.	DATE
-	-
-	-
-	-
-	-

FILE NAME: DeBudy Starter Home Aug

DEN BY: JEH APPROVED BY: DYNENK

PROJECT NO: 10-010

SHEET: August 9, 2015

SHEET

**A1**

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## Framing Lumber Specifications

Press rated framing members shall be used which equal or exceed the following specifications. If lower grade lumber is used, excessive deflection may occur.

Floor Joists in Bending  
(Fb) = 875 psi (Base Value)

Modulus of Elasticity  
(E) = 1,400,000 psi

### First Floor Joists

40 lbs. Live Load  
10 lbs. Dead Load

SIZE	INCHES O.C.	MAX. SPAN
2 x 6	12"	10'-3"
	16"	9'-4"
	12"	13'-6"
2 x 8	16"	12'-3"
	12"	17'-3"
	24"	12'-7"
2 x 10	12"	17'-3"
	16"	15'-5"
	12"	20'-7"
2 x 12	16"	17'-10"
	24"	14'-7"
	12"	26'-6"
24"	18'-8"	

### Second Floor Joists

30 lbs. Live Load  
10 lbs. Dead Load

SIZE	INCHES O.C.	MAX. SPAN
2 x 6	12"	11'-3"
	16"	10'-3"
	12"	14'-11"
2 x 8	16"	13'-6"
	12"	19'-0"
	24"	14'-1"
2 x 10	16"	17'-2"
	12"	23'-0"
	24"	16'-3"
2 x 12	16"	19'-11"
	24"	16'-3"
	12"	20'-2"

### Ceiling Joists

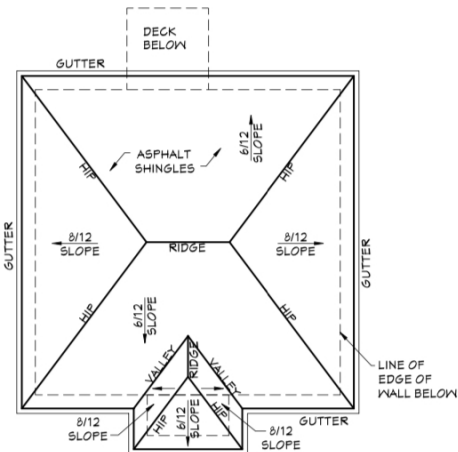
20 lbs. Live Load  
10 lbs. Dead Load

SIZE	INCHES O.C.	MAX. SPAN
2 x 4	12"	9'-5"
	16"	8'-7"
	24"	7'-2"
2 x 6	12"	14'-4"
	16"	12'-10"
	24"	10'-6"
2 x 8	12"	18'-4"
	16"	16'-3"
	24"	13'-3"
2 x 10	12"	22'-11"
	16"	19'-10"
	24"	16'-1"
2 x 12	12"	26'-6"
	24"	23'-0"
	16"	24'-8"
24"	20'-2"	

### Rafters

20 lbs. Live Load  
10 lbs. Dead Load

SIZE	INCHES O.C.	MAX. SPAN
2 x 6	12"	15'-10"
	16"	13'-4"
	24"	11'-3"
2 x 8	12"	20'-2"
	16"	17'-5"
	24"	14'-3"
2 x 10	12"	24'-6"
	16"	21'-3"
	24"	17'-4"
2 x 12	12"	28'-6"
	16"	24'-8"
	24"	20'-2"

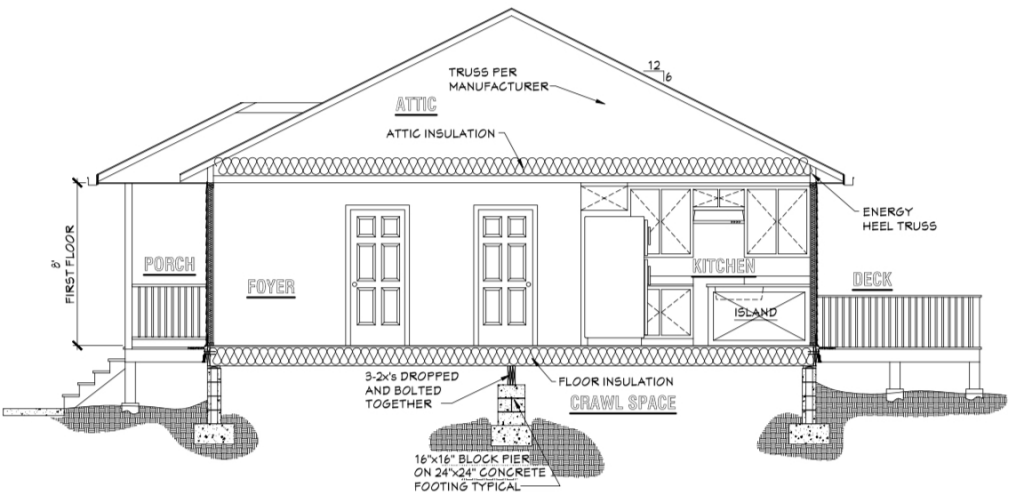


## ROOF PLAN

SCALE: 1/8"=1'-0"

1

A4



## CROSS SECTION

SCALE: 1/4"=1'-0"

2

A4