

Meeting: 9/18/2024
Project: 319 S. Gay St
Applicant: Brian Ewers Dollar and Ewers Architecture

Property Information

Location: 319 S. Gay St. **Parcel ID:** 94 L D 031
Zoning: DK (Downtown Knoxville)
Description:

Former TVA Credit Union building, original core constructed prior to 1900 and most recent exterior rehabilitation dating to the early 1980s.

Description of Work

Level II Minor Alteration of an Existing Building/Structure, Major Alteration of an Existing Building/Structure, Addition to an Existing Building/Structure

Minor revisions to previously-issued COA (2-B-22-DT). Section of mechanical penthouse was previously proposed to be clad in the existing brick veneer; new mechanical penthouse/interior space will be constructed in similar footprint and location, and clad in concealed fastener metal panels. Removal of decorative metal ornament on Gay Street and Wall Avenue elevations. At the intersection of Gay Street and Wall Avenue, installation of new full-light operable window units (was previously proposed as an open area).

Applicable Design Guidelines

Downtown Design Guidelines

B. Private Realm

1. Building Mass, Scale, and Form

1c. Use building materials, cornice lines, signs, and awnings of a human scale in order to reduce the mass of buildings as experienced at the street level.

1d. Divide larger buildings into 'modules' that are similar in scale to traditional downtown buildings. Buildings should be designed with a recognizable base, middle, and top on all exposed elevations.

1e. Avoid blank walls along street-facing elevations.

3. Building Materials

3a. Use complimentary materials and elements, especially next to historic buildings.

4. Architectural Character

4a. Encourage first floor uses that draw walk-in traffic; businesses that do not require pedestrian traffic should be located on other floors.

4b. Enhance pedestrian interest in commercial and office buildings by creating a largely transparent and consistent rhythm of entrances and windows.

5. Ground Floor Doors and Windows

- 5a. Use consistent rhythm of openings, windows, doorways, and entries.
- 5b. Orient front entrances to the main street; secondary entrances should be clearly defined and oriented towards streets and alleys, as appropriate.
- 5c. Design entrances according to the proportions of the building's height and width.
- 5d. All windows at the pedestrian level should be clear.

7. Mechanical Equipment and Service Utilities

- 7a. Minimize the visual impact of mechanical equipment through screens or recessed/low-profile equipment.
- 7b. Do not locate units on a primary façade.
- 7c. Screen rooftop vents, heating/cooling units, and related utilities with parapet walls or other screens. Consider sound-buffering of the units as part of the design.
- 7f. Screen dumpsters from view.

Comments

319 S. Gay Street, while zoned DK-H, is not located within the Gay Street Commercial National Register Historic District so the Historic Resources section of the design guidelines does not apply. The majority of work to be completed at the site was reviewed and approved by the DRB in February 2022 (2-B-22-DT); this application pertains specifically to the work in the "description of work," which include changes submitted for permitting which do not reflect the initial approval. Overall, the proposal meets the intent of the design guidelines. While sections of the original building were built prior to 1900, the building has had several exterior rehabilitation campaigns, most recently in 1984, so the proposal will not result in the modification or removal of any character-defining historic features.

Installing operable window systems in the bays at the corner of Gay Street and Wall Avenue will continue to enhance pedestrian interest and engagement in the site, and will maintain a "largely consistent rhythm of entrances and windows" recommended by the guidelines. Removal of the decorative cast metal screening above the storefront windows does not detract from the building's overall character. No new blank wall sections are created by the exterior rehabilitation scopes.

The revisions do not involve modifications to the mechanical enclosure's footprint. The brick veneer cladding the mechanical penthouse is described as deteriorated and subject to structural concerns; the applicant is proposing to remove it and replace with concealed fastener metal panels. The concealed fastener metal siding has already been approved for the rooftop addition massing, but will be visible from the parking lot and Strong St/alley elevations. Due to the visibility of the new material, the application has been referred to the Board for review and approval. In the opinion of staff, the additional metal panel siding is located on secondary elevations and will not detract from the overall character of the building.

Recommendation

Staff recommends approval of Certificate 9-A-24-DT as submitted.



9-A-24-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Petitioner: **Brian Ewers Dollar and Ewers Architecture**

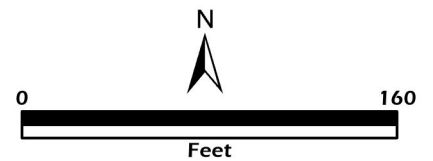
**DOWNTOWN
DESIGN
REVIEW
BOARD**



319 S. Gay St.

Level 1: Minor alteration of an existing building/structure; Level 2: Major alteration of an existing building/structure; Level 2: Addition to an existing building/structure

Original Print Date: 9/5/2024
Revised:
Knoxville/Knox County Planning · Downtown Design Review Board





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Brian Ewers

Applicant

08-30-2024

09-18-2024

9-A-24-DT

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Brian Ewers

Dollar & Ewers Architecture

Name

Company

111 East Jackson Avenue, Suite 101

Knoxville

Tennessee

37915

Address

City

State

Zip

865-546-9374

bewers@dollar-ewers.com

Phone

Email

CURRENT PROPERTY INFO

HD Ranjan Arun

5335 Central Ave Pike

865-999-7722

Owner Name (if different from applicant)

Owner Address

Owner Phone

319 South Gay Street, Knoxville TN 37902

094LD031

Property Address

Parcel ID

DK

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

8.30.24

Staff Signature

Please Print

Date

Brian Ewers

08-30-2024

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- Brief description of work: Remodeling of the Existing TVA Credit Union Building to serve as a Boutique Hotel with Multiple Tenants
-
-

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- Brief description of work: _____
-
-

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

- Brief description of work: _____
-
-

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

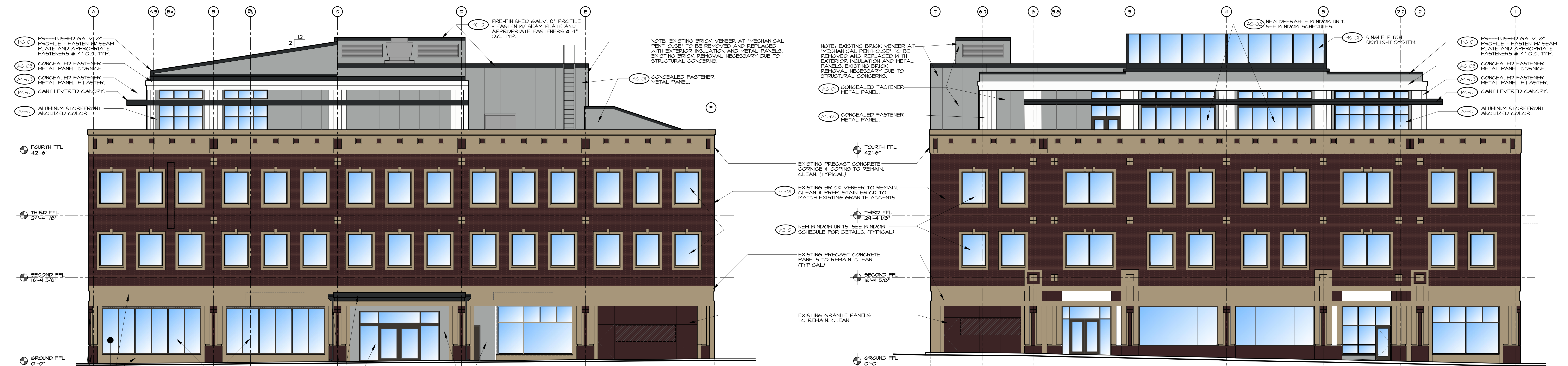
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FEE 2:

FEE 3:

TOTAL:

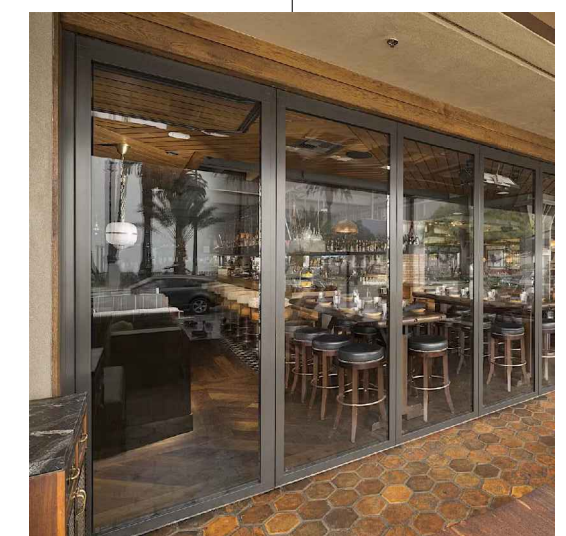
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1 GAY STREET ELEVATION
AS01 SCALE: 1/8" = 1'-0"

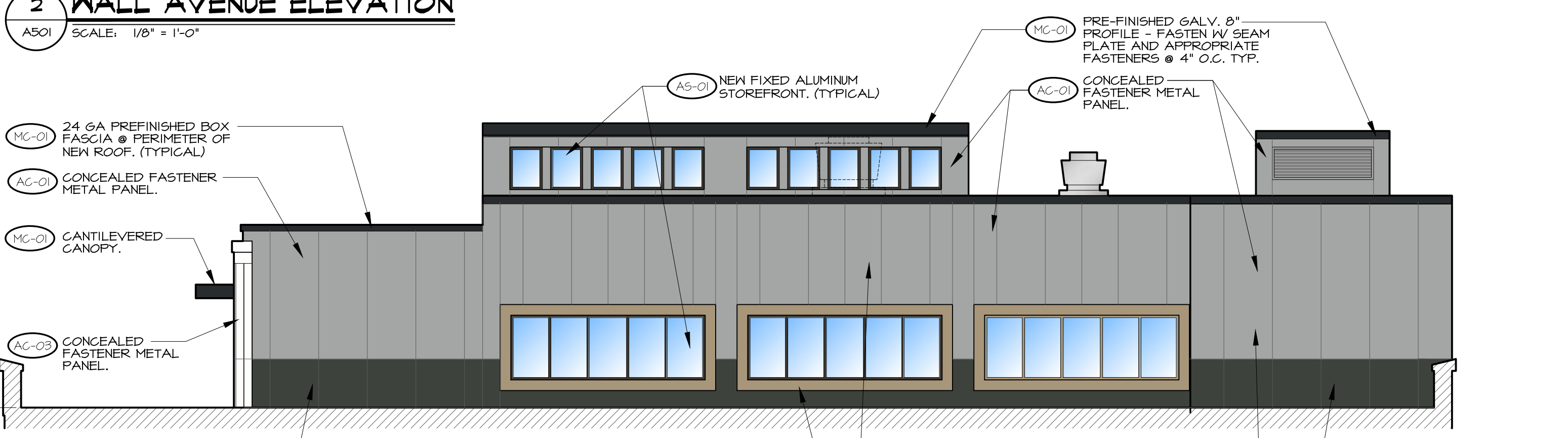
2 WALL AVENUE ELEVATION
AS01 SCALE: 1/8" = 1'-0"

DWG. REF.	REMARKS	MANF.	NUMBER	COLOR	PURCHASED / INSTALLED BY
AS-01	ALUMINUM STOREFRONT SYSTEM	TIBELITE KYNAR OR EQUIVALENT		EXTRA DARK BRONZE "DARK BRONZE" #40	G.C. / G.C.
AS-02	MOVEABLE ALUMINUM STOREFRONT	NANAKALL OR EQUIVALENT	HSK#60	"DARK BRONZE"	G.C. / G.C.
MC-01	METAL ROOF EDGE FLASHING	BERRIDGE		"MATTE BLACK" KYNAR FINISH	G.C. / G.C.
MS-01	GUTTERS & DOWNSPOUTS	BERRIDGE		"MATTE BLACK" KYNAR FINISH	G.C. / G.C.
AC-01	ALUMINUM METAL PANELS, 1/25 THICKNESS	ARCHWALL		PPG DURANAR "FASHION GRAY" KYNAR FINISH	G.C. / G.C.
AC-02	ALUMINUM METAL PANELS, 1/25 THICKNESS	ARCHWALL		PPG DURANAR "CHARCOAL" KYNAR FINISH	G.C. / G.C.
AC-03	ALUMINUM METAL PANELS, 1/25 THICKNESS	ARCHWALL		PPG DURANAR "GRAHAM WHITE" KYNAR FINISH	G.C. / G.C.
XP-01	BRAKE METAL TRIM OVER SHEATHING	BERRIDGE		"MATTE BLACK" KYNAR FINISH	G.C. / G.C.
ST-01	STAIN OVER EXISTING BRICK VENEER	BY G.C.		MATCH EXISTING GRANITE ACCENTS	G.C. / G.C.
ME-01	CHARRED WOOD SIDING	DELTA MILLWORKS	PONZI SHOU SUSHI BAN 13/16" X 5 1/8"		G.C. / G.C.

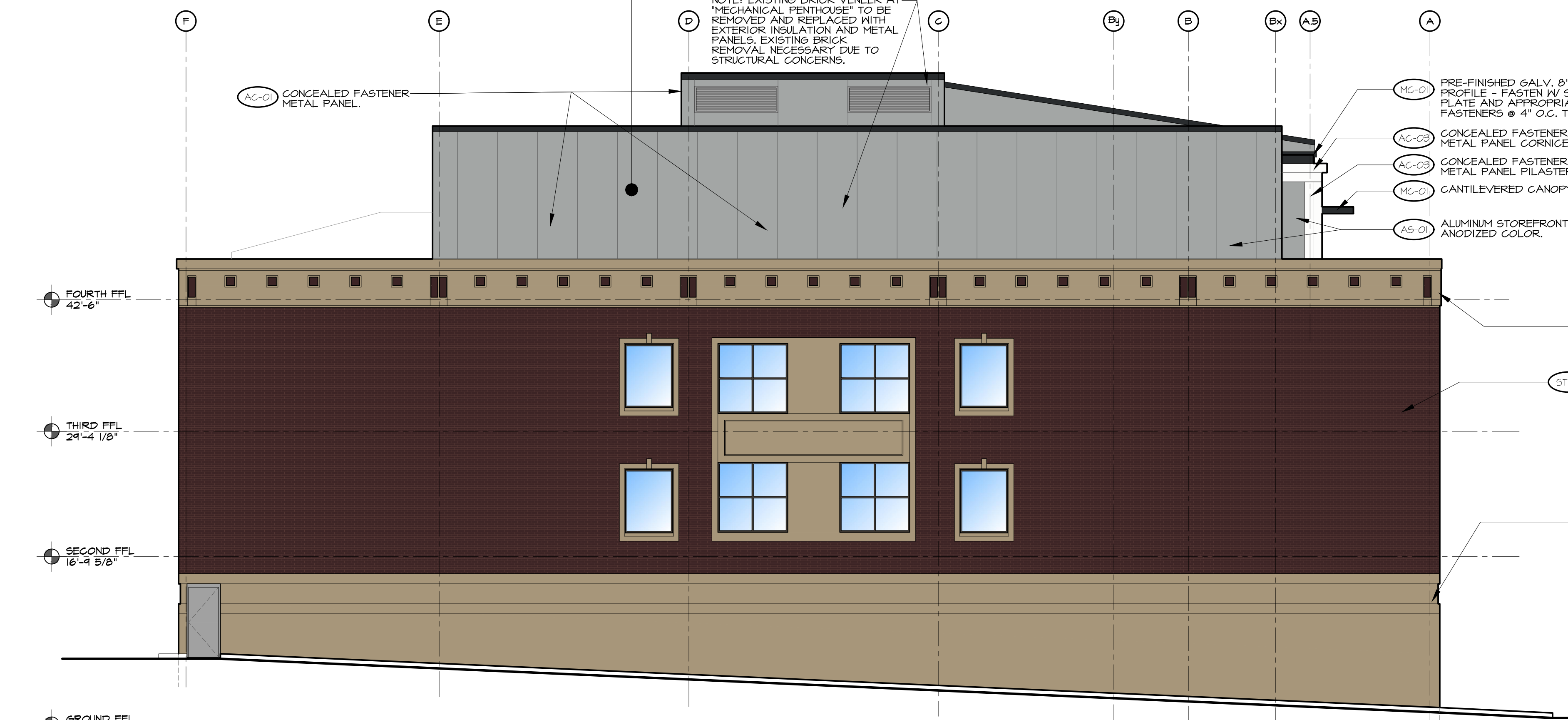


NEW OPERABLE WINDOW UNIT, COLOR TO MATCH WINDOW STOREFRONT COLOR
CONCEALED FASTENER METAL PANEL

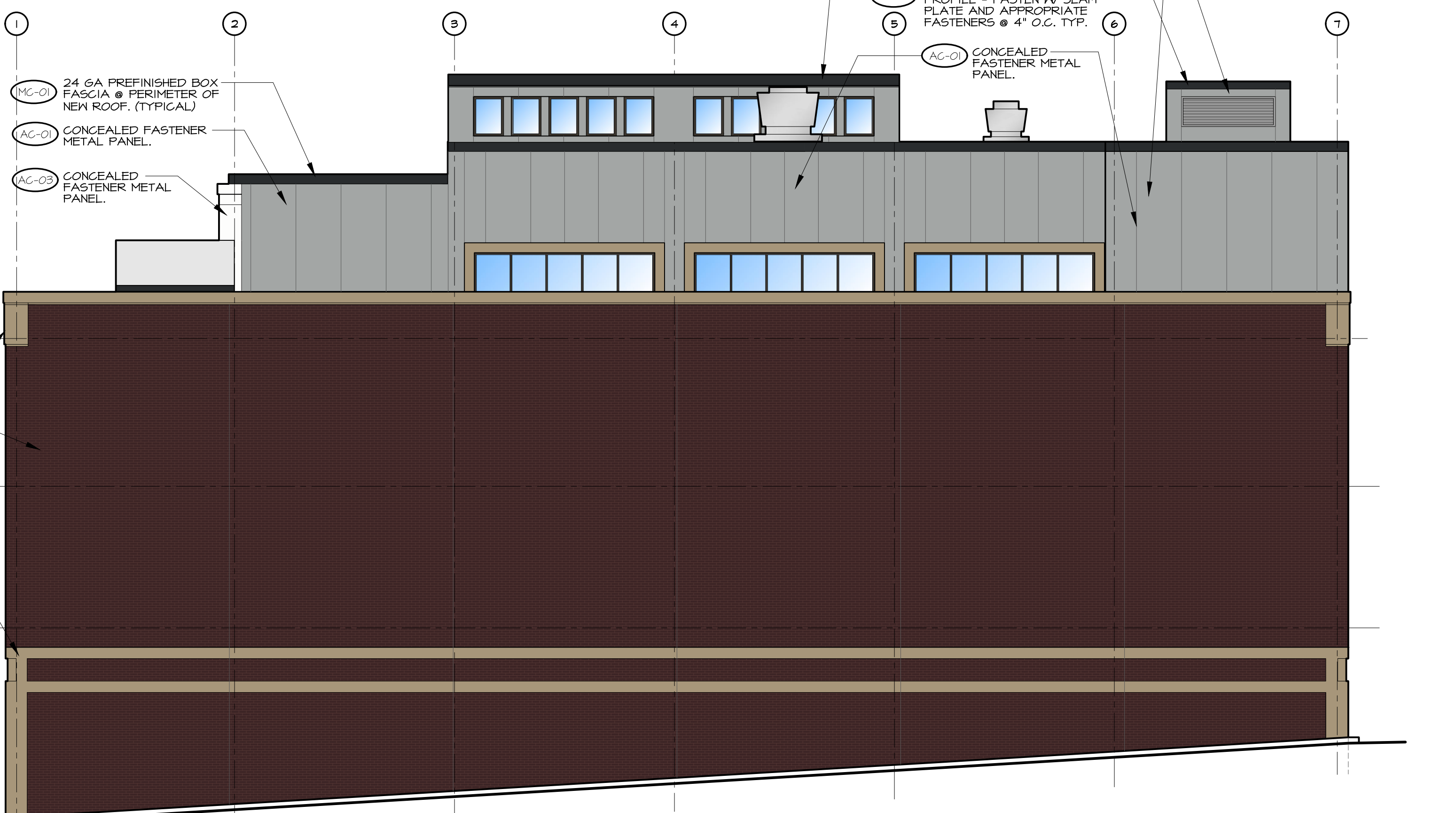
MATERIAL ELEVATIONS EXAMPLE



NORTH ELEVATION @ ROOF LEVEL
SCALE: 1/8" = 1'-0"



1 STRONG STREET ELEVATION
AS02 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION @ PARKING LOT
AS02 SCALE: 1/8" = 1'-0"



A Building Renovation for:
SKY-LITE HOTEL
319 SOUTH GAY STREET, KNOXVILLE, TN 37902

ISSUE DATE:
AUGUST 30, 2024
SHEET NUMBER:

E1

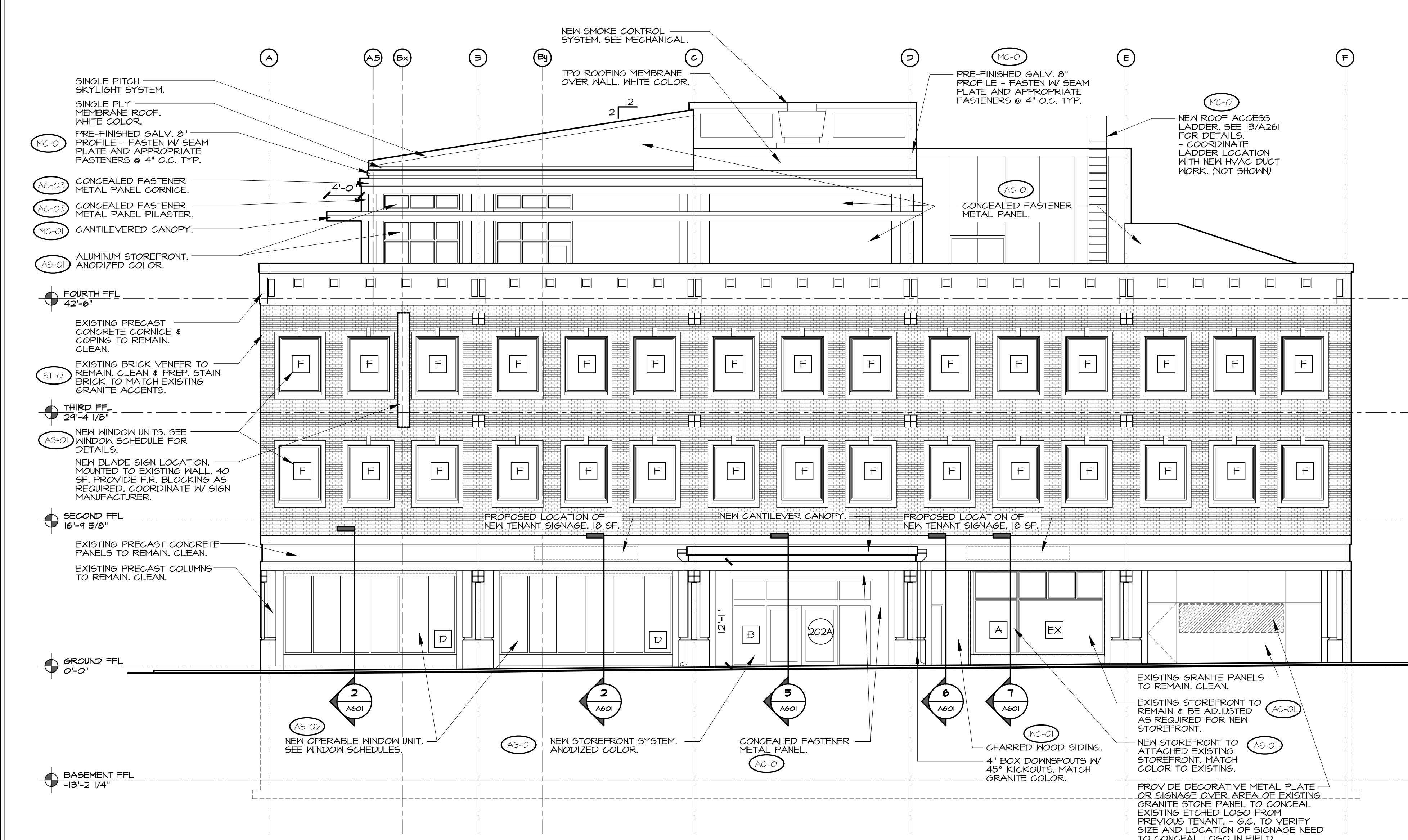


NO.	REVISIONS

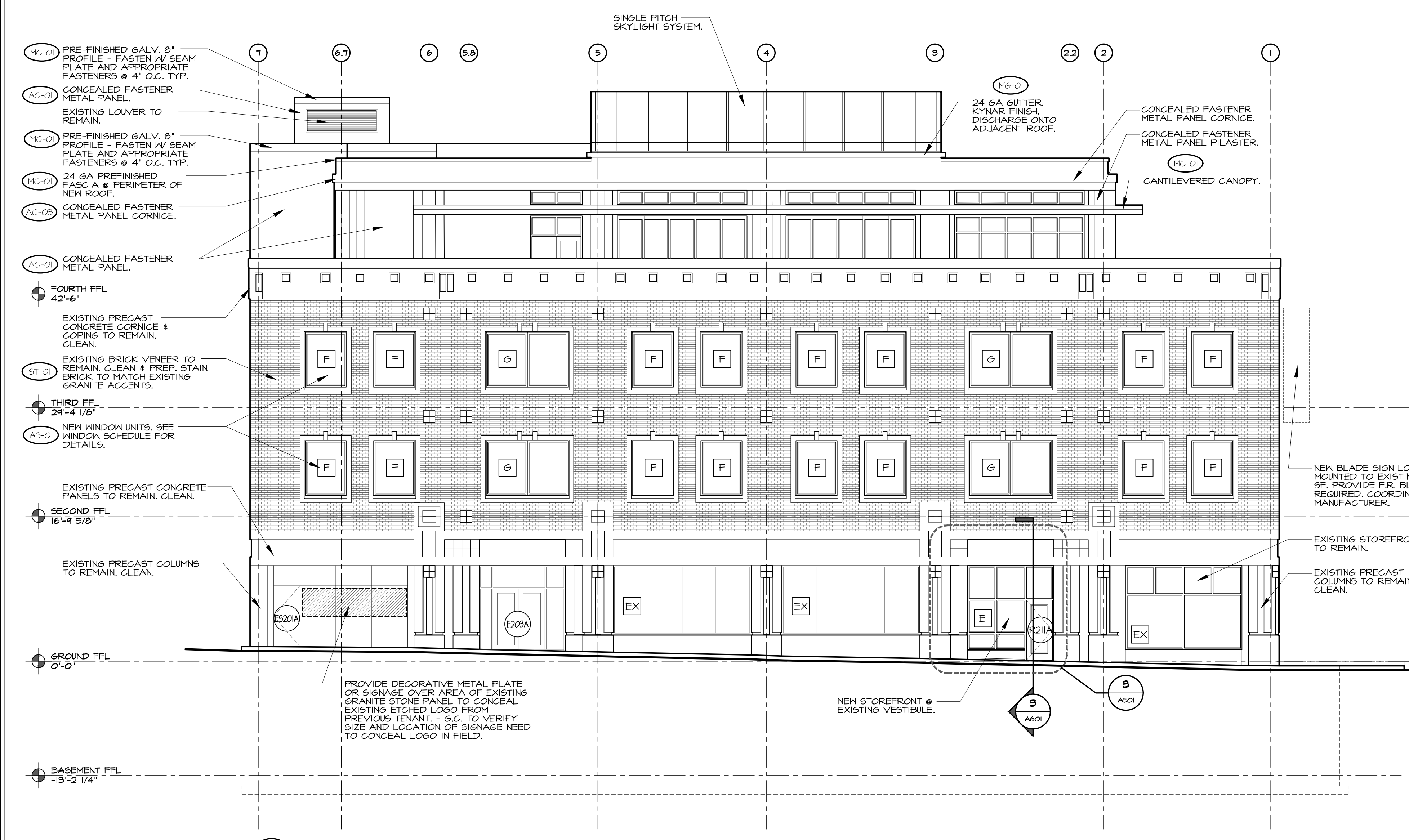
A Building Renovation for:
SKY-LITE HOTEL
319 SOUTH GAY STREET, KNOXVILLE, TN 37902
EXTERIOR ELEVATIONS & NOTES

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ISSUE DATE:
OCTOBER 20, 2023
PROJECT NO.:
221233
SHEET NUMBER:
A501



1 GAY STREET ELEVATION
AS01 SCALE: 1/8" = 1'-0"



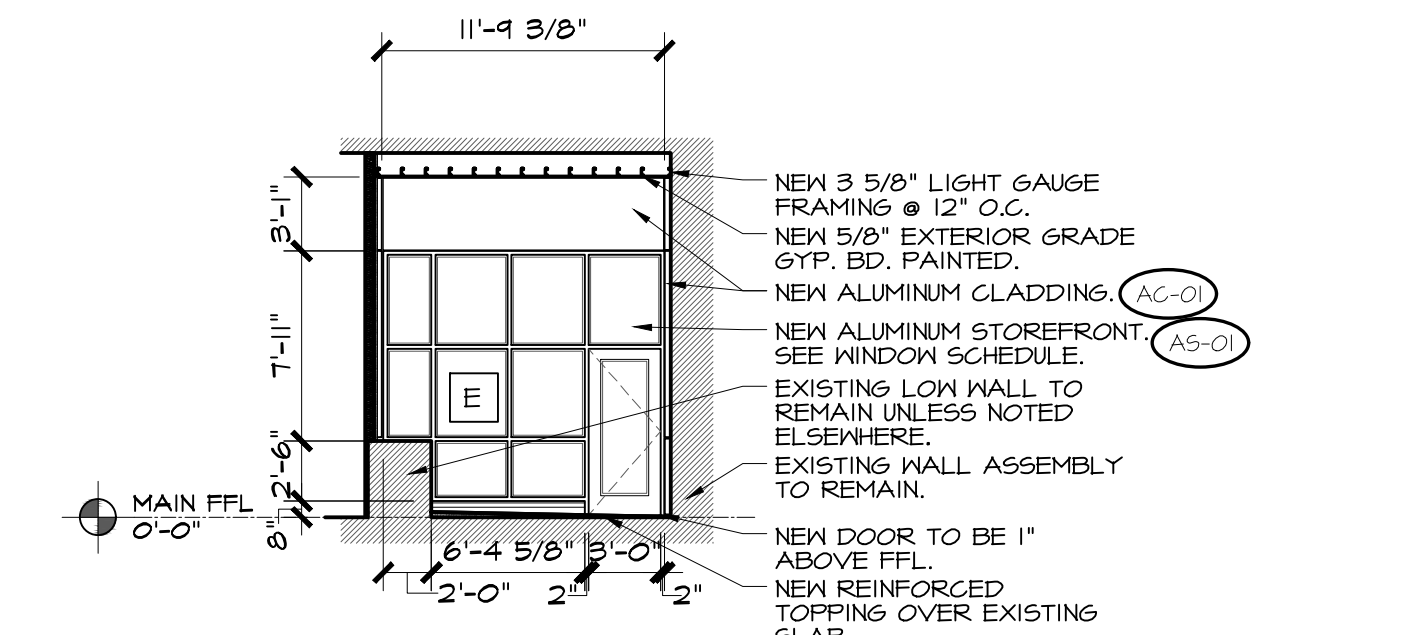
2 WALL AVENUE ELEVATION
AS01 SCALE: 1/8" = 1'-0"

QTY	REF.	REMARKS	MANUF.	NUMBER	COLOR	PURCHASED / INSTALLED BY
AS-01		ALUMINUM STOREFRONT TUBELITE KANNER OR EQUIVALENT			EXTRA DARK BRONZE "DARK BRONZE" #40	G.C. / G.C.
AS-02		MOVABLE ALUMINUM STOREFRONT	NANAKALL OR EQUIVALENT	H5960	"DARK BRONZE"	G.C. / G.C.
AC-01		METAL ROOF EDGE FLASHING	BERRIDGE		"MATTE BLACK" KYNAR FINISH	G.C. / G.C.
AC-02		GUTTERS & DOWNSPUTS	BERRIDGE		"MATTE BLACK" KYNAR FINISH	G.C. / G.C.
AC-03		ALUMINUM METAL PANELS, 1/25" THICKNESS	ARCHMALL		PPG DURANAR "FASHION GRAY" KYNAR FINISH	G.C. / G.C.
AC-04		ALUMINUM METAL PANELS, 1/25" THICKNESS	ARCHMALL		PPG DURANAR "CHARCOAL" KYNAR FINISH	G.C. / G.C.
AC-05		ALUMINUM METAL PANELS, 1/25" THICKNESS	ARCHMALL		PPG DURANAR "GRAHAM WHITE" KYNAR FINISH	G.C. / G.C.
MP-01		BRAKE METAL TRIM OVER SHEATHING	BERRIDGE		"MATTE BLACK" KYNAR FINISH	G.C. / G.C.
ST-01		STAIN OVER EXISTING BRICK VENEER	BY G.C.		MATCH EXISTING GRANITE ACCENTS	G.C. / G.C.
VC-01		CHARRED WOOD SIDING	DELTA MILLWORKS	PONZI SHOU SUSHI BAN 13/16" X 5 1/8"		G.C. / G.C.

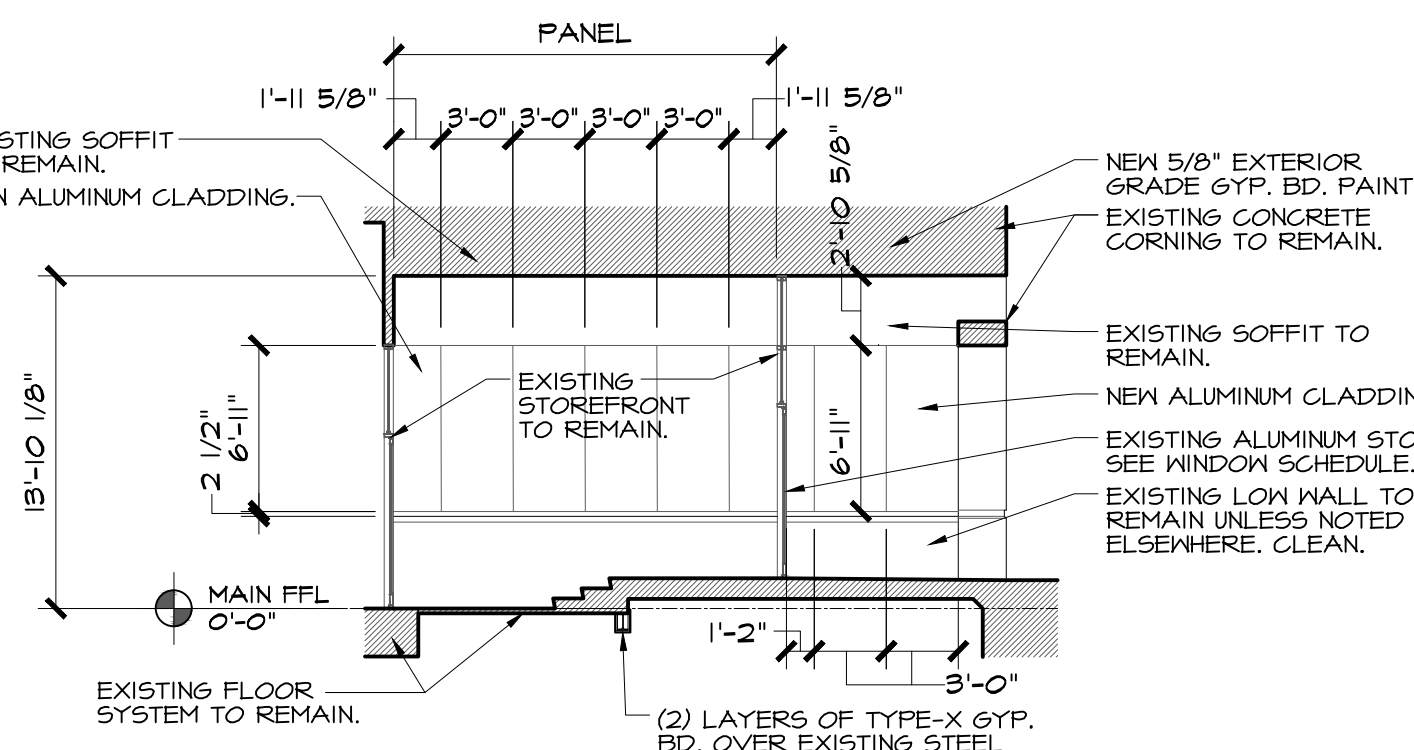
NOTE:
GENERAL CONTRACTOR TO PROVIDE A SAMPLE PANEL FOR BRAKE METAL PANELS, STOREFRONT AND ROOF PAVERS FOR APPROVAL BY OWNER/ARCHITECT.

- GENERAL ELEVATION NOTES:**
1. ALL EXPOSED TUBE STEEL BASES, COLLARS, BOLLARDS, RAILINGS, BRICK ANGLE SUPPORTS, ETC. TO BE PAINTED W/ INEBC FLUOROCUR STAIN PAINT OR EQUIVALENT. APPLY PER MANUFACTURER'S INSTRUCTIONS.
 2. OVERHEAD DOOR GUIDES IN SEATING AREA SHOULD BE MOUNTED HIGH ENOUGH TO AVOID BEING SEEN THROUGH WINDOWS FROM OUTSIDE.

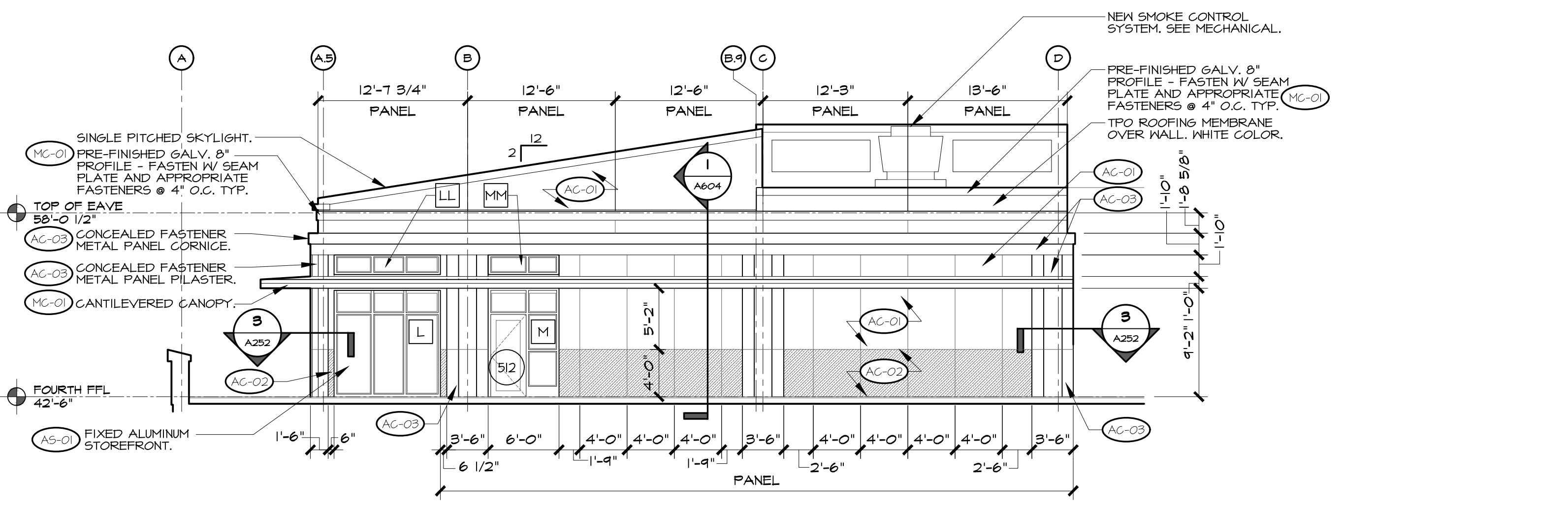
- GENERAL SEALANT NOTES:**
1. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL CONTROL JOINTS IN MASONRY WALLS, TYPICAL, DOWCORNING # TR0.
 2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL JUNCTURES BETWEEN DISSIMILAR MATERIALS. IE BRICK TO EIFS, DOWCORNING # TR0.
 3. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL CONTROL JOINTS IN EIFS, TYPICAL, DOW # TR0.
 4. PROVIDE CLOSURE END CAPS AND 90 DEGREE TRANSITIONS AT ALL EXPANSION JOINTS AND END WALL CAPS AT GRAVEL STOPS, TYPICAL.
 5. PROVIDE SEALED SHEET METAL HOOD OVER PIPE PENETRATIONS THROUGH ROOF PITCH PANELS @ MIN. AWAY FROM ROOF TOP HVAC UNITS TYPICAL. COORDINATE CUT IN CURB ROOFING CONTRACTOR.
 6. SEAL ALL METAL TO METAL CONNECTIONS WITH DOWCORNING # TR5 (NOTE: NO CLEAR SILICONE SEALANT SHALL BE ALLOWED) SEAL ALL METAL COPING STANDING SEAM JOINTS WITH DOWCORNING # TR5 TYP.



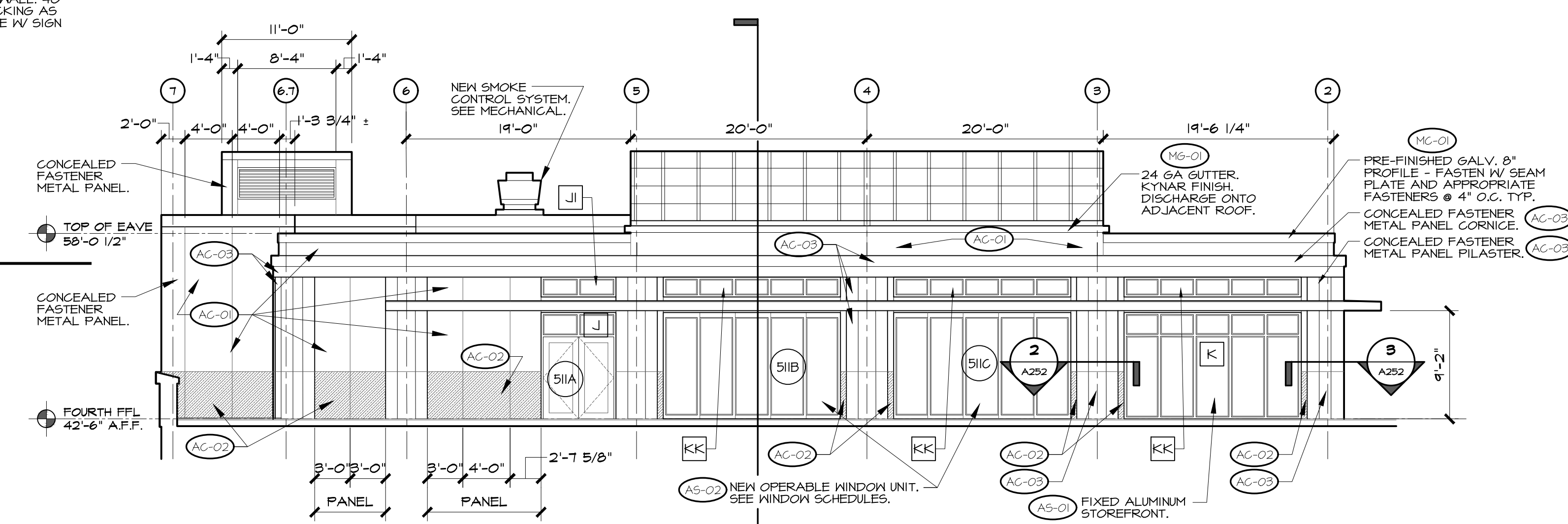
3 WALL AVE TENANT #1 ENTRY
AS01 SCALE: 1/8" = 1'-0"



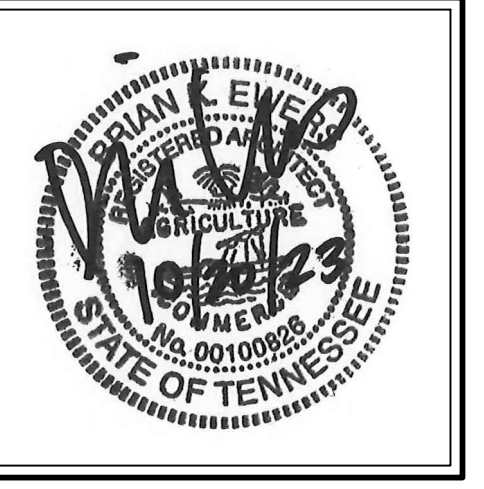
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AS01 SCALE: 1/8" = 1'-0"



5 ROOFTOP TENANT GAY STREET ELEVATION
AS01 SCALE: 1/8" = 1'-0"



6 ROOFTOP TENANT WALL AVE ELEVATION
AS01 SCALE: 1/8" = 1'-0"



NO.	REVISIONS

A Building Renovation for:
SKY-LITE HOTEL
 319 SOUTH GAY STREET, KNOXVILLE, TN 37902
EXTERIOR ELEVATIONS & NOTES

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ISSUE DATE:
OCTOBER 20, 2023
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221233
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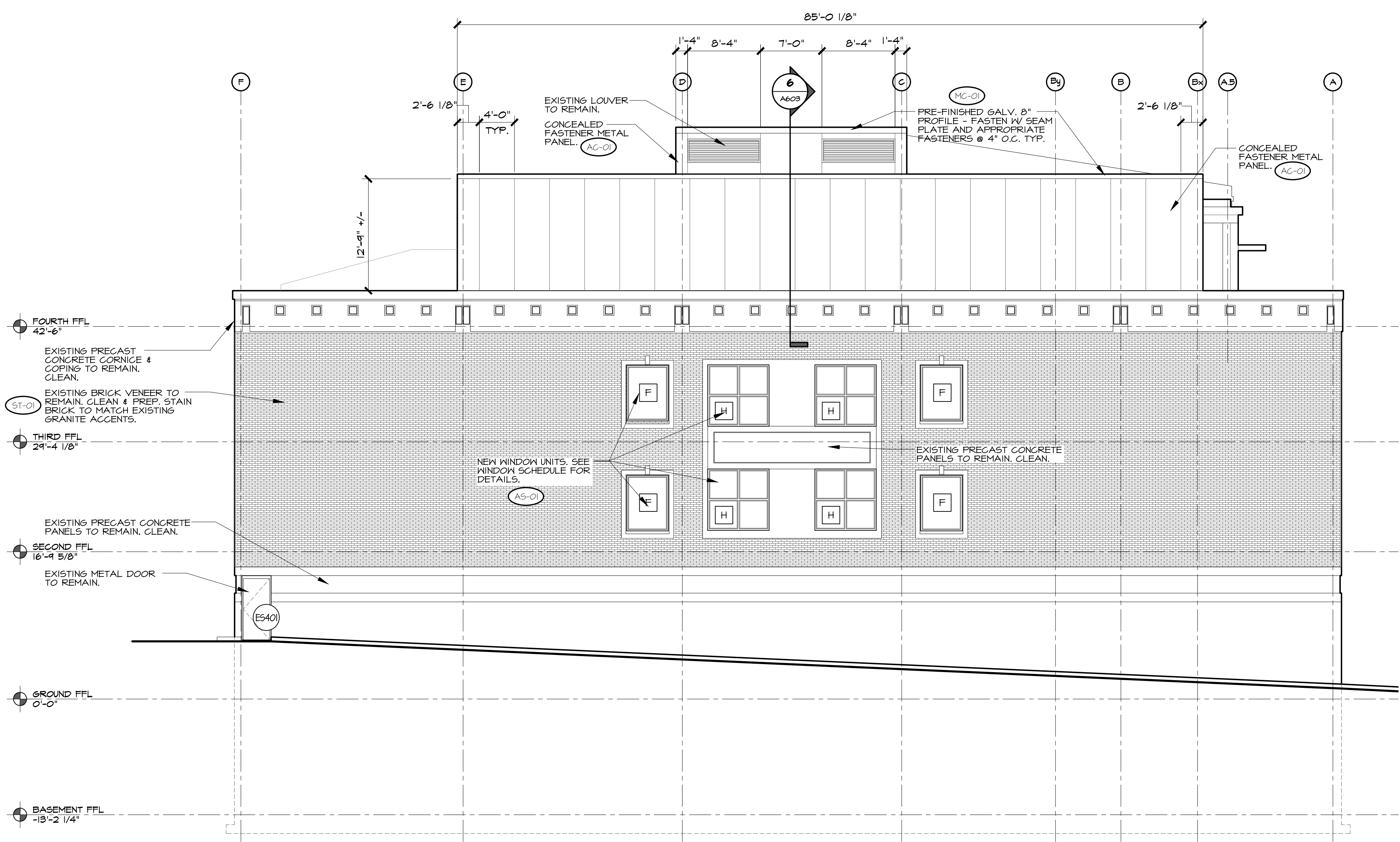
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DWG. REF.	REMARKS	MANUF.	NUMBER	COLOR	PURCHASED / INSTALLED BY
AS-01	ALUMINUM STOREFRONT	TUBELITE KANNER OR EQUIVALENT		EXTRA DARK BRONZE "DARK BRONZE" #40	G.C. / G.C.
AS-02	MOVEABLE ALUMINUM STOREFRONT	NANAKALL OR EQUIVALENT	HSW60	"DARK BRONZE"	G.C. / G.C.
AC-01	METAL ROOF EDGE FLASHING	BERRIDGE		"MATTE BLACK" KYNAR FINISH	G.C. / G.C.
AC-02	GUTTERS & DOWNSPOUTS	BERRIDGE		"MATTE BLACK" KYNAR FINISH	G.C. / G.C.
AC-03	ALUMINUM METAL PANELS, 125 THICKNESS	METALWERKS OR EQUIVALENT	ARGWALL	PPG DURANAR "FASHION GRAY" KYNAR FINISH	G.C. / G.C.
AC-04	ALUMINUM METAL PANELS, 125 THICKNESS	METALWERKS OR EQUIVALENT	ARGWALL	PPG DURANAR "CHARCOAL" KYNAR FINISH	G.C. / G.C.
AC-05	ALUMINUM METAL PANELS, 125 THICKNESS	METALWERKS OR EQUIVALENT	ARGWALL	PPG DURANAR "GRAHAM WHITE" KYNAR FINISH	G.C. / G.C.
BP-01	BRAKE METAL TRIM OVER SHEATHING	BERRIDGE		"MATTE BLACK" KYNAR FINISH	G.C. / G.C.
ST-01	STAIN OVER EXISTING BRICK VENEER	BY G.C.		MATCH EXISTING GRANITE ACCENTS	G.C. / G.C.
MC-01	CHARRED WOOD SIDING	DELTA MILLWORKS	PONZI SHOU SUSHI BAN 13/16" X 5 1/8"		G.C. / G.C.

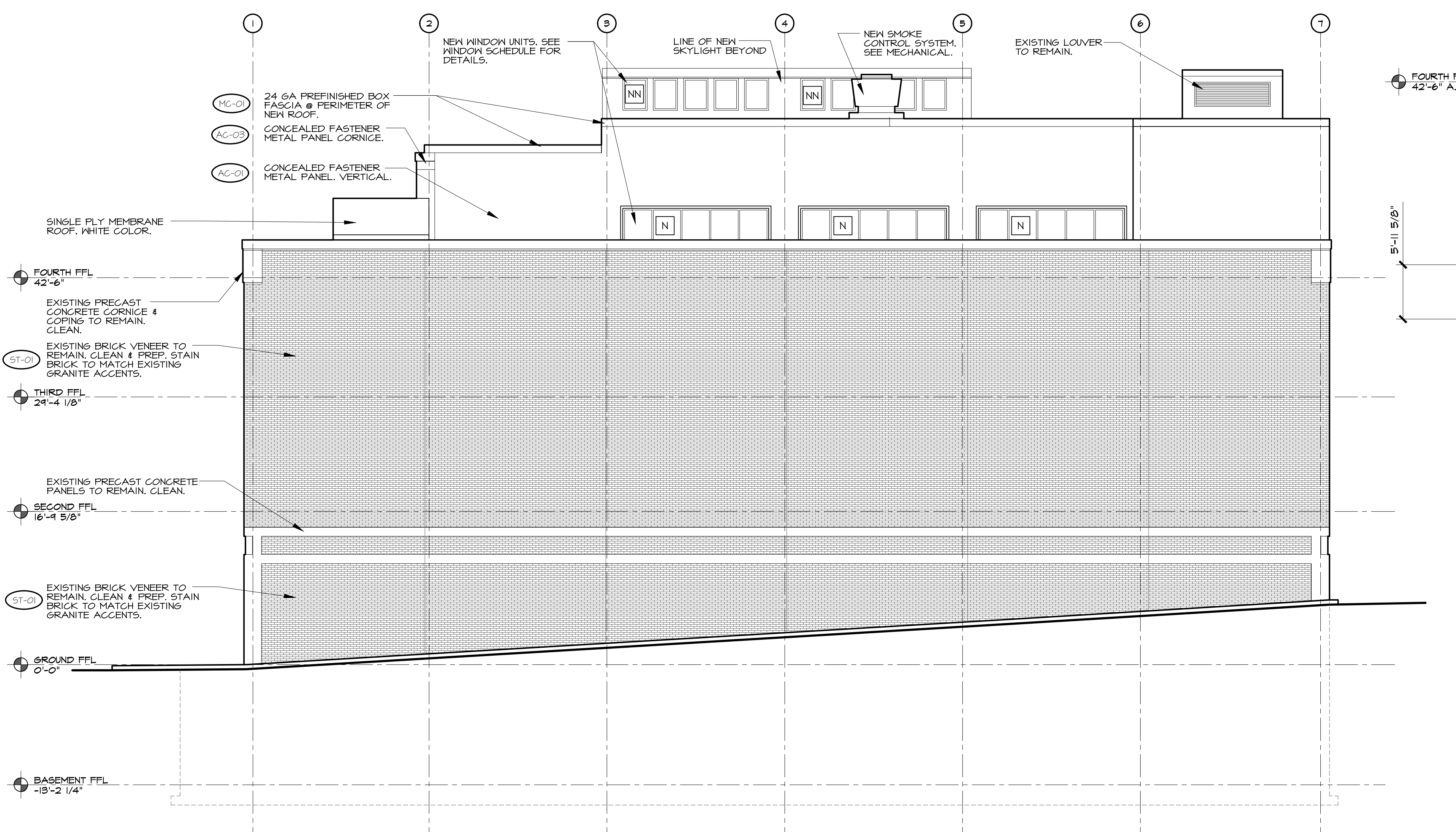
NOTE:
 GENERAL CONTRACTOR TO PROVIDE A SAMPLE PANEL FOR BRAKE MTL. METAL PANELS, STOREFRONT AND ROOF PAVERS FOR APPROVAL BY OWNER/ARCHITECT.

GENERAL ELEVATION NOTES:
 1. ALL EXPOSED TUBE STEEL BASES, COLUMNS, BOLLARDS, RAILINGS, BRICK ANGLE SUPPORTS, ETC. TO BE PAINTED W/ TENEK FLUORONAR STEEL PAINT OR EQUIVALENT. APPLY PER MANUFACTURER'S INSTRUCTIONS.
 2. OVERHEAD DOOR GUIDES IN SEATING AREA SHOULD BE MOUNTED HIGH ENOUGH TO AVOID BEING SEEN THROUGH WINDOWS FROM OUTSIDE.

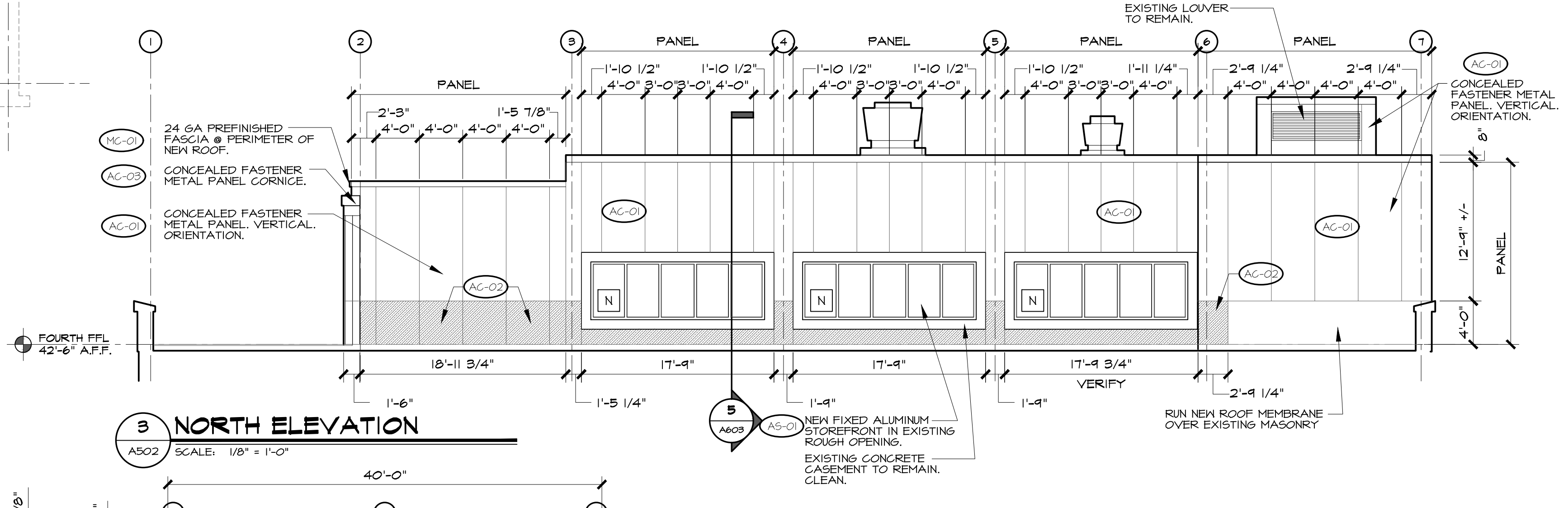
GENERAL SEALANT NOTES:
 1. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL CONTROL JOINTS IN MASONRY WALLS, TYPICAL DOWNGORNING # 110.
 2. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL JUNCTURES BETWEEN DISSIMILAR MATERIALS, IE BRICK TO EIFS, DOWNGORNING # 110.
 3. PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL CONTROL JOINTS IN EIFS, TYPICAL DOW # 110.
 4. PROVIDE CLOSURE END CAPS AND 90 DEGREE TRANSITIONS AT ALL EXPANSION JOINTS AND END WALL CAPS AT GRAVEL STOPS, TYPICAL.
 5. PROVIDE SEALED SHEET METAL HOOD OVER PIPE PENETRATIONS THROUGH ROOF PITCH PANEL 6" MIN. AWAY FROM ROOF TOP H/VAC UNITS TYPICAL. COORDINATE CUT IN CURB ROOFING CONTRACTOR.
 6. SEAL ALL METAL TO METAL CONNECTIONS WITH DOWNGORNING # 115 (NOTE: NO CLEAR SILICONE SEALANT SHALL BE ALLOWED) SEAL ALL METAL COPING STANDING SEAM JOINTS WITH DOWNGORNING # 115 TYP.



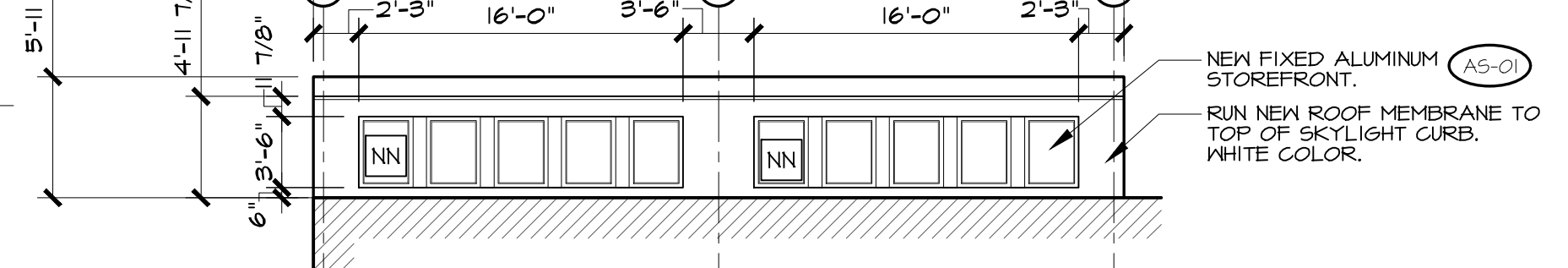
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 AS02 SCALE: 1/8" = 1'-0"



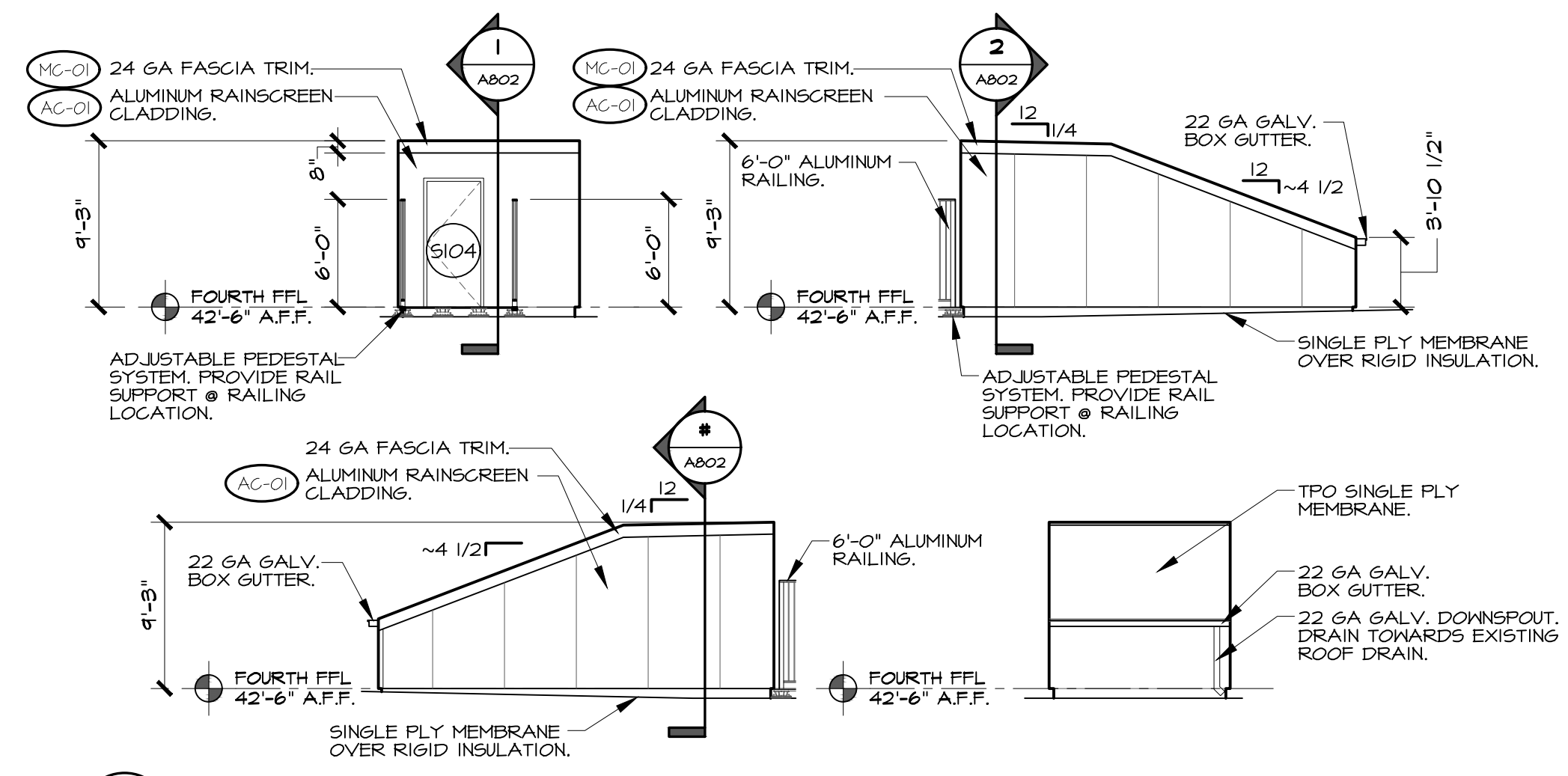
2 NORTH ELEVATION @ PARKING LOT
 AS02 SCALE: 1/8" = 1'-0"



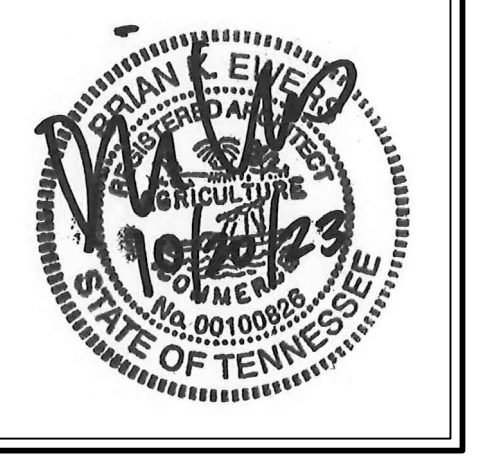
3 NORTH ELEVATION
 AS02 SCALE: 1/8" = 1'-0"



4 SKYLIGHT NORTH ELEVATION
 AS02 SCALE: 1/8" = 1'-0"



5 EGRESS STAIR ENCLOSURE ELEVATIONS
 AS02 SCALE: 1/8" = 1'-0"



NO.	REVISIONS

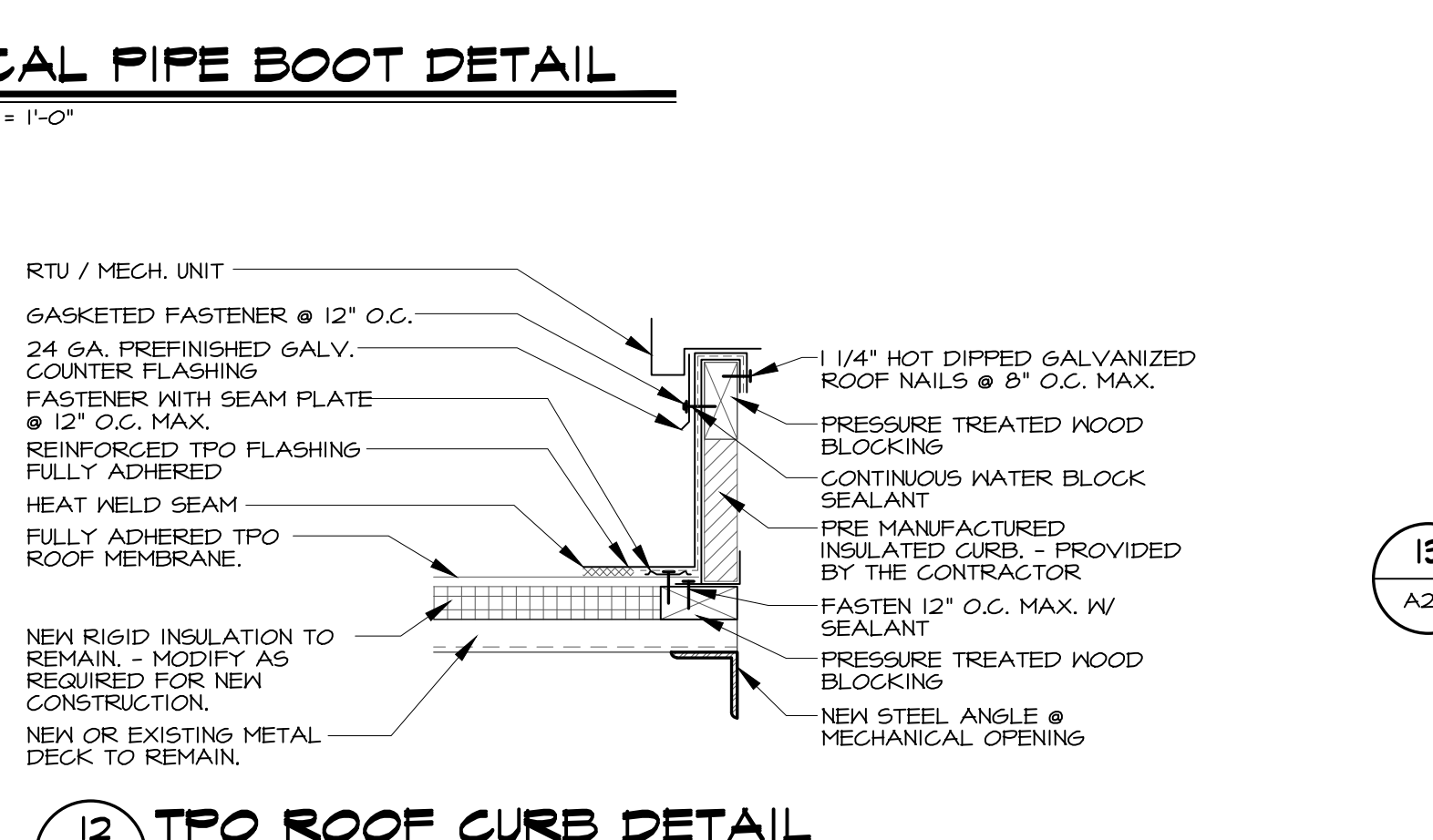
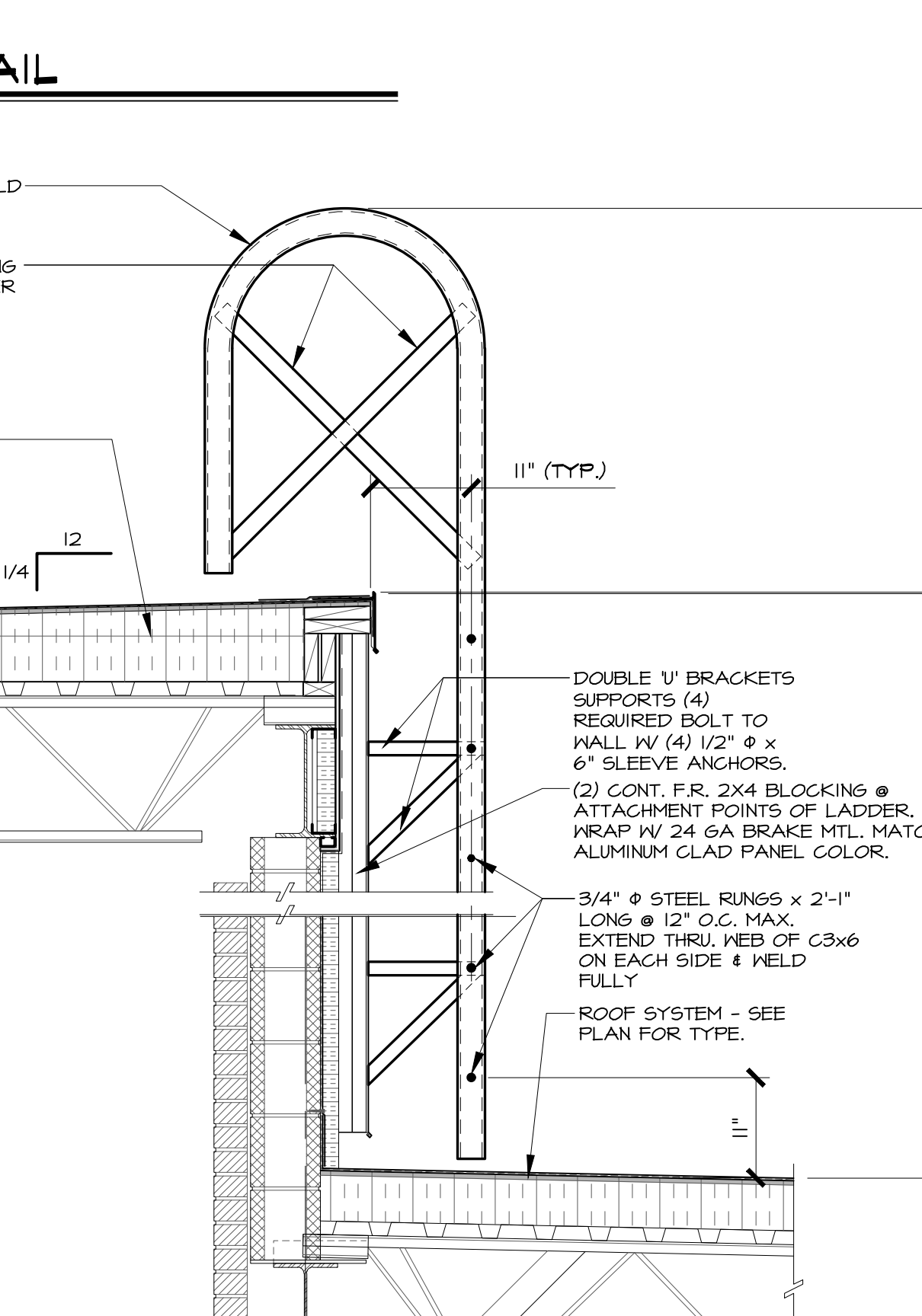
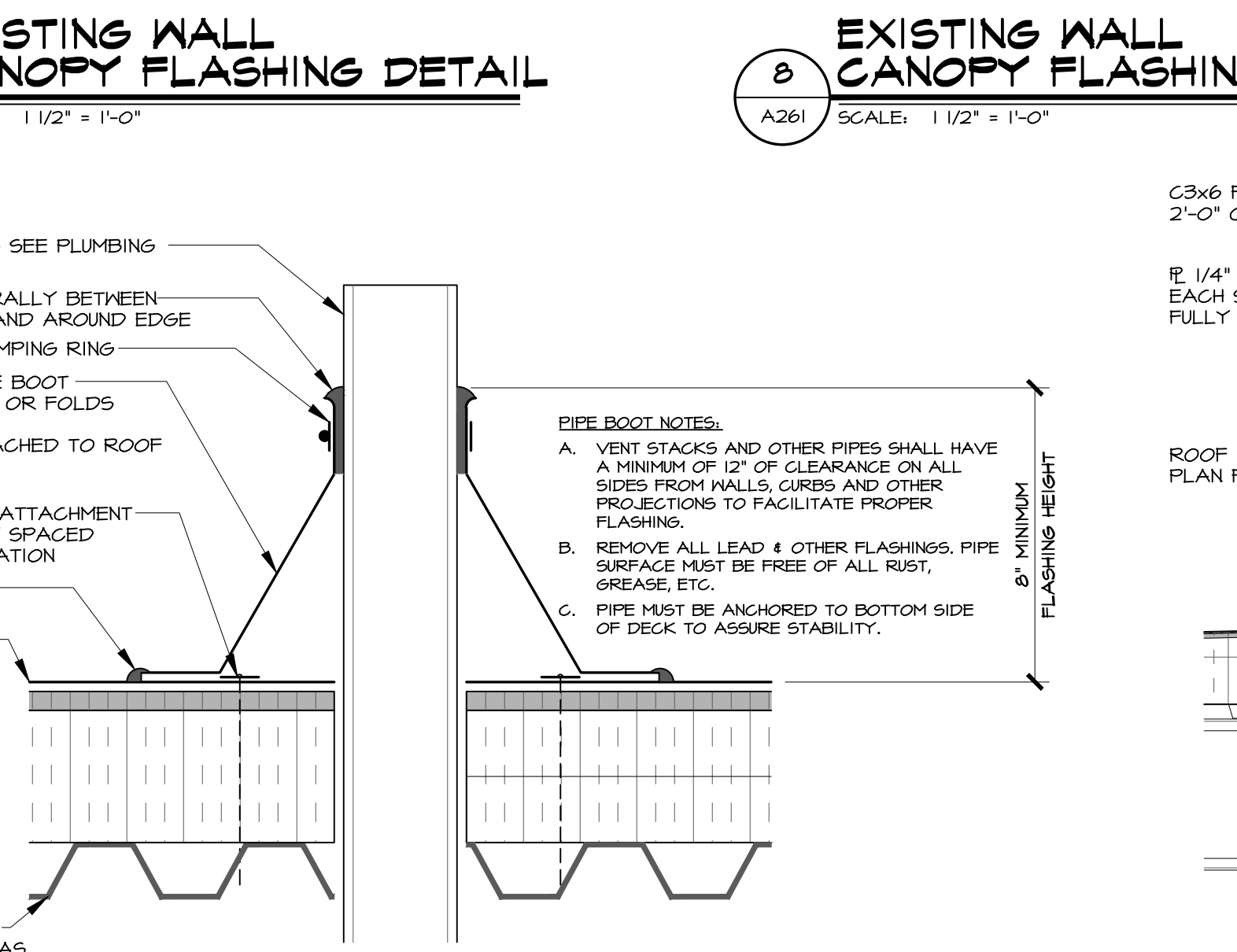
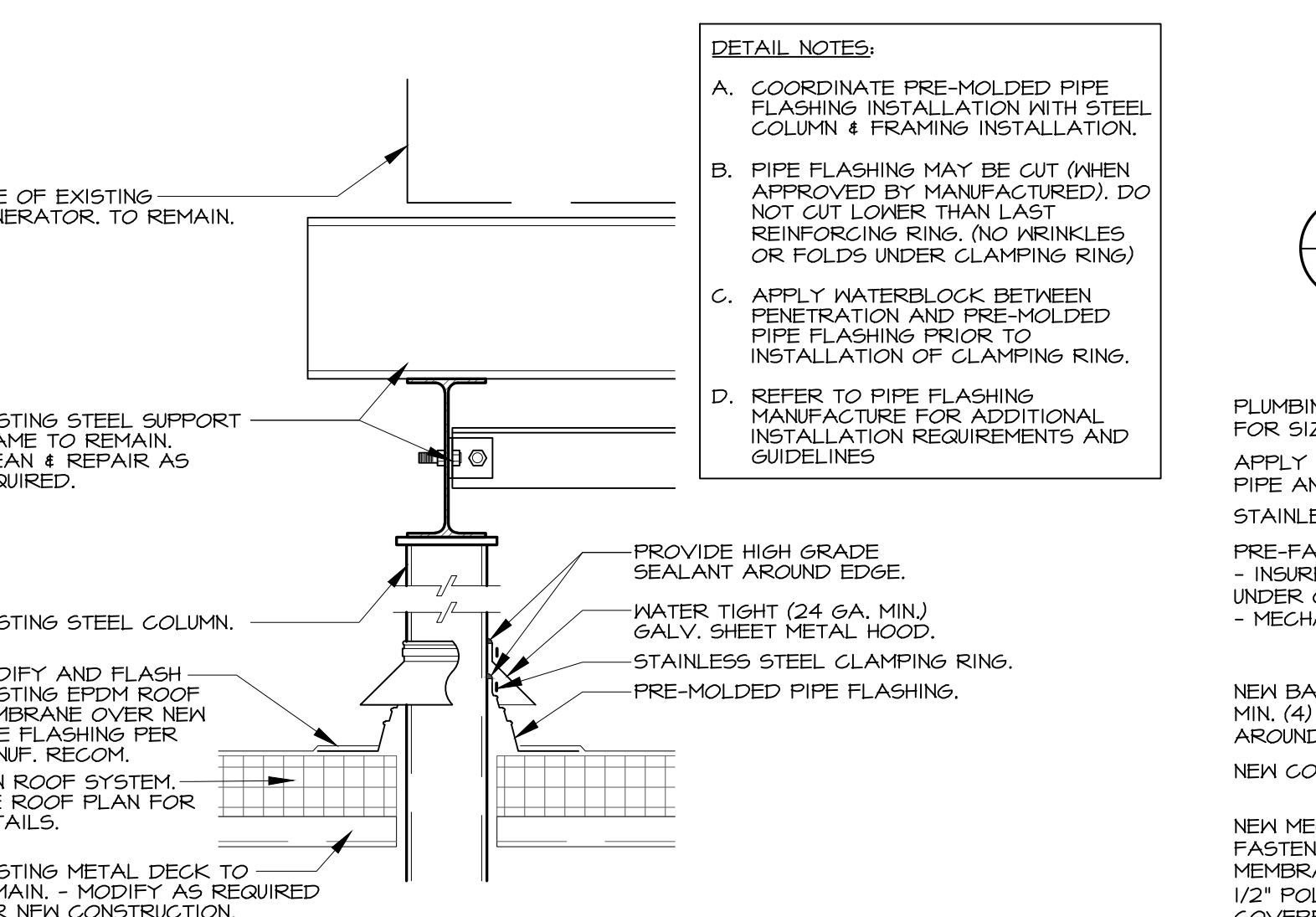
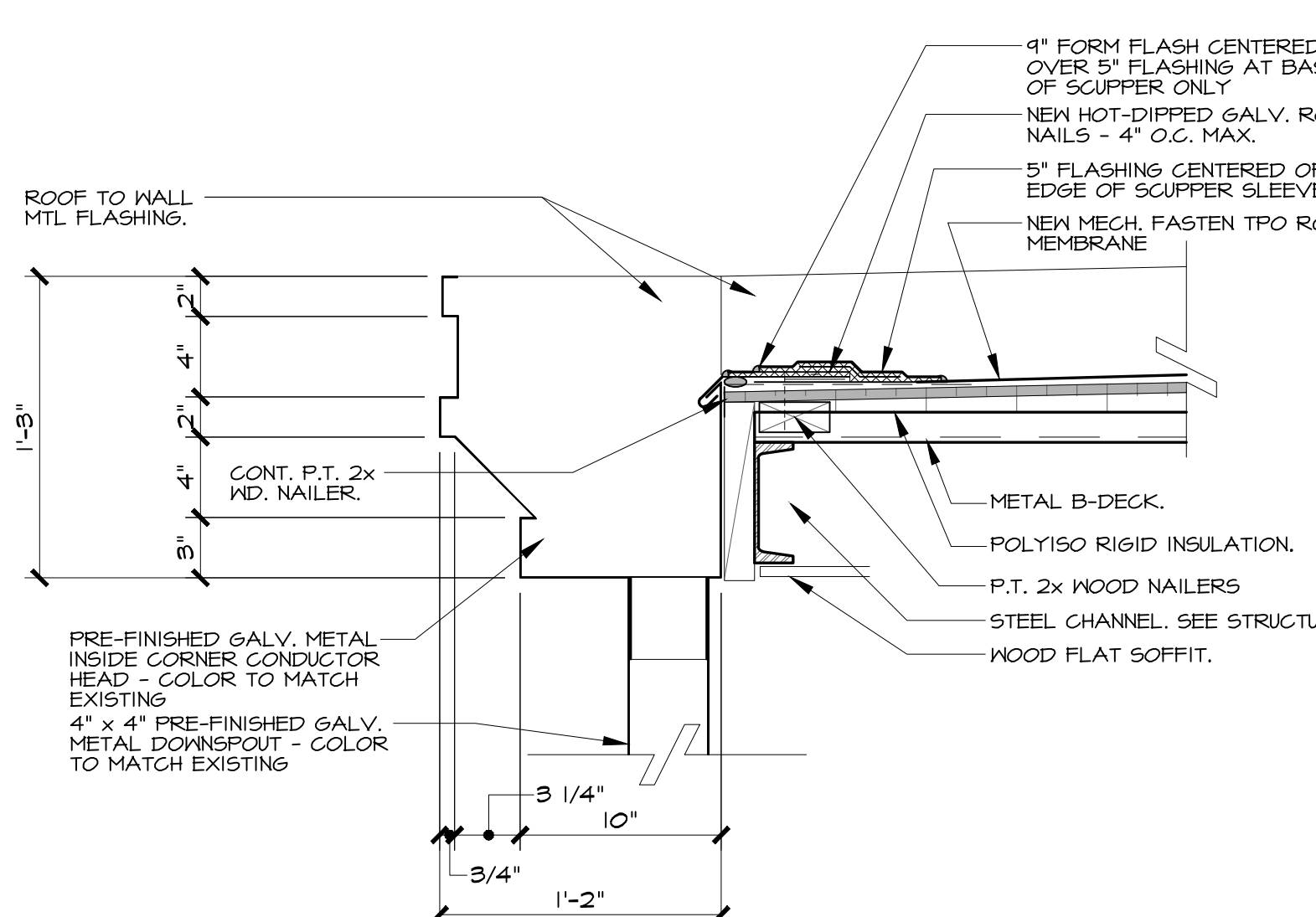
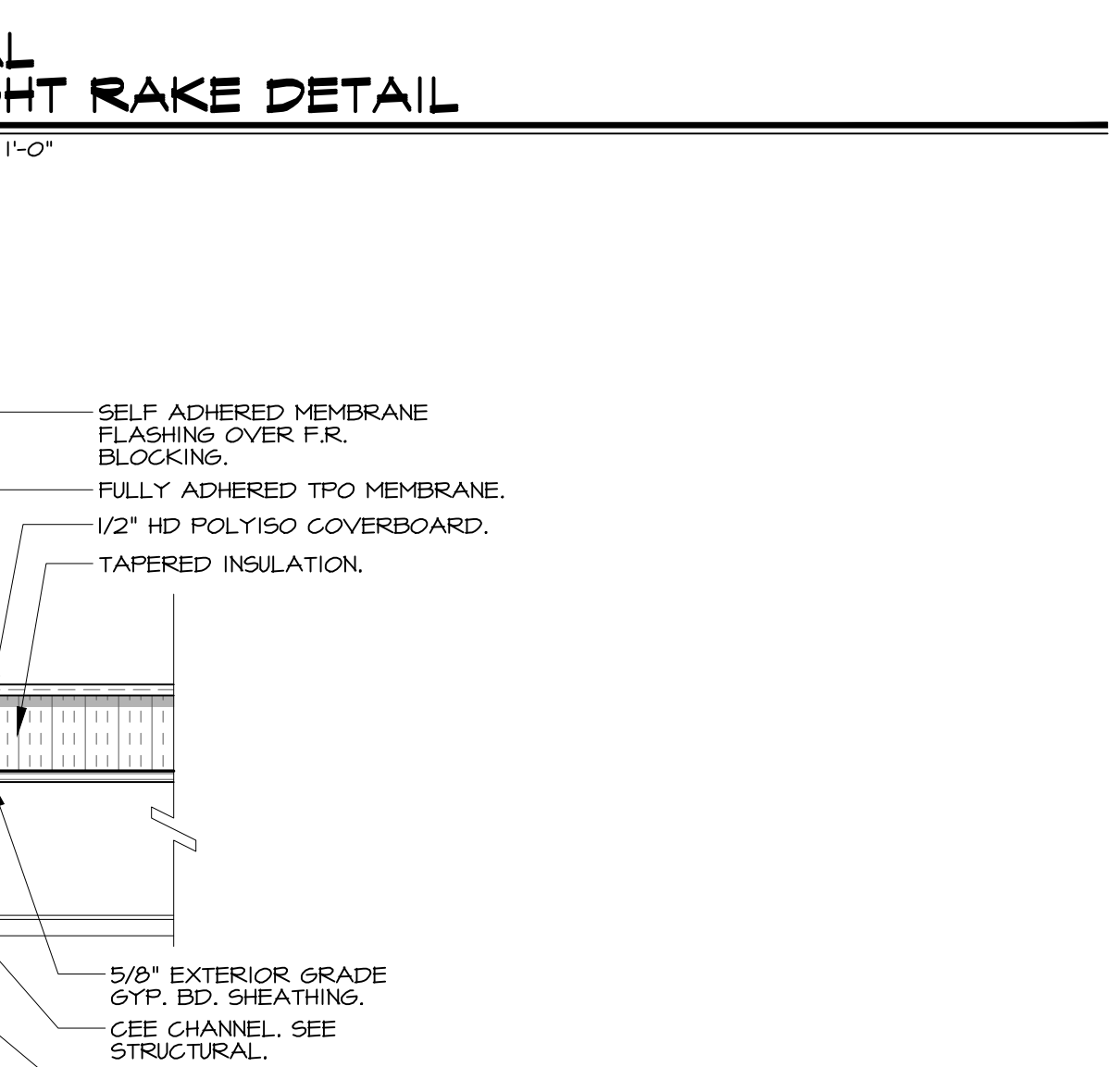
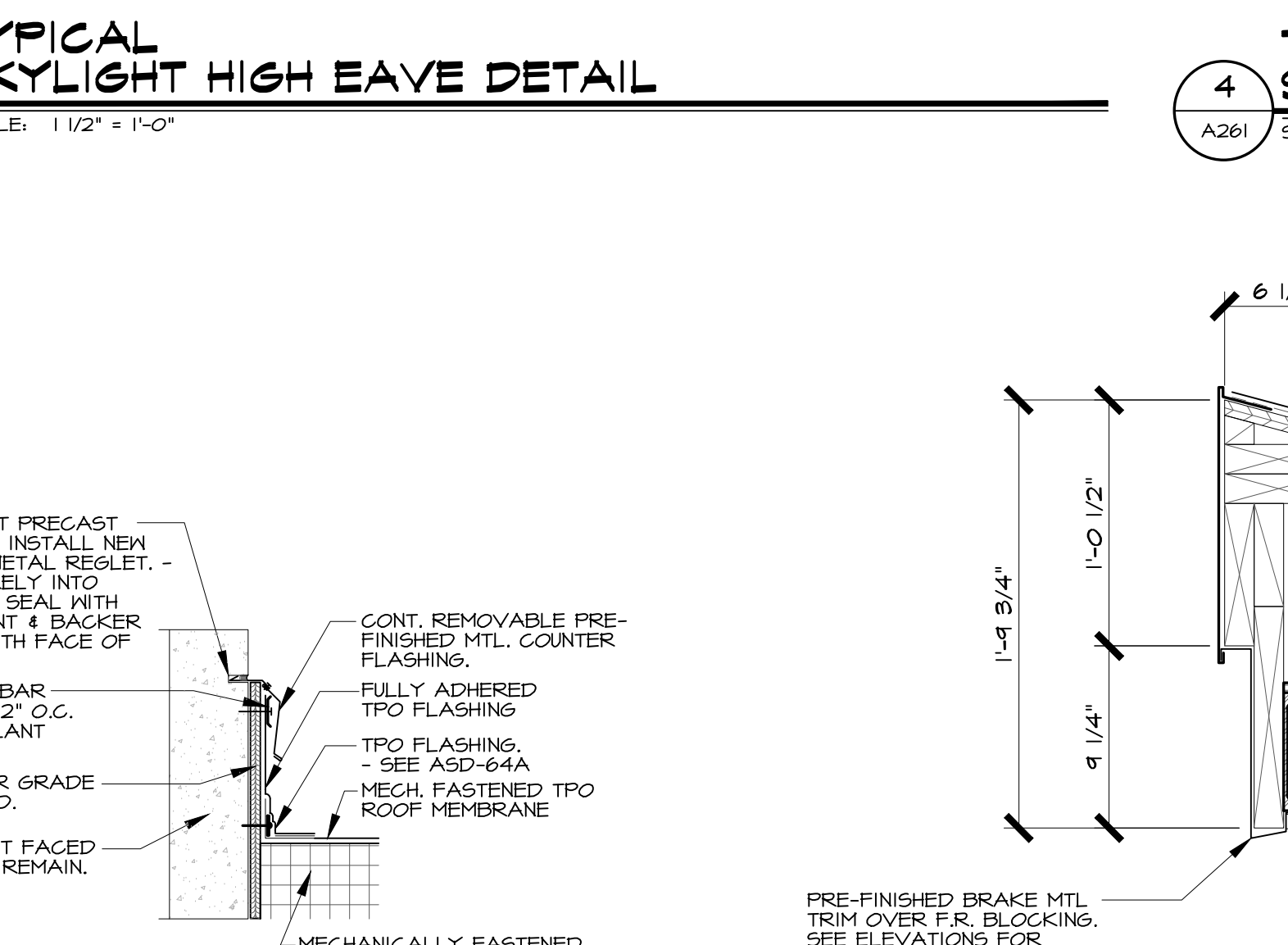
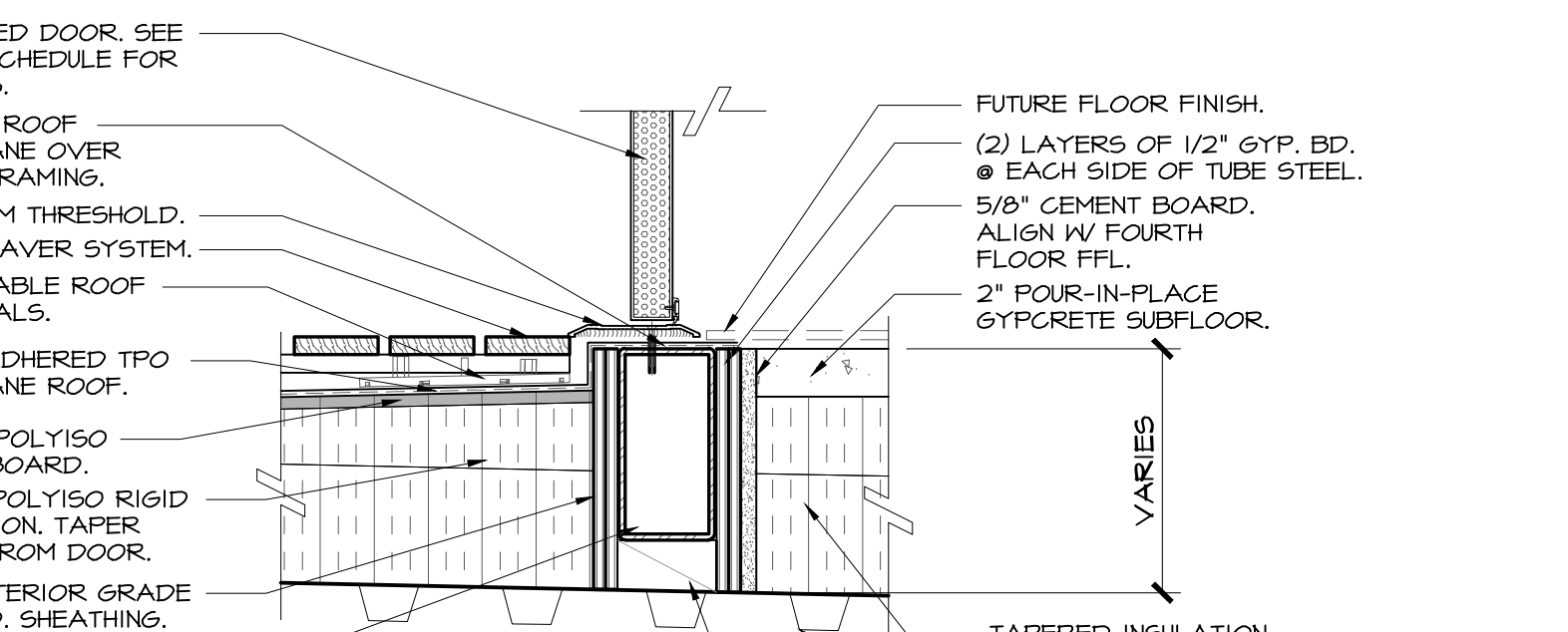
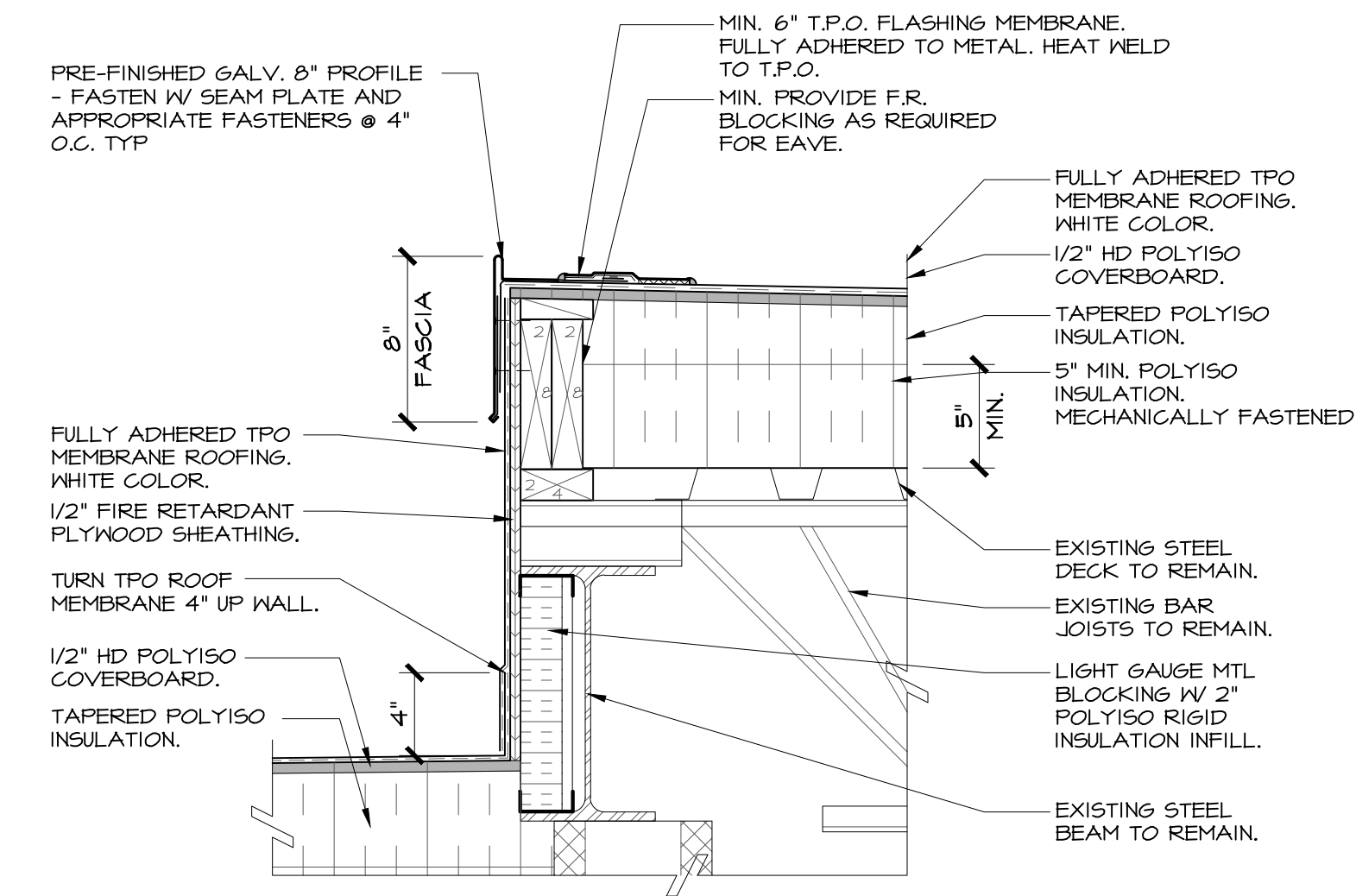
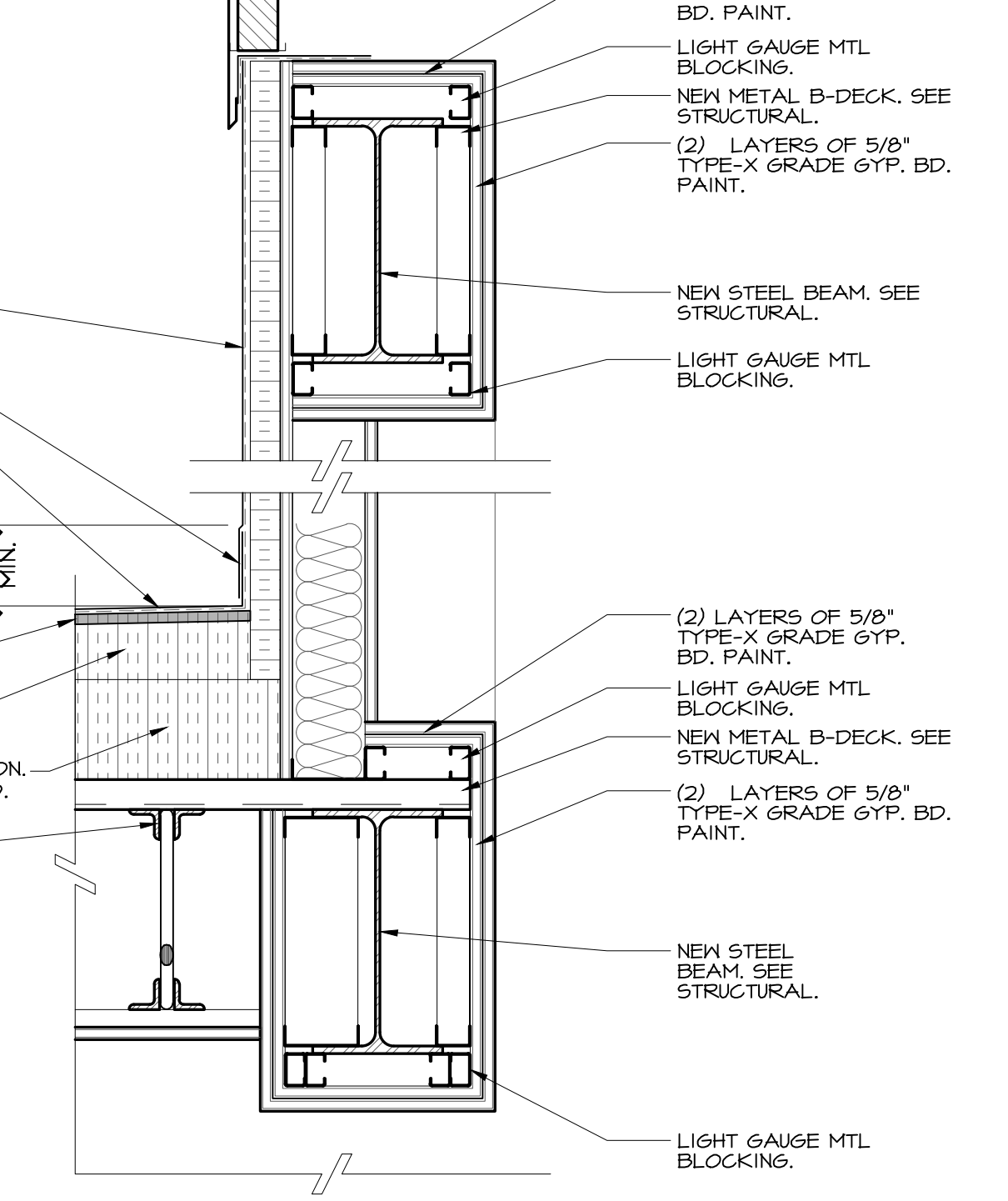
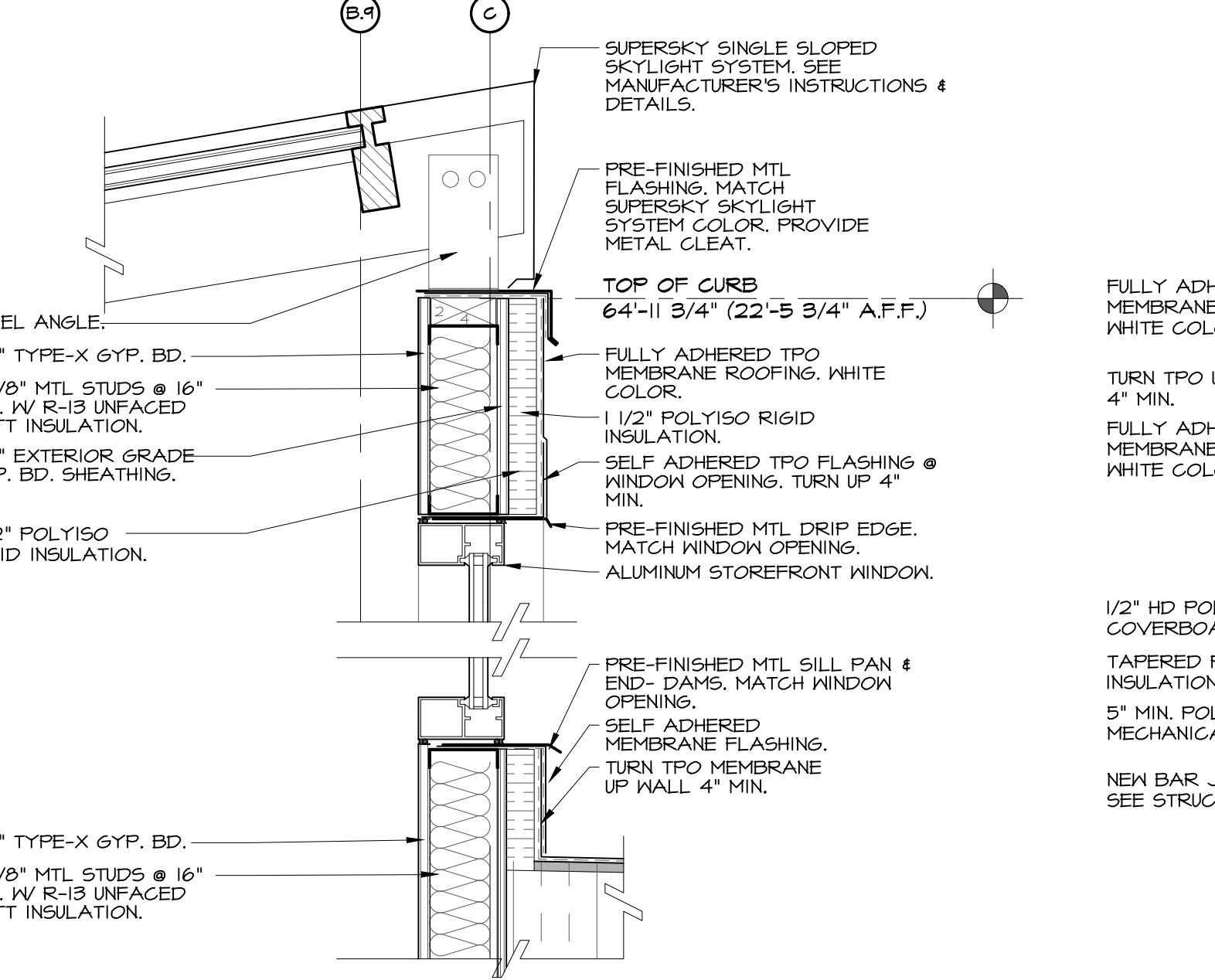
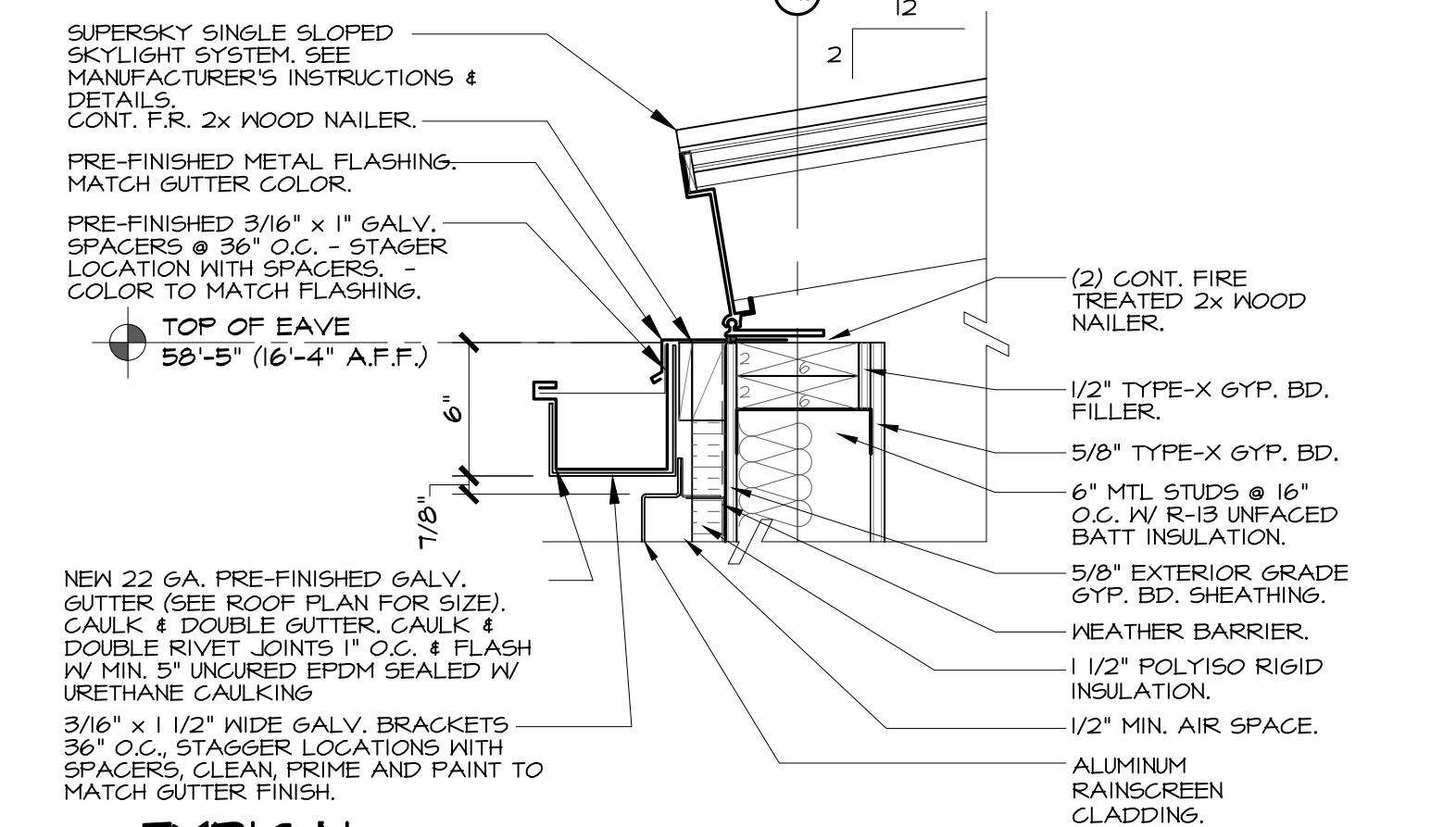
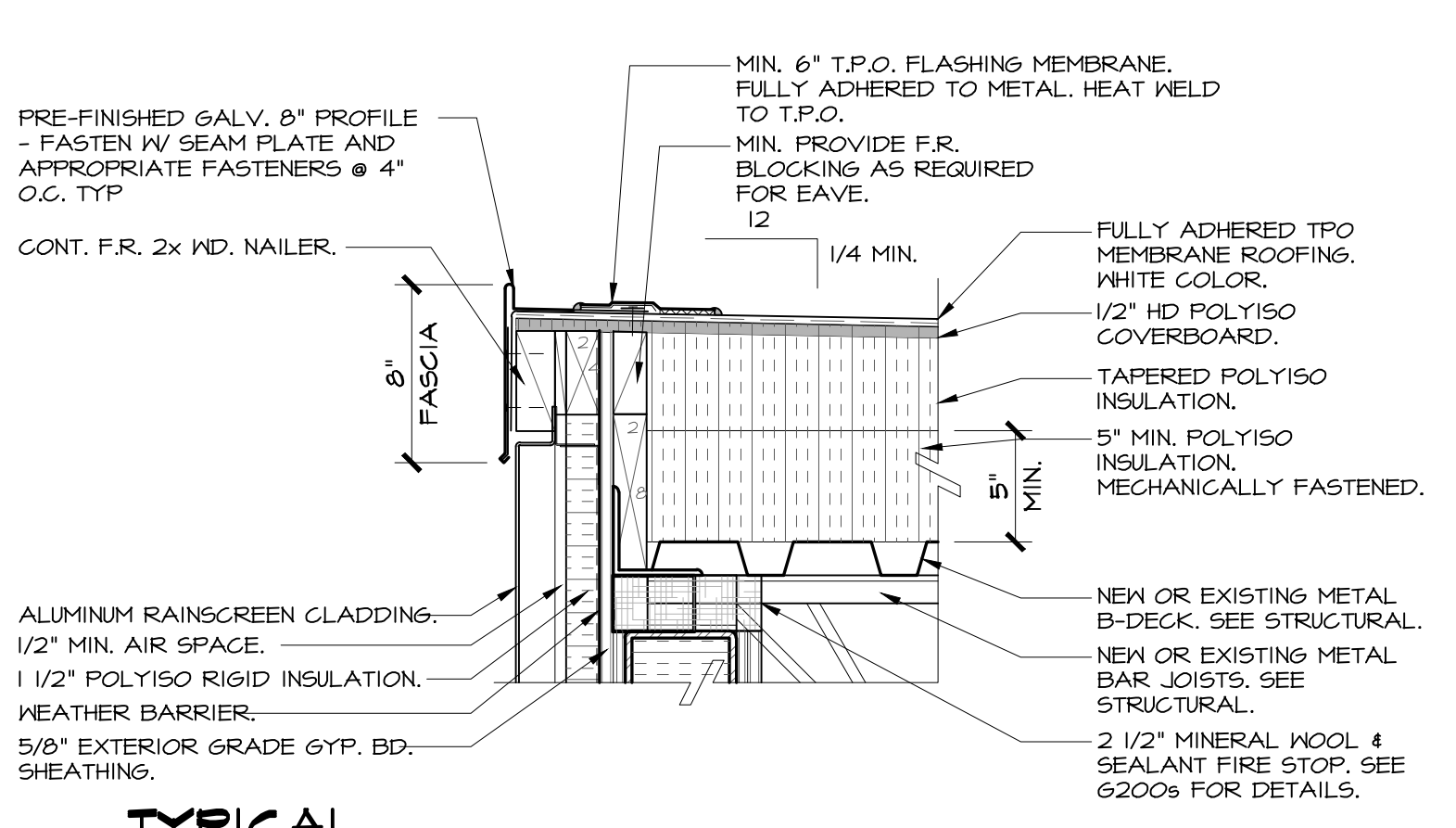
NO.	REVISIONS

A Building Renovation for:
SKY-LITE HOTEL
 319 SOUTH GAY STREET, KNOXVILLE, TN 37902
ROOF DETAILS

ISSUE DATE:
 OCTOBER 20, 2023
 PROJECT NO.:
 221233
 SHEET NUMBER:
A261

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DETAIL NOTES:

- COORDINATE PRE-MOLDED PIPE FLASHING INSTALLATION WITH STEEL COLUMN & FRAMING INSTALLATION.
- PIPE FLASHING MAY BE CUT (WHEN APPROVED BY MANUFACTURER) DO NOT CUT LOWER THAN LAST REINFORCING RING (NO WRINKLES OR FOLDS UNDER CLAMPING RINGS)
- APPLY WATERBLOCK BETWEEN PENETRATION AND PRE-MOLDED PIPE FLASHING PRIOR TO INSTALLATION OF CLAMPING RING.
- REFER TO PIPE FLASHING MANUFACTURER FOR ADDITIONAL INSTALLATION REQUIREMENTS AND GUIDELINES

DETAIL NOTES:

- REFER TO ROOF MANUFACTURE FOR INSTALLATION GUIDELINES AND PROCEDURES. INSTALLER TO INSURE AT ALL ROOFING IS PROPERLY INSTALLED PER MANUF. GUIDELINES. FRAILER TO DO SO MAY RESULT IN LOSS OF ROOF WARRANTY. LOSE OR FRAILER TO ACQUIRER WARRANTY WILL NEED TO BE MITIGATED BY THE INSTALLER WHICH MAY RESULT IN ADDITIONAL FEES AND CONSTRUCTION COST AT INSTALLERS EXPENSE. REINFORCING ADHESIVE REQUIRED BETWEEN MEMBRANE AND INSULATION FOR FULLY ADHERED SYSTEMS.
- WHEN REINFORCEMENT OF TOP MEMBRANE IS EXPOSED, REFER TO MANUFACTURE FOR HOW TO TREAT EXPOSED EDGES.
- INSTALL ALL METAL WORK IN ACCORDANCE WITH CURRENT SMAGNA RECOMMENDATIONS.
- ALL WOOD TO BE EXTERIOR GRADE PRESSURE TREATED.
- WOOD BLOCKING MAY BE USED BELOW CURB FLANGE (TO MATCH INSULATION THICKNESS) CAN BE SUBSTITUTED FOR STRUCTURAL CURB ATTACHMENT.

RTU / MECH. UNIT

- GASKETED FASTENER @ 12" O.C.
- 24 GA. PRE-FINISHED GALV. COUNTER FLASHING
- FASTENER WITH SEAM PLATE @ 12" O.C. MAX.
- REINFORCED TPO FLASHING FULLY ADHERED
- HEAT WELDED SEAM
- FULLY ADHERED TPO ROOF MEMBRANE
- NEW RIGID INSULATION TO REMAIN - MODIFY AS REQUIRED FOR NEW CONSTRUCTION
- NEW OR EXISTING METAL DECK TO REMAIN.
- 1 1/4" HOT DIPPED GALVANIZED ROOF NAILS @ 8" O.C. MAX.
- PRESSURE TREATED WOOD BLOCKING
- CONTINUOUS WATER BLOCK SEALANT
- PRE MANUFACTURED INSULATED CURB - PROVIDED BY THE CONTRACTOR
- FASTEN 12" O.C. MAX. W/ SEALANT
- PRESSURE TREATED WOOD BLOCKING
- NEW STEEL ANGLE @ MECHANICAL OPENING