

Meeting: 6/20/2024
Applicant: Bayron Ponce
Owner: M Scott Shadowens Properties LLC

Property Information

Location: 721 Oglewood Ave. **Parcel ID** 81 F C 02101
Zoning: RN-2 (Single-Family Residential Neighborhood)
District: Oakwood/Lincoln Park Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary structure fronting Oglewood Avenue. One-and-one-half-story residence features a front-gable roof with a side-gable massing projecting to the right side, an exterior of horizontal lap siding, and a stucco-clad foundation. The building measures 30' wide by 54' deep, with a 10' deep, full-length front porch recessed under the primary roofline. The building is proposed to be set 30.02' from the front property line. Parking is located to the rear and accessed from the alley.

The façade (southeast) is three bays wide, featuring paired double-hung windows flanking a centered door. The right side elevation features a gable-roof massing with an upper-level double-hung window, one transom window, one pair of windows, and two windows detailed as "optional." The left side elevation features five bays of double-hung windows. A secondary door accesses a deck on the rear elevation.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.

- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house.

Comments

1. The house is proposed to be set 30.02' from the front property line. The average of the blockface is 33.5', with the adjacent houses at 30' and 37'. The proposed front setback will be consistent with the block. The final site plan should include a walkway from the front door to the sidewalk.
2. The block to receive new construction is characterized by Minimal Traditionals and infill construction. The proposed 1.5-story, three-bay house is proportional to the dimensions of the lot and the context of the block.
3. The proposed parking meets the Infill Housing design guidelines as it is located to the rear of the property and accessed from the alley. Final site plans will be necessary to meet City Engineering standards.
4. Overall, the three-bay façade is similar in scale and width to the context. The drawings depict a foundation height comparable to other houses on the block.
5. The full-length, 10'-deep front porch meets the design guidelines. The depicted porch details such as paired 8" square columns with bases and square capitals should be retained in final construction.
6. Guidelines recommend that windows and door styles are similar to historic houses on the block, with similar proportions and positions, and similar ratio of solid to void. Overall, the windows on all elevations meet the design guidelines; the "optional" windows on the right side elevation should be included to avoid large swaths of siding with no transparency.
7. The proposed 8/12 pitch roof is compatible with the broader neighborhood context and the materials meet the design guidelines.
8. The application does not specify the proposed siding material but shows horizontal lap siding. Siding should be horizontal, clapboard-style lap siding with an overlap instead of Dutch lap siding or flush panel siding. Guidelines generally recommend using materials compatible with the historic context; historic exterior chimneys were not clad in lap siding. The chimney should be clad in brick veneer or omitted.
9. The final site plan should include native or naturalized shade trees in the front and rear yards to meet the design guidelines.

Recommendation

Staff recommends approval of Certificate 6-E-24-IH, subject to the following conditions:

- 1) Final site plan to meet City Engineering standards;
- 2) Final site plan to include a walkway from the door to the sidewalk and one tree each in the front and rear yards;
- 3) Exterior chimney to be clad in brick or omitted.



**INFILL
HOUSING
REVIEW
BOARD**

6-E-24-IH
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

721 Oglewood Ave.

Oakwood/Lincoln Park Infill Housing Overlay District

Original Print Date: 6/6/2024

Revised:

Knoxville/Knox County Planning - Infill Housing Design Review Committee

Applicant: Bayron Ponce

0 250
Feet



DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☐ HISTORIC ZONING (H)
☒ INFILL HOUSING (IH)

BAYMON PONCE

Applicant

5.31.24

June 20, 2024

6-E-24-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☒ Owner ☐ Contractor ☐ Engineer ☐ Architect/Landscape Architect

BAYMON PONCE

Name

Company

721 Oste wood Ave

Knoxville

TN

37917

Address

City

State

Zip

865-765-9613

bponce101@hotmail.com

Phone

Email

CURRENT PROPERTY INFO

BAYMON PONCE

Owner Name (if different from applicant)

10654 trulock ln

Owner Address

Owner Phone

721 Oste wood Ave

Property Address

081FC02101

Parcel ID

Neighborhood

infill residential

Zoning

AUTHORIZATION

Lindsay Crockett

Staff Signature

Lindsay Crockett

Please Print

5.31.24

Date

BAYMON PONCE

Applicant Signature

BAYMON PONCE

Please Print

5.31.24

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☐ Brief description of work: _____

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☒ New primary structure

- ☒ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

250.00

FEE 2:

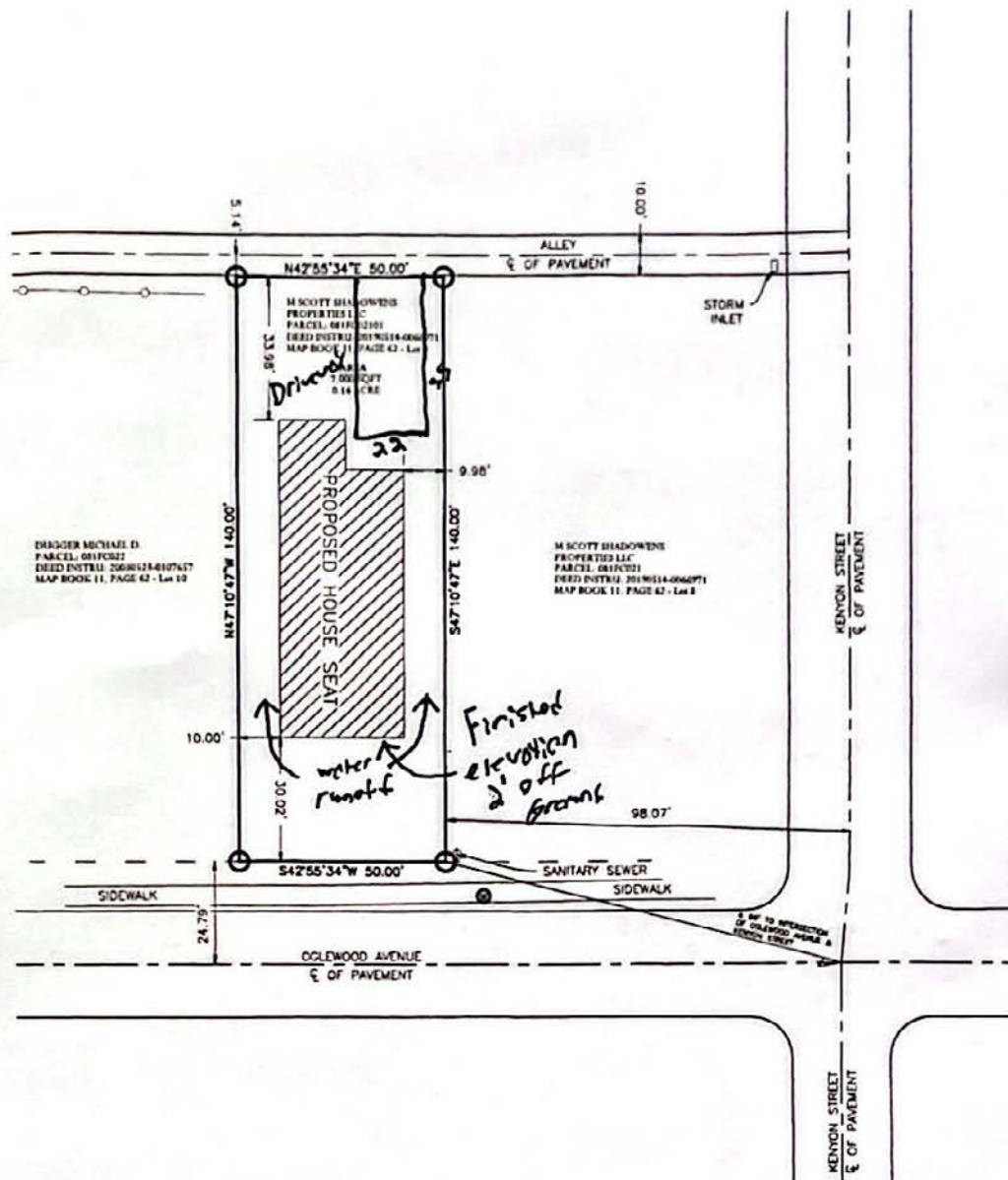
FEE 3:

TOTAL:

250.00



Finished Floor Elevation 1 foot from ground at front face of house.
Driveway will be concrete 11 feet in length 22 feet wide located
off alley equal to house set to back deck. (See Plan)
House placed on hill, water will drain off and around both sides
of house of house



VICINITY MAP

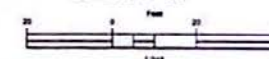
SITE PLAN & BOUNDARY SURVEY BEING ALL OF LOT 9 IN BLOCK 46 OF SCOTT'S OAKHILL ADDITION TO KNOXVILLE-TENN

DEED INSTRUMENT 20190514-0066971
MAP BOOK 11, PAGE 62
PARCEL ID. 081FC02101

SECOND CIVIL DISTRICT
CITY WARD 17, CITY BLOCK 17422
KNOX COUNTY
31 AUGUST 2023

- | | |
|---------------------|-----------------------|
| ● MONUMENTS (FOUND) | — BOUNDARY LINE |
| ○ MONUMENTS (SET) | — ADJOINING LOT LINES |
| — UTILITY POLE | — CENTER LINE ROAD |
| — WATER METER | — CHAINLINE PLAT |
| ● MISC. POINT | |
| □ BUILDING | |

SCALE: 1"=20'



Notes:

- Property Address: 0 Oglewood Ave Knoxville, TN 37917
- Zone: 20-2
- Setback per required zoning
- Total Area: 31.162 Sq Ft / 0.72 Acres into 2 lots
- Zone "X" per FEMA Map 47093C02810, effective date: 8/05/2013
- This survey was done in accordance to the State of Tennessee Minimum Standards of Practice
- All set pins consist of 1" rebar.

OWNER
M. Scott Shadowens Properties LLC
9805 Chesney Hill Lane
Knoxville, TN 37931

LAND SURVEYOR
John Scott Stanley
619 Glen Willow Drive
Knoxville TN, 37934
(865) 675-0175

PROJECT NUMBER: 20230721 REV: - BY: Carol Miller
FILE NAME: 20230721.dwg DATE: Friday, September 15, 2023



Certificate of Survey Accuracy

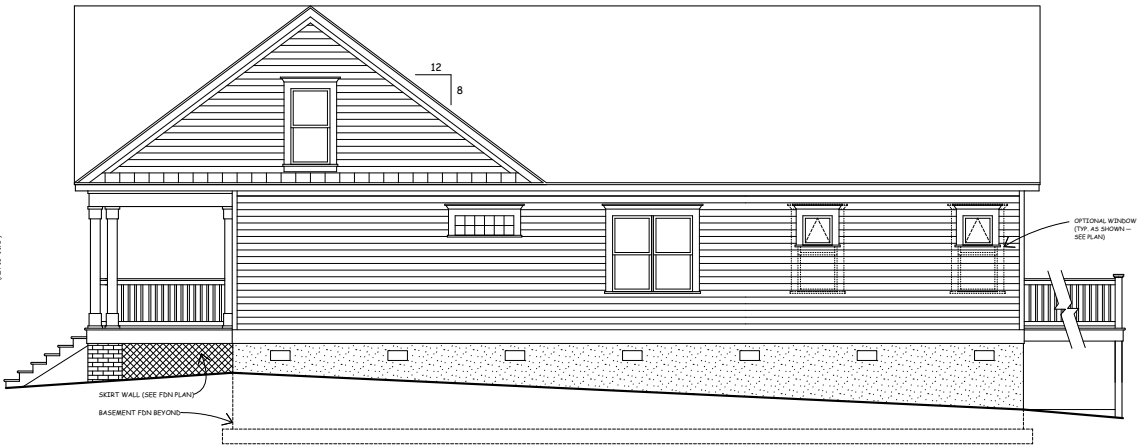
I hereby certify that to the best of my knowledge and belief this is a true and accurate survey of the property shown herein, that this is a Class I Boundary Land Survey as defined in Title 62, Chapter 18, Tennessee Code Annotated, and that the ratios of precision in ground survey are equal to 1:15,000.

Registered Land Surveyor
Tennessee License No. 2807 Date: 9/15/23

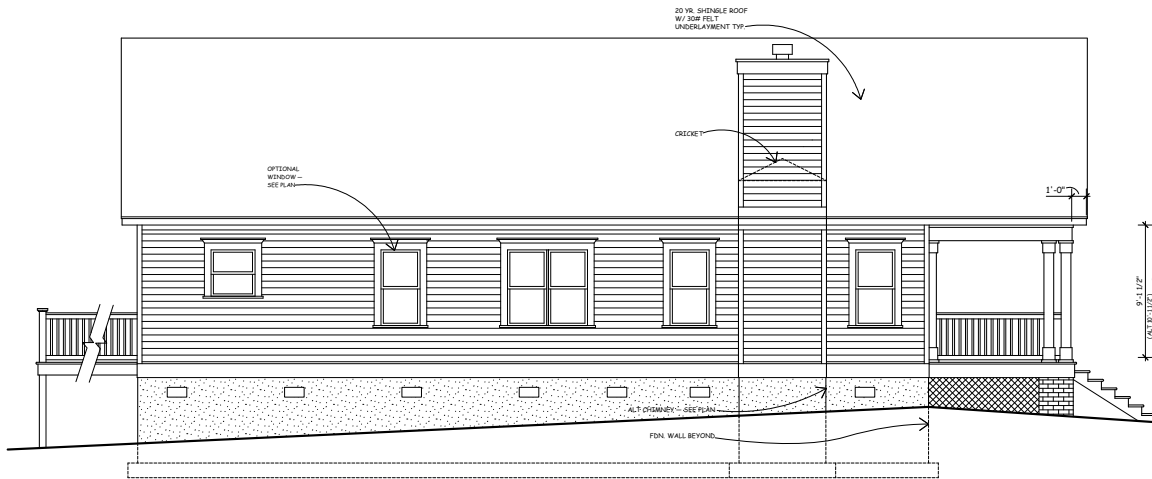
Copyright 2023



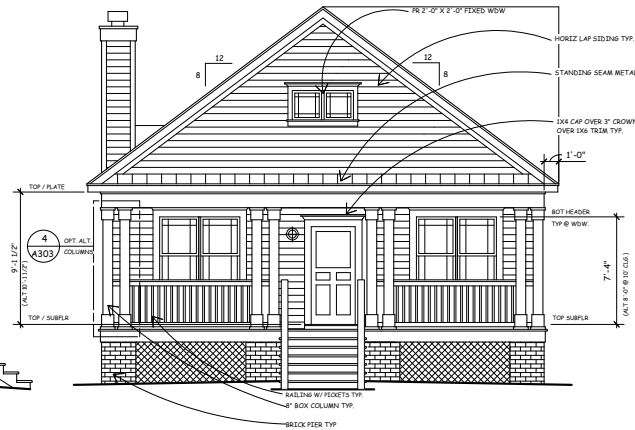
4 REAR ELEVATION
A200 1/4"=1'-0"



3 RIGHT ELEVATION
A200 1/4"=1'-0"



2 LEFT ELEVATION
A200 1/4"=1'-0"



1 FRONT ELEVATION
A200 1/4"=1'-0"

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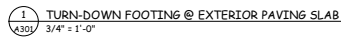
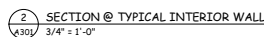
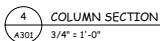
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Drawings:	Sheet Number
EXTERIOR ELEVATIONS	A200

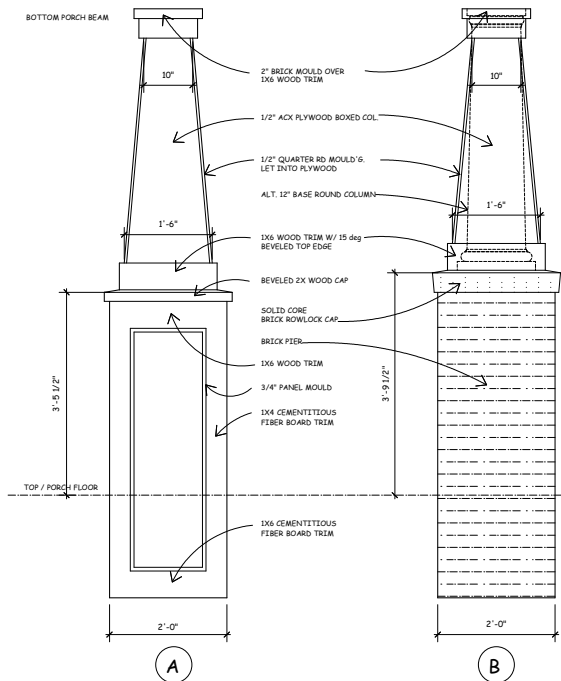


1 FLOOR PLAN
A100 1/4"=1'-0"

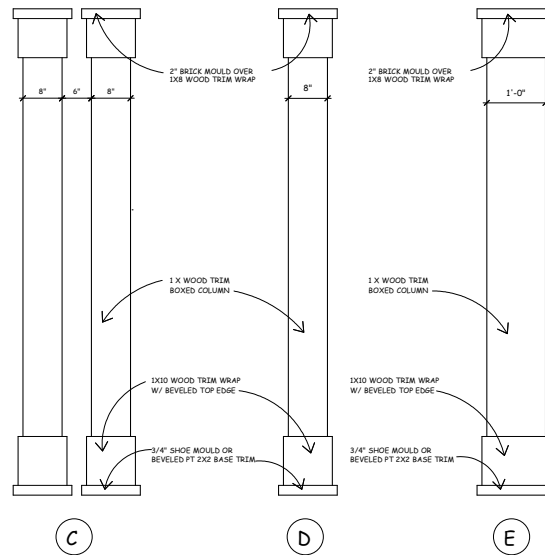
Drawings:	Sheet Number
PLANS	A100



Drawings:	Sheet Number
WALL SECTIONS	A301



1 TYPICAL COLUMN DETAILS
A303 3/8"-1'-0"



NOTE: FIELD COORDINATE ALL
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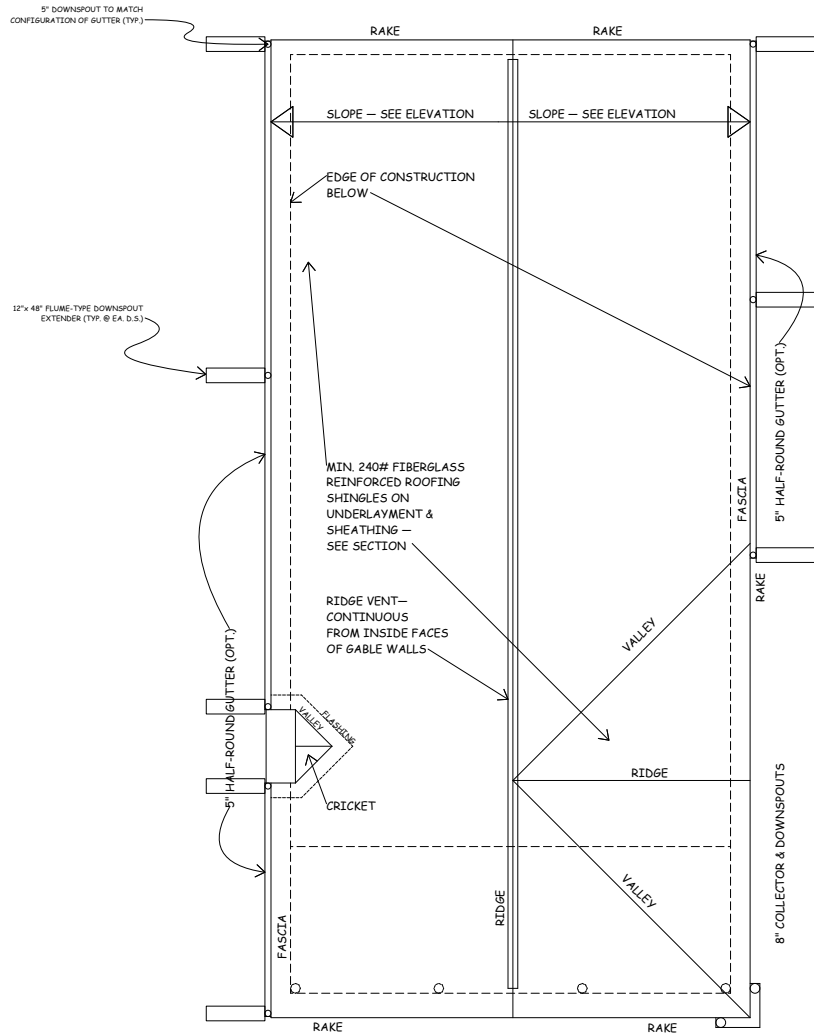
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Drawings:	Sheet Number
MILLWORK DETAILS	A303



1 ROOF PLAN
1/4" = 1'-0"

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[illegible]

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Drawings:	Sheet Number
DETAILS — TRIM	A600