



# Staff Report

Infill Housing Design Review Committee

File Number: 6-D-24-IH

**Meeting:** 6/20/2024  
**Applicant:** Forrest Kirkpatrick Fork Design LLC  
**Owner:** Fedrigon Smith Irrevocable Trust

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## Property Information

**Location:** 1800 St. Mary St. **Parcel ID** 81 E B 014  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**District:** Oakwood/Lincoln Park Infill Housing Overlay District

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## Description of Work

Level II Additions Visible from the Primary Street

New addition. One-story addition will measure 35'-4" wide by 21'-4" deep and project from the rear left (north) corner of the house. The addition will be set lower than the primary house and feature a flat TPO roof, an exterior of polished-face CMU, and a CMU foundation. The addition will feature a secondary entry on the northwest elevation and adjoining double-hung windows.

The project also includes the installation of a new driveway and a new parking pad.

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## Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

Additions

- In making an addition, exterior covering and roof materials, doors and windows should be selected that are like those original to the house.
- If replacement is necessary, new windows and doors should be in keeping with the style and openings of the original design.
- Additions should be made to the rear or side of the house. Taller additions should be made to the rear of the house to keep the original scale of the front façade consistent with other houses along the block.
- The roof line and roofing materials should complement the original house

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## Comments

1. Under the Infill Housing overlay, the DRB reviews additions visible from the primary street. The proposed addition would be minimally visible from St. Mary Street and E. Oak Hill Ave, based on the placement and the slope of the site.
2. The addition is proposed for the rear corner of the house, which meets the design guidelines for placement. The addition maintains the original scale of the front façade and the house remains consistent with the other houses on the block.
3. Guidelines recommend that rooflines and roof cladding complement the original house. The proposed addition

will feature a flat-roof to remain minimally visible; flat roofs are compatible with the original Ranch-form house.

4. Guidelines recommend that exterior cladding on additions be compatible with those on the original house. The application proposes a polished concrete block in a color comparable to the main house's red brick. While basic concrete block would not be supported by the design guidelines, the proposed material is a glossy, smooth-finished concrete block with a color that is compatible with a red brick.


5. Guidelines recommend that parking avoid front yards and parking pads be located behind the front façade of the house. The current parking is located in front of the house, and the proposed parking pads will be located to the sides of both the duplex addition and the existing house. Final site plan revisions may be necessary to meet City Engineering standards.

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## **Recommendation**

Staff recommends approval of Certificate 6-D-24-IH, subject to one condition: 1) final site plan to meet City Engineering standards.

Applicant: Forrest Kirkpatrick Fork Design LLC



A north arrow pointing upwards with the letter 'N' above it. Below the arrow is a horizontal scale bar with '0' at the left end and '250' at the right end. The word 'Feet' is centered below the scale bar.

(1) Download and fill out this form at your convenience. (2) Sign the application digitally (or print, sign, and scan). (3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices or email it to [applications@knoxplanning.org](mailto:applications@knoxplanning.org).

Reset Form



## DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
- ☐ HISTORIC ZONING (H)
- ☒ INFILL HOUSING (IH)

Forrest Kirkpatrick

Applicant

June 20, 2024

6-D-24-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Owner ☐ Contractor ☐ Engineer ☒ Architect/Landscape Architect

Forrest Kirkpatrick

Fork Design LLC

Name

Company

214 W Magnolia Ave

Knoxville

TN

37917

Address

City

State

Zip

865-603-4297

forrest@forkdesign.us

Phone

Email

## CURRENT PROPERTY INFO

Joan Fedrigan, Deborah Smith, Grant & Shellie Smith

1800 Saint Mary Street

(954) 732-7973

Owner Name (if different from applicant)

Owner Address

Owner Phone

1800 Saint Mary Street

081EB014

Property Address

Parcel ID

North Knoxville

RN-2 / IH

Neighborhood

Zoning

## AUTHORIZATION

Lindsay Crockett

Staff Signature

Lindsay Crockett

Please Print

5.31.24

Date

Forrest Kirkpatrick

Applicant Signature

Forrest Kirkpatrick

Please Print

2024.05.31

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs    ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure    ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HISTORIC ZONING

Level 1:

- ☐ Signs    ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials    ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure    ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities    ☐ Subdivisions

Level 2:

- ☒ Additions visible from the primary street    ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure  
☐ Site built    ☐ Modular    ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist  
☐ Historic Zoning Design Checklist  
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	TOTAL:  100.00
100.00	
FEE 2:	
FEE 3:	

## A Home Addition

For *Shellie Smith & Family*  
At *1800 Saint Mary Street*  
*Knoxville TN 37917*

### Synopsis

To add onto a 1949 1,300 sf brick home to provide separate and overlapping spaces for two families.

### Concept

Shadow Box

### Project Goals

- Create a home for two families
- Add a second living unit with bed, bath, and kitchen
- Consider fitness, leisure, outdoor lifestyle, and Aging-In-Place

Project Site



create@forkdesign.us

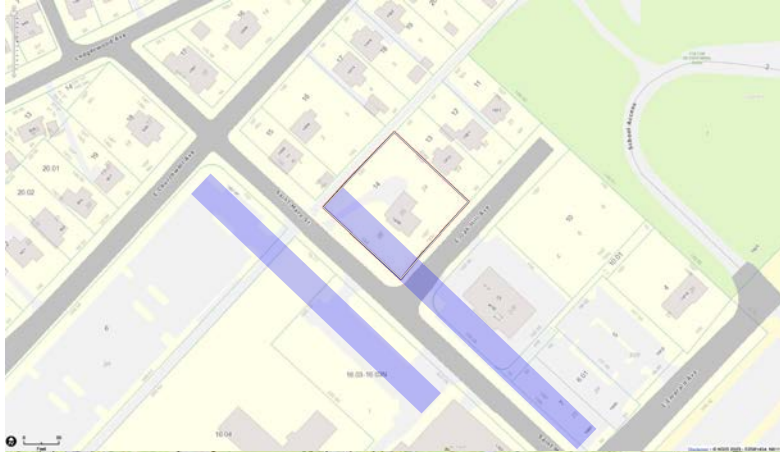
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DRB 00  
Cover Sheet

Shellie Smith & Family / Home Addition / 2024.06.11



Existing Patterns:  
Streetscape  
Parking Access



Standard Map

Challenges:  
Grade & Mobility



Topo Map

Unique Site:  
Zoning & Sector  
Conflicts



Zoning Map

Unique Site:  
Zoning & Sector  
Conflicts



Sector Plan

## HEART OF KNOXVILLE INFILL HOUSING DESIGN GUIDELINES

### 12. Small Lot 1930-1950 Era Houses

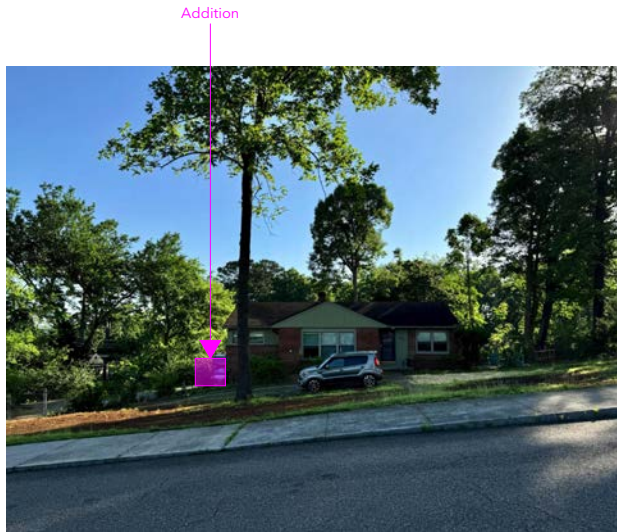
*During this era, housing patterns began to change. Lots were occasionally platted in the Heart of Knoxville that were wider and were not typically served by alleys. Architectural styles were changing, too, with Dutch Colonial Revival, Tudor Revival, Minimal Traditional, Colonial Revival, and Ranch styles being popular. Most of the guidelines on the previous pages are applicable to infill housing and house modifications in such areas. Additional considerations and exceptions that should be taken into account are outlined in this section.*

#### Infill Guidelines

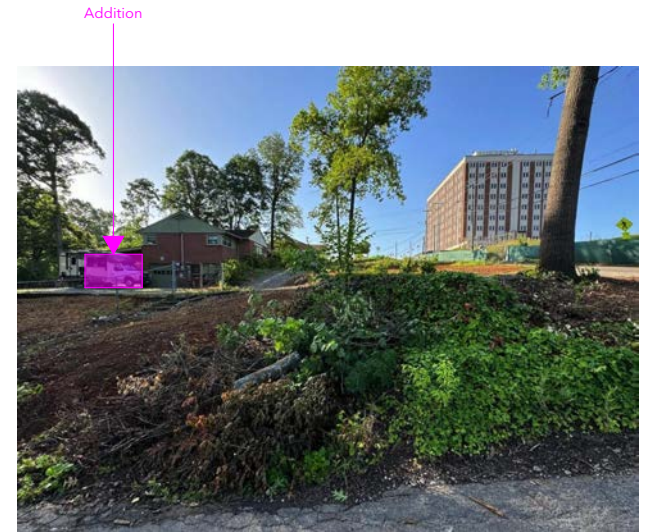
- **Off-Street Parking:** When developing new houses in areas that are not served by alleys, a side yard setback of at least 12 feet should be created on one side of the property to provide driveway access to the side or rear of the house. Minimum driveway width should be 8 feet with two feet of landscaped space to either side. In areas where topography or other conditions would not allow such space for a driveway, front yard parking should be designed to run parallel to the street. Where available, on-street parking may be used to satisfy the off-street parking requirement.
- **Multi-Unit Housing:** Where allowed, duplexes and other multi-unit housing forms should be in scale with the height of detached units in the block. In view of the typical height, one-story and one-and-one-half story structures would be appropriate in most neighborhoods of this era.



View from Oak Hill Avenue



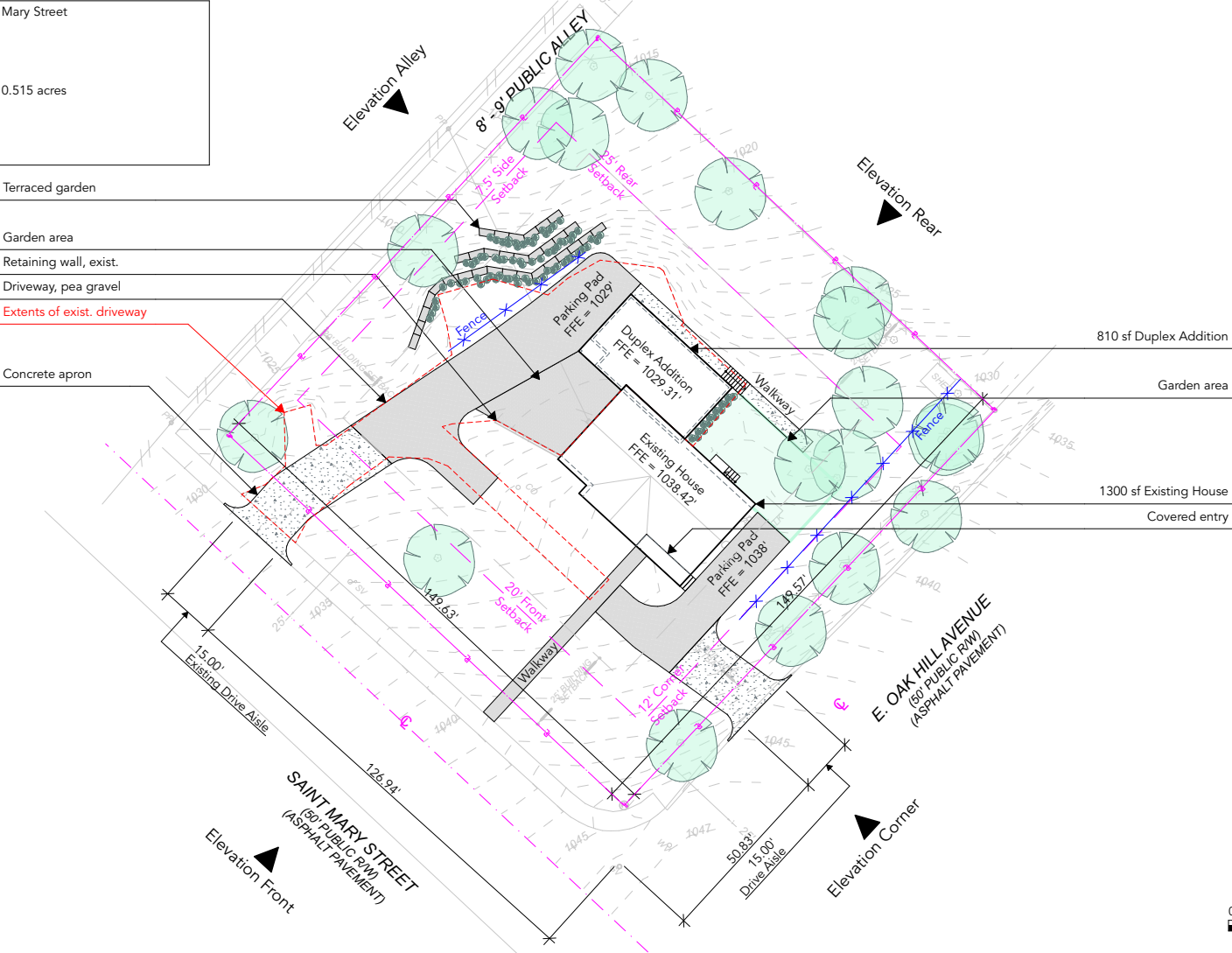
View from Saint Mary Street



View from Public Alley



Address	1800 Saint Mary Street
Parcel ID	081EB014
Block #	17562
Zoning	RN-2 / IH
Sector	MU-SD
Lot Area	22,437 sf / 0.515 acres
Building Area	2,110 sf
Building Coverage	9.4%
Impervious Area	7,450 sf
Impervious Coverage	33.2%





*Preferred: Polished Concrete Block, Variety*



*Preferred: Polished Concrete Block*

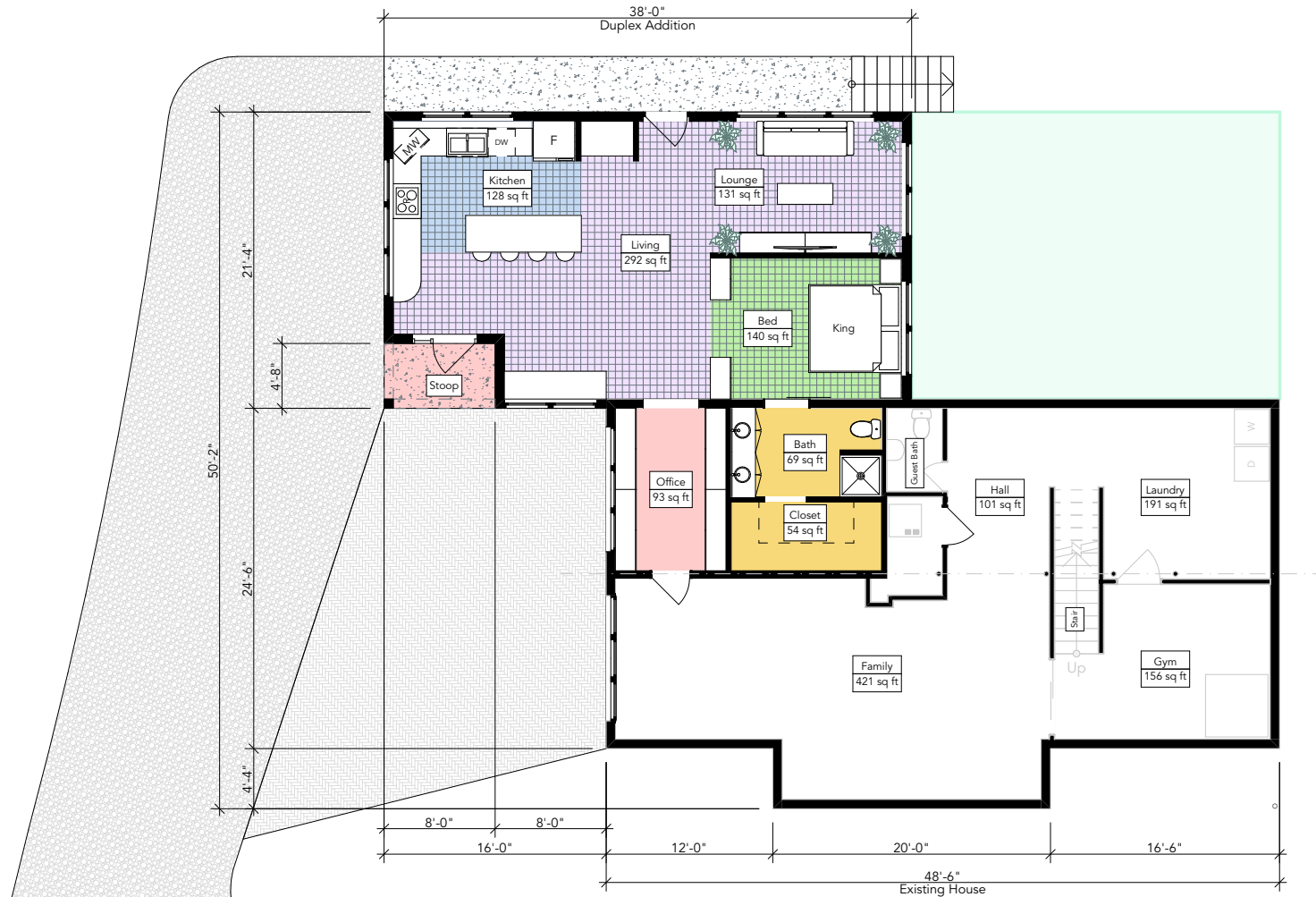


*Preferred: Color: J-51, by Nitterhouse*

Elevation Design & Material Narrative:

The design of the duplex addition is to the interior rear and side of the existing brick, ranch-style house. In plan and elevation, the scale of the addition is less than the existing, with patterns, rhythms, and proportions drawing from the existing. The existing structure is built of a CMU lower level and wood frame upper level, faced with brick and plaster. In complementing the existing, the building material proposed is Polished Concrete Block by Nitterhouse. CMU is a building material in houses of the 1940s - 1950s era, and was often faced with a finish of stucco or brick.

Concrete block matches the construction of the lower level of the house, and the glossy polished finish delivers a finished aesthetic. The finish color selected is light gray, creating a shadow concept.



Duplex Plan  
Scale : 1/8" = 1'-0"

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DRB 05  
Floor Plan

Shellie Smith & Family / Home Addition / 2024.06.11

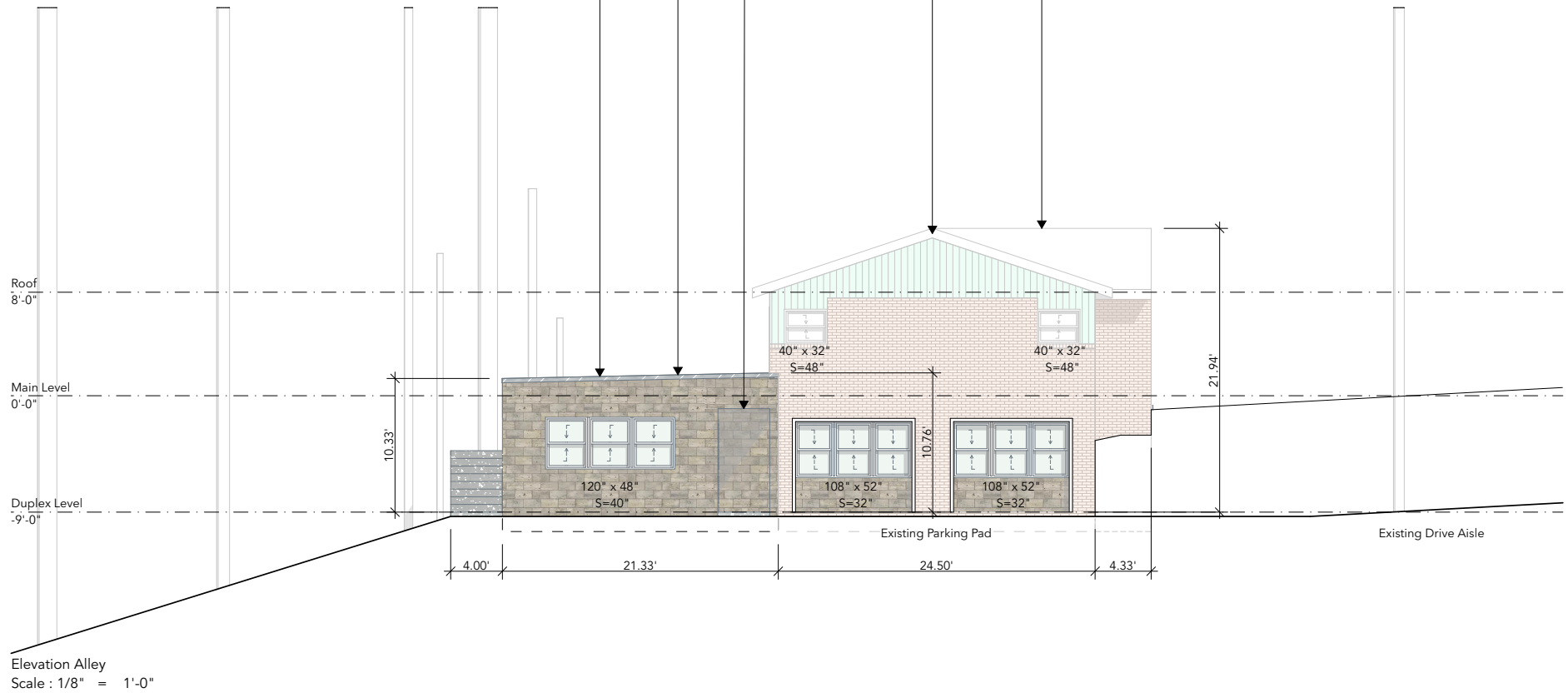
Covered entry stoop & masonry column

Duplex Addition, polished face CMU on side facade

TPO roof; slope = 1/4" : 12"

Existing House, brick & vertical wood siding

Existing asphalt shingle roof



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DRB 06  
Elevation

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Duplex Addition, polished face CMU on front facade

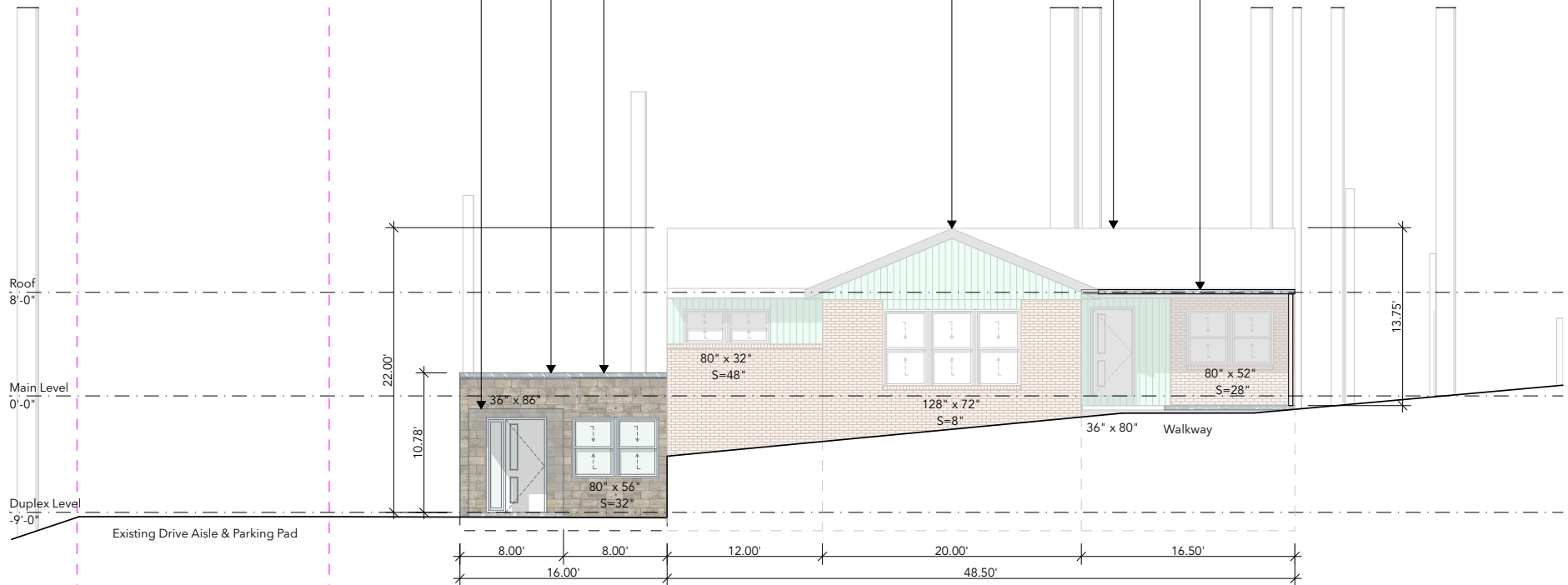
TPO Roof; Slope = 1/4" : 12"

Covered entry stoop & masonry column

Existing House, brick & vertical wood siding

Existing asphalt shingle roof

Covered entry stoop & steel column; slope = 1/8" : 12"



Elevation Front  
Scale : 1/8" = 1'-0"

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DRB 07  
Elevation

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Existing House, brick & vertical wood siding

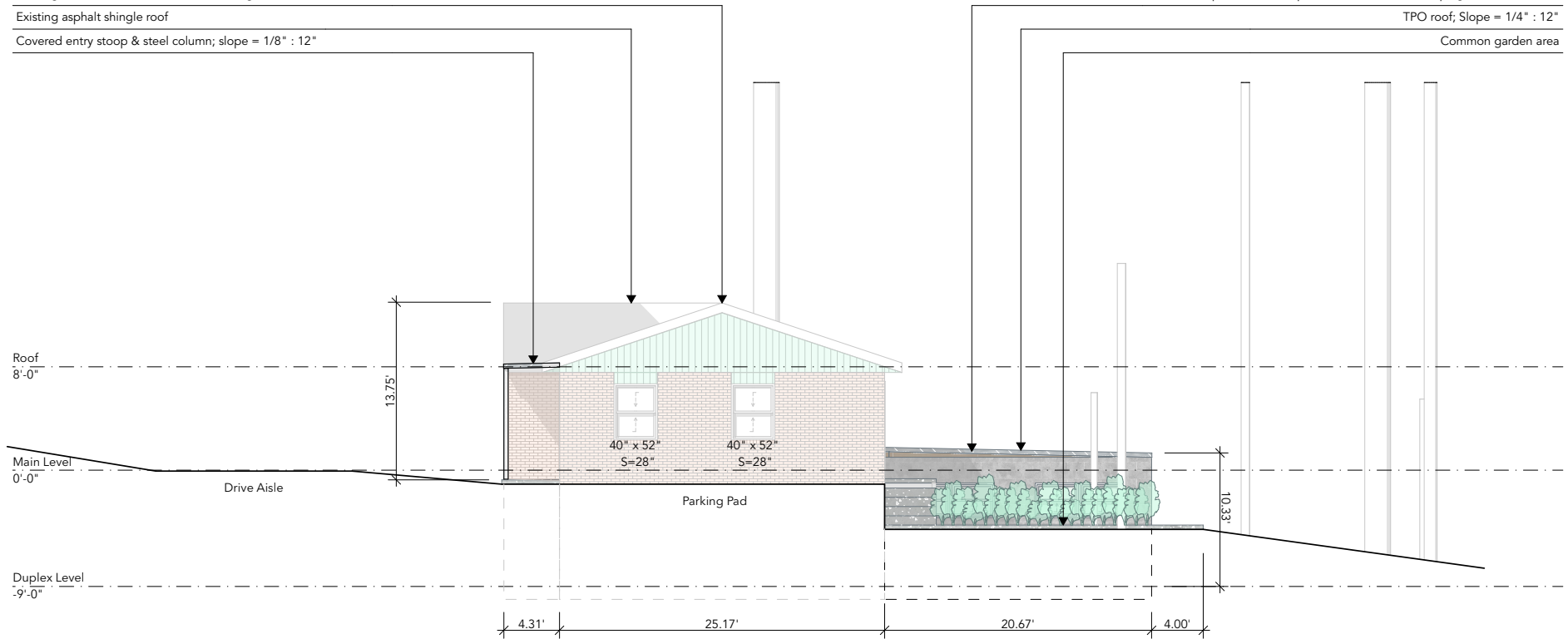
Existing asphalt shingle roof

Covered entry stoop & steel column; slope = 1/8" : 12"

Duplex Addition, split face CMU and landscaping on corner facade

TPO roof; Slope = 1/4" : 12"

Common garden area



Elevation Corner  
Scale : 1/8" = 1'-0"

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DRB 08  
Elevation

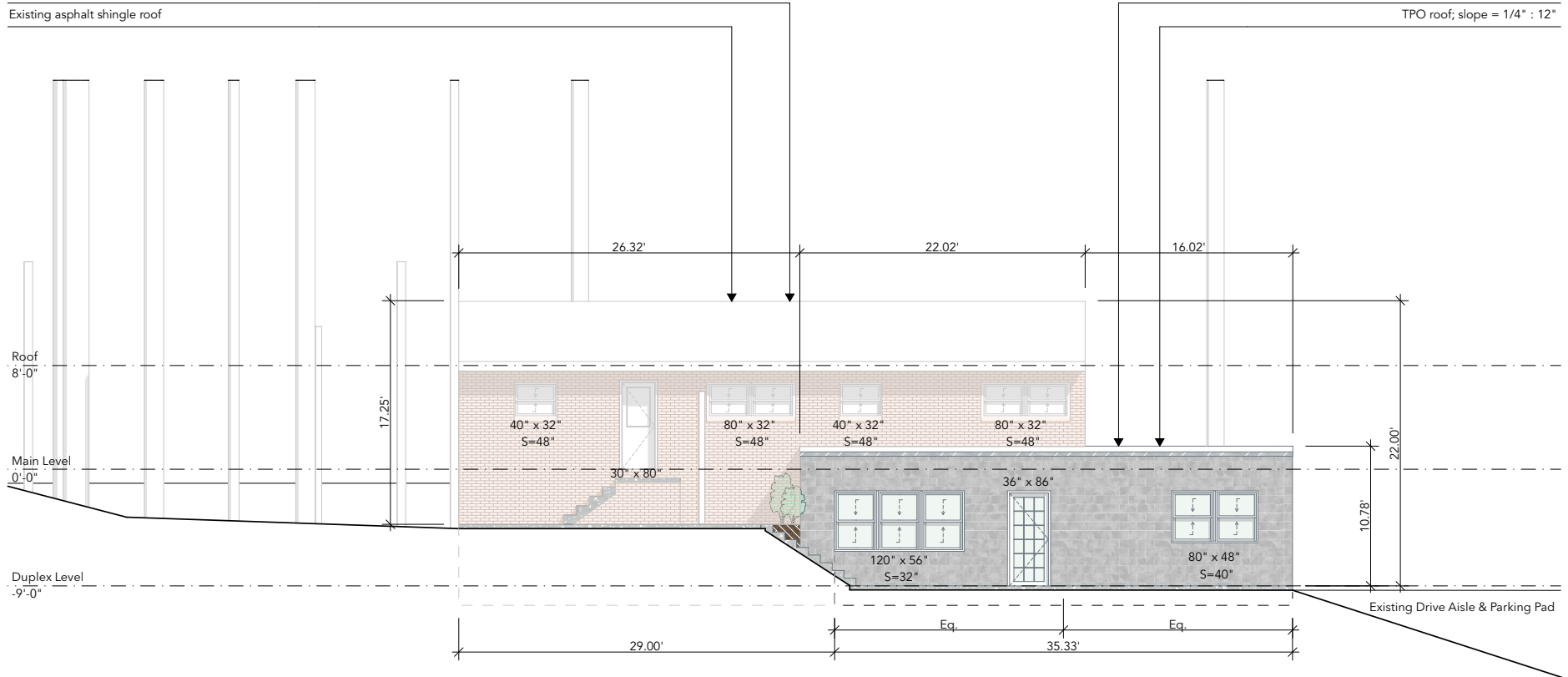
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Existing House, brick & vertical wood siding

Existing asphalt shingle roof

Duplex Addition, split face CMU on rear facade

TPO roof; slope = 1/4" : 12"



Elevation Rear

Scale : 1/8" = 1'-0"

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DRB 09

Elevation

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