



Staff Report

Infill Housing Design Review Committee

File Number: 1-A-24-IH

Meeting: 1/17/2024
Applicant: Amber Culpepper Lafayette Properties, LLC
Owner: Amber Culpepper Lafayette Properties, LLC

Property Information

Location: 1543 Connecticut Ave. **Parcel ID** 81 P G 038
Zoning: RN-2 (Single-Family Residential Neighborhood)
District: Lonsdale Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary structure fronting Connecticut Ave. One-story residence features a front-gable roof (6/12 pitch), an exterior of vinyl lap and board-and-batten siding, and a slab foundation. The house measures 28' wide by 44'-5" deep and features a partial-width porch with a front-gable roof, projecting from the right side of the foundation. Parking is located to the rear of the house and accessed from the alley.

The façade (southeast) is three bays wide, featuring paired one-over-one windows flanking a central door. The porch is supported by two 8 by 8 wood posts. Gable fields are clad in board-and-batten siding. The right elevation features three double-hung windows, with two on the left elevation, and two windows flanking a secondary entry on the rear elevation.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. House Orientation and Side Yards

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
 - On streets without alleys, garages or parking areas should be at least 20 feet behind the front façade of the infill
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house with access limited to one lane between the street and the front façade.

- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Materials

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

11. Landscaping and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.

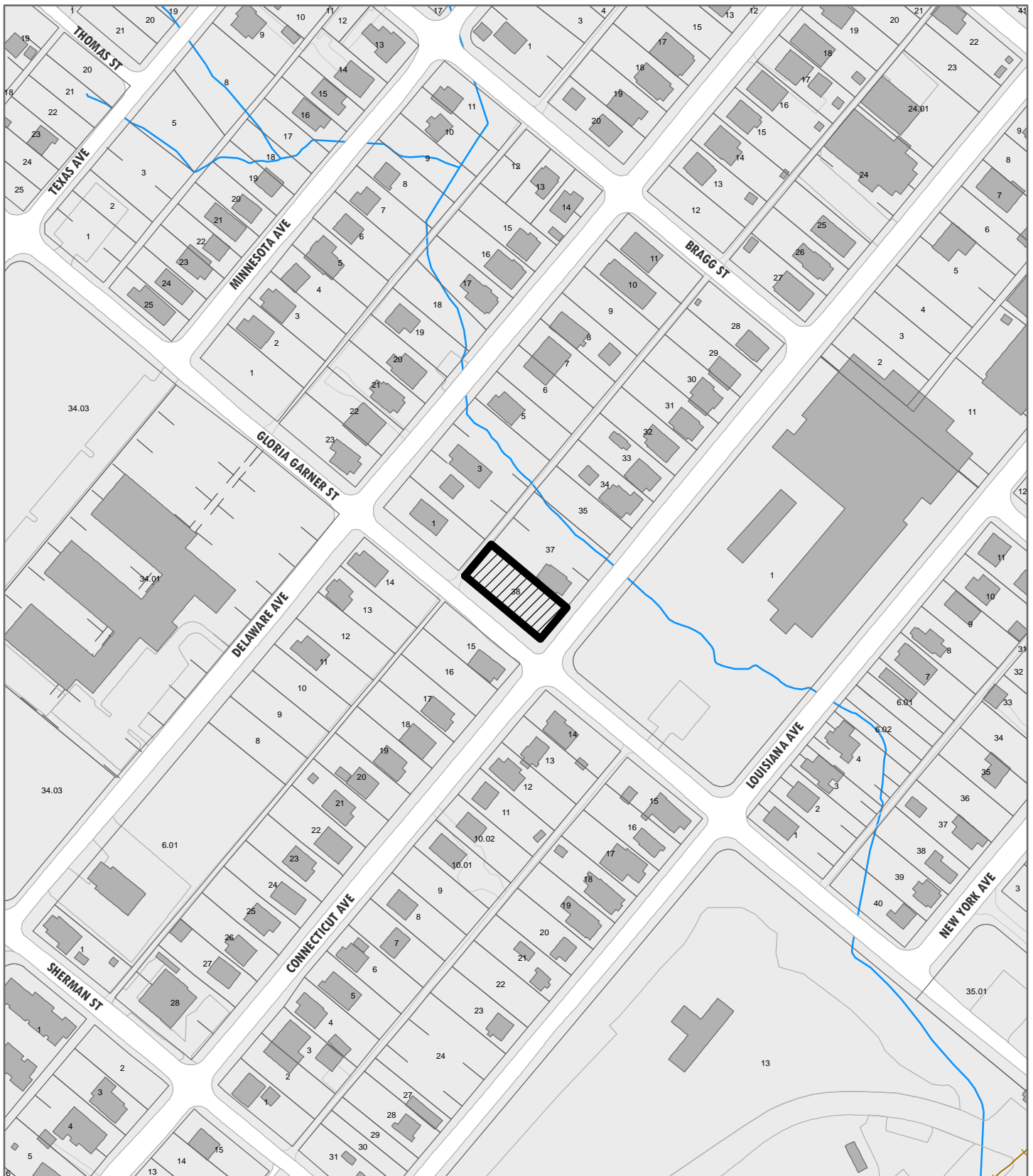
Comments

1. The proposed front setback is not clarified on the site plan, but shown as significantly recessed from the 20' front setback requirement. The average front setback of the blockface is 20.5', with the adjacent house at 16'. The house should be moved towards the front property line to align with the blockface. The site plan includes a walkway to the sidewalk.

2. The block to receive new construction is characterized by modified Queen Anne cottages and infill construction. The one-story, three-bay house is proportional to the dimensions of the lot and the context of the block.
 3. The proposed parking meets the Infill Housing zoning code and design guidelines, accessed from an alley and located to the rear of the house. Final site plan revisions may be necessary to meet City Engineering standards.
 4. The house's façade is similar in scale and width to historic houses on the block and neighborhood. The house is proposed for a concrete slab foundation; the foundation should be elevated to at least 12"-18" to reflect foundation heights in the context.
 5. The house features an 8' deep, partial-width front porch supported by 8 by 8 square columns. The porch is compatible with the design of the house and the surrounding context.
 6. Guidelines recommend window and door styles be similar, with similar proportions and ratio of solid to void, to historic houses on the block. All elevations have sufficient window proportions.
 7. The proposed roof pitch, 6/12, is the minimum typically approved in the Infill Housing overlay.
 8. Final horizontal siding materials should incorporate an overlap instead of Dutch lap or flush panel siding. The foundation should be clad in stucco or a parge coat instead of exposed CMU.
 9. The final site plan should incorporate one native or naturalized shade tree in the front and rear yards.
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Recommendation

Staff recommends approval of Certificate 1-A-24-IH, subject to the following conditions: 1) final site plan to meet City Engineering standards; 2) front setback to be revised to align with blockface; 3) final site plan to incorporate native or naturalized shade trees in the front and rear yards; 4) foundation height to measure at least 12" to be compatible with the neighborhood context.

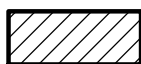


I-A-24-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

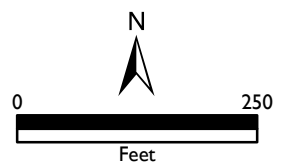
Applicant: Amber Culpepper Lafayette Properties, LLC

INFILL HOUSING REVIEW BOARD



1543 Connecticut Ave.
Lonsdale Infill Housing Overlay District

Original Print Date: 1/3/2024
Revised:
Knoxville/Knox County Planning - Infill Housing Design Review Committee





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Applicant

January 17, 2023

1-A-24-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner Contractor Engineer Architect/Landscape Architect

Name

Company

Address

City

State

Zip

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

Property Address

Parcel ID

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

12.18.23

Staff Signature

Please Print

Date

Amber Culpepper

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:

CUSTOM HOME DESIGN AMBER CULPEPPER

1543 CONNECTICUT AVENUE, KNOXVILLE TENNESSEE 37921



OWNER

LAFAYETTE INVESTMENTS, LLC
P.O. BOX 32454
KNOXVILLE, TENNESSEE 37930
CONTACT: AMBER CULPEPPER
EMAIL: AMBER@LAFAYETTE-INVESTMENTS.COM
CELL PHONE: (865) 232-8995

ARCHITECT

OYSK³ ARCHITECTS
1545 WESTERN AVENUE, SUITE 100
KNOXVILLE, TN 37921
CONTACT: CARA KNAPP
PHONE: 865-523-8200
EMAIL: OFFICE@OYSK3ARCHITECTS.COM

DETAIL CALLOUT

Drawing Number
 Sheet Number

ELEVATION KEY

Direction of View

SECTION KEY

Extent/ Direction of Section

INTERIOR ELEVATION KEY

Direction of View
 Sheet Number
 Elevation Number

NORTH INDICATOR



ELEVATION MARKER

XX'XX" A.F.F.

SPOT ELEVATION

F.F.E. = FINISH FLOOR ELEVATION

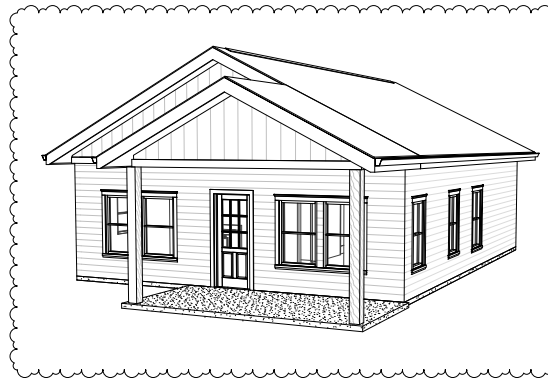
Identifier
 Keynote Number
 Identifier
 Window Type

ROOM

Room Name
 Identifier
 Room Number
 Identifier
 Door Number

Identifier
 Partition Type

Identifier
 Revision Number



SHEET NUMBER	SHEET NAME	Sheet Issue Date	Current Revision Description	Current Revision Date
01 - GENERAL				
G000	COVER	11/14/2023	REVISION 1	12/12/2023
G001	GENERAL	11/14/2023		
G002	GENERAL	11/14/2023		
05 - ARCHITECTURAL				
A100	ARCHITECTURAL SITE PLAN	11/14/2023	REVISION 1	12/12/2023
A101	FLOOR PLAN & FOUNDATION PLAN	11/14/2023	REVISION 1	12/12/2023
A201	ROOF FRAMING PLAN, WALL SECTION & DETAILS	11/14/2023	REVISION 1	12/12/2023
A301	EXTERIOR ELEVATIONS	11/14/2023	REVISION 1	12/12/2023
U100	SCHEMATIC LIGHTING PLAN	11/14/2023	REVISION 1	12/12/2023

FACILITY AND CODE COMPLIANCE INFO

PARCEL ID 081PG038
SUBDIVISION LONGDALE LAND CO
PROPERTY ZONE RN-2 SINGLE-FAMILY RESIDENTIAL NEIGHBORHOOD ZONING DISTRICT
PROPERTY SIZE 8,640 SF
 0.20 ACRES
BUILDING SQUARE FOOTAGE MAIN FLOOR: 1008
FLOOR LEVELS ONE
CONSTRUCTION CLASSIFICATION V-B, UNPROTECTED, UNSPRINKLERED
OCCUPANCY CLASSIFICATION RESIDENTIAL
OCCUPANT LOAD 3 BEDROOMS = 6 OCCUPANTS
RATED WALLS NONE
MAX BUILDING HEIGHT ACTUAL HEIGHT 35'-0"
 14'-10"
DETECTION AND ALARM SYSTEMS LINE VOLTAGE, INTERCONNECTED, SMOKE DETECTORS IN EACH BEDROOM AND OUTSIDE EACH BEDROOM WITH BATTERY BACKUP. SMOKE ALARM TO BE PLACED NO LESS THAN 30 HORIZONTALLY FROM A BATHROOM DOOR CONTAINING A BATH TUB/SHOWER.
EMERGENCY ILLUMINATION NOT REQUIRED
MAX TRAVEL DISTANCE TO EXITS < 75'
FIRE EXTINGUISHERS PROVIDED BY OWNER

BUILDING STANDARDS

SCOPE OF WORK:
HOME DESIGN FOR A 1000 SQ FT 1 STORY HOME ON A CRAWL SPACE. HOME HAS 3 BEDROOMS AND 2 FULL BATHS.
 ADOPTED CODES:
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL CODES, COVENANTS:
 2018 Int'l. Residential Code
 2018 Int'l. Mechanical Code
 2018 Int'l. Plumbing Code
 2018 Int'l. Fire Code
 2018 Int'l. Energy Conservation Code
 2018 Int'l. Fuel Gas Code
 ALL MATERIALS USED ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED DETAILS & INSTRUCTIONS.
 Fire Resistance
 EXTERIOR WALLS: 0 HR.
 INTERIOR WALLS: 0 HR.
 ROOF CONSTRUCTION: 0 HR.
 FLOOR CONSTRUCTION: 0 HR.
 Design Loads
 FLOOR, 1st: 40 PSF LIVE + 10 PSF DEAD
 ROOF: 30 PSF LIVE + 17 PSF DEAD*
 FLOOR, 2nd: 40 PSF LIVE + 10 PSF DEAD
 SLEEPING AREAS: 30 PSF LIVE + 10 PSF DEAD
 INTERIOR STAIRS: 40 PSF LIVE + 10 PSF DEAD
 EXTERIOR DECKS: 80 PSF LIVE + 10 PSF DEAD
 *REFER TO SNOW LOAD & WIND LOAD PER SECTION R301 OF THE INT'L. RESIDENTIAL CODE (IRC).
 SEISMIC LOADING TO BE BASED ON REQUIREMENTS OF SECTION R301 OF THE IRC.

CUSTOM HOME DESIGN
AMBER CULPEPPER
1543 CONNECTICUT AVENUE, KNOXVILLE TENNESSEE 37921

Revision Number	Revision Description	Revision Date
01	ISSUED FOR PERMIT	12/12/2023

DRAWN :
COVER

G000

DATE : 11/14/2023
PROJECT : 23143



FP: Floor Plan Notes

FP1 DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS TO THE REFERENCE DIMENSIONS IN ASSOCIATED DETAILS AND OTHER DRAWINGS. REPORT DISCREPANCIES TO ARCHITECT FOR RESOLUTION.

FP2 ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF STUD WALL TO OUTSIDE FACE OF STUD WALL, UNLESS OTHERWISE NOTED. STUD WALLS NOT DIMENSIONED ARE TYPICALLY 24" (3") CONSTRUCTION.

FP3 BRICKMAY INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION'S RECOMMENDED PRACTICES FOR THICKNESS, STUD SPACING, HANGING, & TAPPING. MUD, FLOAT, & SAND (3) COATS PRIOR TO PAINTING, ALSO AS FOLLOWS:

FP4 UNLESS OTHERWISE NOTED, ALL INTERIOR WALLS TO BE COVERED WITH GYPSUM BOARD, WITH METAL OR PLASTER CORNER BEAD.

FP5 WALLS COMMON TO GARAGE AND HOUSE TO HAVE ONE LAYER OF 1/2" TYPE 'X' HFR FIRE RATED GYPSUM BOARD ON EACH SIDE.

FP6 ALL BATH AND TOILET AREA WALLS AND CEILING ADJACENT TO WET AREAS TO HAVE WATER RESISTANT GYPSUM BOARD.

FP7 FIBER CEMENT, FIBER MATT REINFORCED CEMENT, GLASS MATT GYPSUM BACKERS, OR FIBER REINFORCED GYPSUM BACKERS IN COMPLIANCE WITH ASTM C-1108, C-1185, C-1178 OR C-1278 RESPECTIVELY, AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SHALL BE USED AS BACKERS FOR WALL TILE IN TUB & SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.

FP8 GRESS WINDOWS:
(A) GROUND FLOOR BEDROOM WINDOWS TO HAVE MINIMUM NET CLEAR OPENING OF 55.0" TALL
(B) SECOND FLOOR AND ABOVE BEDROOM WINDOWS TO HAVE A MINIMUM NET CLEAR OPENING OF 55.0" TALL
(C) ALL BEDROOM WINDOWS TO HAVE MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 48" ABOVE FINISH FLOOR

FP9 ALL TRANSPARENT OR TRANSLUCENT PANELS LOCATED WITHIN 18" OF FLOOR, 24" OF DOOR, OR 60" OF FLOOR AT BATHROOMS, SHOWERS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, OR HOT TUBS, TO BE TEMPERED GLASS OR OTHER SAFETY GLAZING.

FP10 BATHROOMS AND UTILITY ROOMS TO BE VENTED TO THE OUTSIDE WITH A 30 CFM FAN (MINIMUM), RANGE HOODS TO BE VENTED TO OUTSIDE.

FP11 CABINET SUPPLIER TO FILL MEASURE AREA OF WORK AFTER ROUGH FRAMING TO ENSURE EXACT FIT. THE CABINETS SHALL MATCH TOPS & ELEVATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

FP12 MATCH TOPS, SPLASH LAVATORIES, AND WHIRLPOOL, PER OWNER'S SELECTIONS.

FP13 CARPET SHALL BE INSTALLED AS PER THE STANDARD FOR INSTALLATION OF RESIDENTIAL CARPET" BY THE CARPET AND RUG INSTITUTE.

ENERGY CODE

ATTIC CEILING MATCHES & DOORS MUST BE WEATHER STRIPPED & INSULATED TO THE SAME LEVEL AS THE SURROUNDING SURFACES.

FLOOR INSULATION MUST BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING.

PROGRAMMABLE THERMOSTATS WITH DAILY SETBACK CAPABILITY REQUIRED WHERE PRIMARY HEATING SYSTEM IS FORCED AIR WITH AN INITIAL SETTING NOT HIGHER THAN 70° FAHRENHEIT FOR HEATING, AND NOT LOWER THAN 70° FAHRENHEIT FOR COOLING.

SUPPLY DUCTS IN ATTICS RETAIN R-8 INSULATION REQUIREMENT. REQUIREMENTS FOR ALL OTHER DUCTS IN UNCONDITIONED SPACE REDUCED TO R-6.

THE ENTIRE DUCT SYSTEM MUST BE SEALED.

EGG	ZONE 4
PRESCRIPTIVE REQUIREMENTS	
PANOS (I-FACTORS)	0.40
SKYLIGHTS (I-FACTORS)	0.55
CEILING - OPEN ATTIC (R-VALUE)	44
CEILING - CATHEDRAL (R-VALUE)	30
WOOD FRAME WALL (R-VALUE)	20 / 15-6
MASS WALL (R-VALUE)	8 / 13
FLOOR (R-VALUE)	18
BASEMENT WALL (R-VALUE)	10 / 13
SLAB (R-VALUE & DEPTH)	10, 2 FT.
GRAV. SPACE WALL (R-VALUE)	10 / 13

Concrete Footing Notes

FN1 ALL FOOTINGS TO REST ON UNDISTURBED OR EXCAVATED CONDITIONS PRIOR TO STARTING CONSTRUCTION. GENERAL CONTRACTOR TO COMMUNICATE TO THE OWNER AND/OR ARCHITECT ANY CONDITIONS REGARDING SOILS, GRADE, WATER, OR OTHER ISSUES WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN BY A LICENSED STRUCTURAL ENGINEER.

FN2 REINFORCE CORNERS OF CMU STRUCTURES WITH ONE #4 REBAR IN EACH OF THREE ADJACENT GROUT-FILLED COLUMNS AT CORNERS; CONTINUOUS FROM CONCRETE FOOTING TO BOND BEAM AT TOP OF WALL.

FN3 OVERLAP ALL REBAR SPICES 24" MINIMUM. COVERAGE OF ALL REBAR TO BE 2" MINIMUM.

FN4 ALL MASONRY AND CONCRETE WALLS BELOW GRADE SHALL BE DAM PROOFED & WATERPROOFED AS REQUIRED BY I.C.C. SECTION 9004.

Concrete Slab Notes
FN5 UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE TO BE 3500 P.S.I. CONCRETE (28 DAY COMPRESSIVE STRENGTH) ON 4" SAND OR GRAVEL FILL. MINIMUM INTERIOR SLABS TO BE PLACED ON 6#4 STABILIZED POLYETHYLENE VAPOR BARRIER.

FN6 (A) CONCRETE SLAB ON LOAD BEARING WALLS. MINIMUM THICKNESS OF 4", THICKENED TO 8" AT LOAD BEARING WALLS.
(B) SLAB SPAN 6'0" TO 7'0"
(C) TYPE OF REINFORCEMENT: 6#6 10'10" W/M.
(D) PROVIDE PRE-MOLDED JOINT FILLER EXPANSION JOINTS AT PERIMETER OF EACH SLAB.

FN7 PATIOS & PORCHES TO BE 1500 PSI AIR ENTRAINED AND SLOPED 1/8" IN 1' IN DIRECTION TOWARD THE FOUNDATION PLAN.

FN8 GARAGE SLABS TO BE 3500 PSI, AIR ENTRAINED, AND SLOPED 1/8" PER 1'0" TOWARD EXTERIOR GARAGE DOOR OPENINGS.

FN9 WHERE TYPED REINFORCEMENT IS NOT PROVIDED IN CONCRETE SLABS OTHER THAN BASEMENTS, CONTRACTOR JOINTS AT APPROXIMATELY 20' INTERVALS SHOULD BE PROVIDED. CONTRACTOR JOINTS SHOULD BE PROVIDED AT PARTITIONS.

FN10 PROVIDE EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON RAISING TIES OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR AREAS.

FN11 PROVIDE DEEP SCORE CORT. JOINTS AT MIDPOINTS OF ALL GARAGE SLABS, BOTH DIRECTIONS.

Foundation Anchorage
FN12 WALL SILL PLATES MINIMUM 2x4 MEMBER. PRESSURE TREATED SHALL BE SIZED & ANCHORED TO FOUNDATION WALLS OR PIERS AT 12" INTERVALS AS REQUIRED TO RESIST WIND UPLIFT.

FN13 ANCHOR BOLTS TO BE ASTM GRADE 36, MINIMUM 1" DIAMETER WITH 2"x4"x 1" WASHER PLATE. THESE BOLTS SHALL BE EMBEDDED IN FOUNDATIONS TO A DEPTH OF NOT LESS THAN 15" IN NAT'L MASONRY, AND 10" IN POURED CONCRETE. THERE SHALL BE A MINIMUM OF 2 ANCHOR BOLTS PER SECTION OF PLATE, AND ANCHOR BOLTS SHALL BE PLACED WITHIN 12" OF EACH END OF EACH PLATE SECTION, WITH INTERMEDIATE BOLTS SPACED AT 48" O.C. MAXIMUM.

FN14 ANCHOR BOLTS, WASHER PLATES, & NUTS TO BE HOT-DIPPED GALVANIZED.

FN15 PROVIDE ANCHOR BOLTS ON EACH SIDE OF GARAGE DOORS TO MEET WIND BRACING RAQS 1.6.

Foundation Notes

FN1 GENERAL CONTRACTOR TO INSPECT THE JOB SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING CONSTRUCTION. GENERAL CONTRACTOR TO COMMUNICATE TO THE OWNER AND/OR ARCHITECT ANY CONDITIONS REGARDING SOILS, GRADE, WATER, OR OTHER ISSUES WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN BY A LICENSED STRUCTURAL ENGINEER.

FN2 GENERAL CONTRACTOR TO REVIEW PLANS, ELEVATIONS, AND DETAILS FOR DIMENSION OF FINISH FLOOR ABOVE TYPICAL GRADE. GENERAL CONTRACTOR TO COMMUNICATE TO THE ARCHITECT ANY SITE CONDITIONS THAT REQUIRE MODIFICATIONS TO DIMENSIONS INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS.

FN3 GENERAL CONTRACTOR TO REVIEW THE FOUNDATION PLAN TO MEET LOCAL CODES AND SOIL CONDITIONS.

FN4 ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF BLOCK OR CONCRETE WALL TO OUTSIDE FACE OF BLOCK OR CONCRETE WALL, AND TO CENTERLINE OF BLOCK PIERS, UNLESS OTHERWISE NOTED.

FN5 ALL CONCRETE TO BE PLACED IN THE DRY. NO CONCRETE SHALL BE PLACED LATER THAN 90 MINUTES AFTER MIXING HAS BEGUN. SEPARATE CONCRETE IN ITS FINAL POSITION WITHOUT DEFORMATION & REHANDLING.

FN6 PROVIDE PERFORATED DRAINS IN GEO-SOCK FROM FOUNDATION TO GRADE.

FN7 GENERAL CONTRACTOR TO COORDINATE WITH A LICENSED BONDED INSTALLER TO PROVIDE TREATMENT WHICH COMPLIES WITH ALL LOCAL BUILDING CODES.

FN8 DIMENSION FROM CRAWL SPACE SOL. SURFACE TO BOTTOM OF FLOOR JOISTS TO BE 24" MINIMUM. PROVIDE CRAWL SPACE VENTILATION PER LOCAL CODE REQUIREMENTS.

FN9 GENERAL CONTRACTOR TO REVIEW ALL FINISH FLOOR MATERIALS. ALL FINISH FLOORS TO BE INSTALLED ARE TO BE FLUSH WITH ADJACENT FLOORS OF SIMILAR OR DISSIMILAR MATERIALS. GENERAL CONTRACTOR TO ADJUST THE FOUNDATION AS REQUIRED TO ENSURE THAT ALL FLOORS ARE FLUSH.

Foundation Steel Notes
FN10 ALL STRUCTURAL STEEL SHALL BE OF DOMESTIC MANUFACTURING CONFORMING TO ASTM A & STANDARD AISI SPECIFICATIONS.

FN11 REINFORCING STEEL SHALL BE OF NEW BULLET HEAD STRENGTH STEEL OF DOMESTIC MANUFACTURING CONFORMING TO THE LATEST ASTM A113 GRADE (6) FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF THE C.I.A. UNLESS NOTED OTHERWISE, AND PLACING OF REINFORCING SHALL BE IN ACCORDANCE WITH A.C.I. BUILDING CODE, MANUAL OF STANDARD PRACTICE, AND THE CURRENT INTERNATIONAL RESIDENTIAL CODE.

FN12 REINFORCING SHALL HAVE 2" COVER IN FOOTINGS, AND 3" COVER ON MAIN REINFORCEMENT IN STEEL WALLS.

FN13 REINFORCING BARS ARE CONTINUOUS UNLESS NOTED OTHERWISE. LAP REINBAR 12 INCHES AT SPLICES. LAP STEEL WALL BARS 30 BAR DIAMETERS AT SPLICES. MINIMUM.

FN14 AT OUTSIDE CORNERS OF CONCRETE FOOTINGS & STEEL WALLS PROVIDE #4 "X" CORNER BARS ON EACH FACE AT SAME SPACING AS HORIZONTAL REINFORCEMENT.

FN15 ALL WELDING TO BE PER CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION, LATEST EDITION, AND PER ANY 1" STRUCTURAL WELDING CODE, SECTION 2007, BY AMERICAN WELDING SOCIETY.

FN16 PROVIDE 3/8"x1/2"x1/2" WELD PLATE FOR BEARING STEEL BEAM ON CMU WALL WITH ONE #5 "X" ANCHOR STUD PER ANCHOR.

FN17 PROVIDE 1" STEFFER PLATE ON EACH SIDE OF BEAM AT THE BEARING PLATE.

P: Plumbing Notes

P1 PLUMBING SUBCONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.

P2 PROVIDE GAS SERVICES TO ALL WATER HEATERS AND HVAC EQUIPMENT AS REQUIRED.

P3 IF WALL PLUMB OR JOISTS ARE OUT DURING THE INSTALLATION OF PLUMBING FIXTURES OR EQUIPMENT, PROVIDE BRACING TO THE FRAMING BACK TOGETHER.

P4 LOCATE WATER HEATERS IN WATER-RETAINING PANS. PROVIDE ADEQUATE DRAIN TO OUTSIDE FOR POSSIBLE OVERFLOW.

P5 ALL PLUMBING AND MECHANICAL VENT STACKS TO BE LOCATED CLOSE TOGETHER IN THE ATTIC. VENT STACKS TO BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS TO BE PRIMED & PAINTED TO CLOSELY MATCH ROOF COLOR.

P6 PROVIDE HOSE BIBS AS PER FOUNDATION AND FIRST FLOOR PLAN LOCATIONS. GENERAL CONTRACTOR TO COORDINATE THESE LOCATIONS WITH OWNER.

P7 PROVIDE AN INSIDE MAIN WATER CUTOFF AND PRESSURE REDUCING VALVE AT AN EASILY ACCESSIBLE LOCATION.

H: H.V.A.C. Notes

H1 MECHANICAL SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.

H2 HVAC SUBCONTRACTOR TO FULLY COORDINATE ALL SYSTEM DATA AND REQUIREMENTS WITH THE EQUIPMENT SUPPLIER. HVAC SUBCONTRACTOR TO PROVIDE FINAL SYSTEM LAYOUT DRAWING AND SUBMIT IT TO THE GENERAL CONTRACTOR, OWNER, AND EQUIPMENT SUPPLIER FOR FINAL REVIEW AND APPROVAL.

H3 LAVATORY & BATH VENTILATION:
(A) ALL LAVATORIES AND BATHS SHALL BE MECHANICALLY VENTILATED THROUGH NON-COMBUSTIBLE DUCTS TO PROVIDE A CHANGE AIR AT THE RATE OF 50 CFM UNDERLIFT BATHROOM DOOR.
(B) ALL KITCHEN RANGE HOODS SHALL BE MECHANICALLY VENTILATED THROUGH NON-COMBUSTIBLE DUCTS TO EXTRACT AIR AT THE RATE OF 100 CFM SEE RC SECTION M1507, TABLE M1507.4.

H4 PROVIDE DUCTING TO EXTERIOR FOR ALL EXHAUST FANS, KITCHEN COOKTOP HOOD VENT, AND DRYER VENT.

H5 SEE THE GENERAL ELECTRICAL NOTES FOR THE LOCATION OF S.A.R.'S AND R.A.G.'s IN RELATION TO THE LIGHT FIXTURES.

H6 ALL THERMOSTATS TO BE LOCATED ADJACENT TO LIGHT SWITCHES.

H7 ATTIC HVAC UNITS TO BE LOCATED WITHIN 30 FT. OF THEIR SERVICE OPENING DO NOT LOCATE RETURN AIR GRILLES WITHIN 15 FT. OF A GAS-FIRED APPLIANCE.

H8 DO NOT LOCATE PLUMBING OVER AREAS WITH A SPAN MORE THAN 10'.

H9 ALL MECHANICAL AND FURNISHING VENT STACKS, INCLUDING GAS PILES, TO BE LOCATED TOGETHER IN THE ATTIC TO MINIMIZE ROOF PENETRATIONS. VENT STACKS TO BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS AND PILES TO BE PRIMED & PAINTED TO CLOSELY MATCH THE ROOF COLOR.

G: General Notes

G1 EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND DETERMINE A REASONABLE BASIS FOR THE SCOPE AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON A THOROUGH KNOWLEDGE OF ALL WORK & MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR ARCHITECT.

G2 THE CONTRACTOR AND SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK, AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

G3 CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES.

G4 THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS, OR INFORMATION REQUIRED FOR THE INTERIOR FINISHES OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER OR INTERIOR DESIGNER/DECORATOR.

G5 ALL SITE WORK & LANDSCAPING IS TO BE ESTABLISHED & DESIGNED BY OTHERS THAN THE ARCHITECT.

G6 UNLESS SHOWN ON THESE DRAWINGS, ALL MECHANICAL WORK SUCH AS, BUT NOT LIMITED TO, ELECTRICAL, PLUMBING, HEATING, AIR CONDITIONING, VENTILATION, ETC., ARE TO BE ESTABLISHED BY OTHERS THAN THE ARCHITECT.

G7 THE ARCHITECT TAKES NO RESPONSIBILITY FOR MODIFICATIONS TO THESE DRAWINGS THAT ARE NOT REVIEWED & APPROVED BY THE ARCHITECT.

G8 THE OWNER OR CONTRACTOR SHALL PAY FOR AND OBTAIN ALL REQUIRED PERMITS, TAP FEES, AND CERTIFICATES OF OCCUPANCY.

G9 ALL DESIGNS AND/OR PLANS ARE NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT AND OWNER.

G10 ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING & INSTALLING ANY EQUIPMENT OR MATERIALS. DIGITAL COPIES IN PDF FORMAT MAY BE EMAILED TO PROJECT MANAGER IN THE ARCHITECT'S OFFICE. CONTRACTOR MUST CHECK ALL SHOP DRAWINGS, NOTING ANY DISCREPANCIES PRIOR TO SUBMISSION.

G11 THE CONTRACTOR MAY SUBMIT FOR APPROVAL, 10 DAYS PRIOR TO PRESENTATION OF NEGOTIATED PRICE TO OWNER, ALTERNATE MANUFACTURERS OF ALL ITEMS SPECIFIED ON THESE DRAWINGS.

G12 STRUCTURAL DRAWINGS SHALL BE WORKED CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, & ELECTRICAL DRAWINGS TO LOCATE DERESSED SLABS, SLIPERS, DRUMS, REGISTS, BOLT SETTINGS, ETC., AND ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

G13 DESIGN LOADS DO NOT INCLUDE SUPERIMPOSED LOADS SUCH AS AC UNITS AND OTHER MECHANICAL EQUIPMENT. SHOP DRAWINGS OF EQUIPMENT AND PROPOSED SUPPORT FRAMING SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

S: Site Notes

S1 GENERAL CONTRACTOR TO VERIFY THE EXISTING TOPOGRAPHIC LEVELS, LOCATIONS OF TREES, AND THE PROPOSED HOUSE LOCATION. GENERAL CONTRACTOR TO COMMUNICATE TO OWNER AND ARCHITECT ANY RECOMMENDED CHANGES BEFORE THE START OF ANY WORK.

S2 GENERAL CONTRACTOR TO HAVE A LICENSED ENGINEER OR LICENSED SURVEYOR STAKE OUT OR VERIFY THE HOUSE LOCATION TO ENSURE THAT THE HOUSE DOES NOT ENCROACH ON ANY STRIPS OR EASEMENTS, UNLESS THE ENCROACHMENT IS ALLOWED BY ZONING AND BUILDING CODES. GENERAL CONTRACTOR TO COMMUNICATE TO OWNER AND ARCHITECT ANY ENCROACHMENT ISSUES.

S3 NO EXCAVATION SHALL BE MADE WHERE DEPTH BELOW THE FOOTING IS GREATER THAN THE HORIZONTAL DISTANCE FROM THE NEAREST EDGE OF THAT FOOTING.

S4 ALL BACKFILL AT STRUCTURES, SLABS, STEPS, & FINISHMENTS SHALL BE CLEAN FILL COMPACT TO 95% MAX. DRY DENSITY DETERMINED IN ACCORDANCE WITH A.T.M. D-159. BUILDING SITE SHALL BE DRY SO THAT EROSION WILL NOT OCCUR IN THE FOUNDATION.

S5 BACKFILL SHALL BE BROUGHT UP EQUALLY ON EACH SIDE OF WALLS.

S6 BACKFILL ADJACENT TO BASEMENT RETAINING WALL SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGING BY THE BACKFILL.

S7 GENERAL CONTRACTOR TO COORDINATE FINISH TOPOGRAPHIC GRADING AND PAVING OF WALKS, DRIVEWAYS, PATIOS, ETC., AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM THE HOUSE.

S8 DRIVEWAY SHALL BE ON UNDISTURBED OR COMPACTED, NON-ORGANIC SUBSOIL, WITH EITHER MINIMUM 4" CRUSHED-RUN GRAVEL, WITH 4" FIBER MESH REINFORCED CONCRETE, OR 1" ASPHALT BASE WITH 1" FINISH ASPHALT.

S9 GENERAL CONTRACTOR TO COORDINATE ALL LANDSCAPING WITH THE OWNER, AND DETERMINE WHETHER THE LANDSCAPING PACKAGE IS TO BE PROVIDED BY THE GENERAL CONTRACTOR OR BY OTHERS.

C: Construction Notes

C1 THESE PLANS ARE DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE. LOCAL ORDINANCES, REGULATIONS, ETC., THESE ARE TO BE CONSIDERED AS PART OF THE SPECIFICATIONS OF THIS BUILDING. CONTRACTOR SHALL VERIFY REQUIREMENTS WITH THE LOCAL CODES ENFORCEMENT OFFICER, & TO AMEND THE PROPOSED CONSTRUCTION AS REQUIRED.

C2 CONTRACTOR SHALL USE STANDARD CONSTRUCTION DETAILS & PROCEDURES TO ENSURE A STRUCTURALLY SOUND AND DURABLE CONSTRUCTION. CONTRACTOR TO NOTIFY THE OWNER & THE ARCHITECT OF ANY ITEMS WHICH ARE PERMITTED AS MODIFICATIONS TO THE STANDARD CONSTRUCTION PRIOR TO START OF CONSTRUCTION.

C3 CONTRACTOR SHALL VERIFY WITH CODES ENFORCEMENT THAT ALL WORK & CONSTRUCTION MEETS OR EXCEEDS ALL SEISMIC CODES AND/OR SNOW LOADS (IF APPLICABLE) AS PER THE LOCAL JURISDICTION.

C4 ALL SITE WORK HAS NOT BEEN ENGAGED FOR CONSTRUCTION SERVICES OF ANY KIND. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK.

C5 ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF STUD WALL TO OUTSIDE FACE OF STUD WALL UNLESS NOTED OTHERWISE. STUD WALLS NOT DIMENSIONED ARE TYPICALLY OF 24" (3") CONSTRUCTION.

C6 WINDOW SIZES INDICATED ON THE PLAN ARE NOTED BY GENERIC SASH SIZES. CONTRACTOR TO COORDINATE ROUGH OPENING REQUIREMENTS WITH THE ARCHITECT.

C7 REFER TO FLOOR PLAN & EXTERIOR ELEVATIONS FOR WINDOW SIZES.

C8 CONTRACTOR TO ENSURE THAT PREFAB PREFRAME CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES. FLUE HEIGHT TO MEET HEIGHT SHOWN ON ELEVATIONS. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN & BACK DRAFT DAMPER, FOR PREFRAMES. WOOD STOVES & ANY APPLIANCE WITH AN OPEN FLAME, ALL PREFRAME CHASE WALLS TO BE CONSTRUCTED WITH FIRE RETARDANT-TREATED WOOD FRAMING & INSULATED INTERIOR & EXTERIOR WITH MINERAL WOOL BATTES. PROVIDE HORIZONTAL "DRIFT STOPS" AT EACH FLOOR LEVEL.

C9 CONTRACTOR TO COORDINATE GAS SERVICE REQUIREMENTS WITH THE OWNER & GAS SUPPLIER.

C10 CONTRACTOR TO CONSULT & COORDINATE WITH THE OWNER & THE PLANS FOR ALL BUILT IN REQUIREMENTS, INCLUDING SHELVING, CLOSETS, PANTRY, BOOKCASES, ETC.

C11 CONTRACTOR TO CONSULT & COORDINATE WITH THE OWNER CONCERNING REQUIREMENTS FOR SECURITY SYSTEMS, CENTRAL VACUUM & ANY AUDIO, COMPUTER & TELEVISION (INCLUDING SATELLITE) SYSTEMS.

C12 PROVIDE FLASHING ABOVE ALL WINDOWS, DOORS & OTHER OPENINGS TO THE EXTERIOR. PROVIDE WEEPS AT MASONRY CAVITY FLASHING, SPACED @ 18" O.C.

C13 PROVIDE TYVEK "HOUSE WRAP" MOISTURE BARRIER OVER ALL EXTERIOR WALLS, FLASH ALL WINDOWS & OTHER OPENINGS IN EXTERIOR WALLS WITH TYVEK FLASHING.

C14 PROVIDE TRANSITION TRIM AT CHANGE OF FLOOR FINISHES.

C15 WATERPROOF ALL BASEMENT WALLS BELOW GRADE WITH GRADE "BITU-BENE" WATERPROOFING SELF-ADHESIVE, PLASTICIZED BITUMEN WITH POLYETHYLENE SCHEM. PROVIDE MIN. 1" EXTRUDED POLYSTYRENE INSULATION WITH DRAINAGE GROOVES AGAINST MEMBRANE, OR MIN. 1" EXTRUDED POLYSTYRENE INSULATION AGAINST MEMBRANE WITH DRAINAGE MAT, OR NOT BACKFILL DIRECTLY AGAINST MEMBRANE WITHOUT INSULATION & DRAINAGE PROVISIONS. PROVIDE PERFORATED DRAINAGE DRAIN AT BASE OF WALL & DRAIN TO DRAINAGE.

C16 THE WINDOW ROUGH OPENING HEAD HEIGHT AT THE FIRST FLOOR IS NOTED ON DRAWINGS.

FN: Foundation Notes

FN1 GENERAL CONTRACTOR TO INSPECT THE JOB SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING CONSTRUCTION. GENERAL CONTRACTOR TO COMMUNICATE TO THE OWNER AND/OR ARCHITECT ANY CONDITIONS REGARDING SOILS, GRADE, WATER, OR OTHER ISSUES WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN BY A LICENSED STRUCTURAL ENGINEER.

FN2 GENERAL CONTRACTOR TO REVIEW PLANS, ELEVATIONS, AND DETAILS FOR DIMENSION OF FINISH FLOOR ABOVE TYPICAL GRADE. GENERAL CONTRACTOR TO COMMUNICATE TO THE ARCHITECT ANY SITE CONDITIONS THAT REQUIRE MODIFICATIONS TO DIMENSIONS INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS.

FN3 GENERAL CONTRACTOR TO REVIEW THE FOUNDATION PLAN TO MEET LOCAL CODES AND SOIL CONDITIONS.

FN4 ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF BLOCK OR CONCRETE WALL TO OUTSIDE FACE OF BLOCK OR CONCRETE WALL, AND TO CENTERLINE OF BLOCK PIERS, UNLESS OTHERWISE NOTED.

FN5 ALL CONCRETE TO BE PLACED IN THE DRY. NO CONCRETE SHALL BE PLACED LATER THAN 90 MINUTES AFTER MIXING HAS BEGUN. SEPARATE CONCRETE IN ITS FINAL POSITION WITHOUT DEFORMATION & REHANDLING.

FN6 PROVIDE PERFORATED DRAINS IN GEO-SOCK FROM FOUNDATION TO GRADE.

FN7 GENERAL CONTRACTOR TO COORDINATE WITH A LICENSED BONDED INSTALLER TO PROVIDE TREATMENT WHICH COMPLIES WITH ALL LOCAL BUILDING CODES.

FN8 DIMENSION FROM CRAWL SPACE SOL. SURFACE TO BOTTOM OF FLOOR JOISTS TO BE 24" MINIMUM. PROVIDE CRAWL SPACE VENTILATION PER LOCAL CODE REQUIREMENTS.

FN9 GENERAL CONTRACTOR TO REVIEW ALL FINISH FLOOR MATERIALS. ALL FINISH FLOORS TO BE INSTALLED ARE TO BE FLUSH WITH ADJACENT FLOORS OF SIMILAR OR DISSIMILAR MATERIALS. GENERAL CONTRACTOR TO ADJUST THE FOUNDATION AS REQUIRED TO ENSURE THAT ALL FLOORS ARE FLUSH.

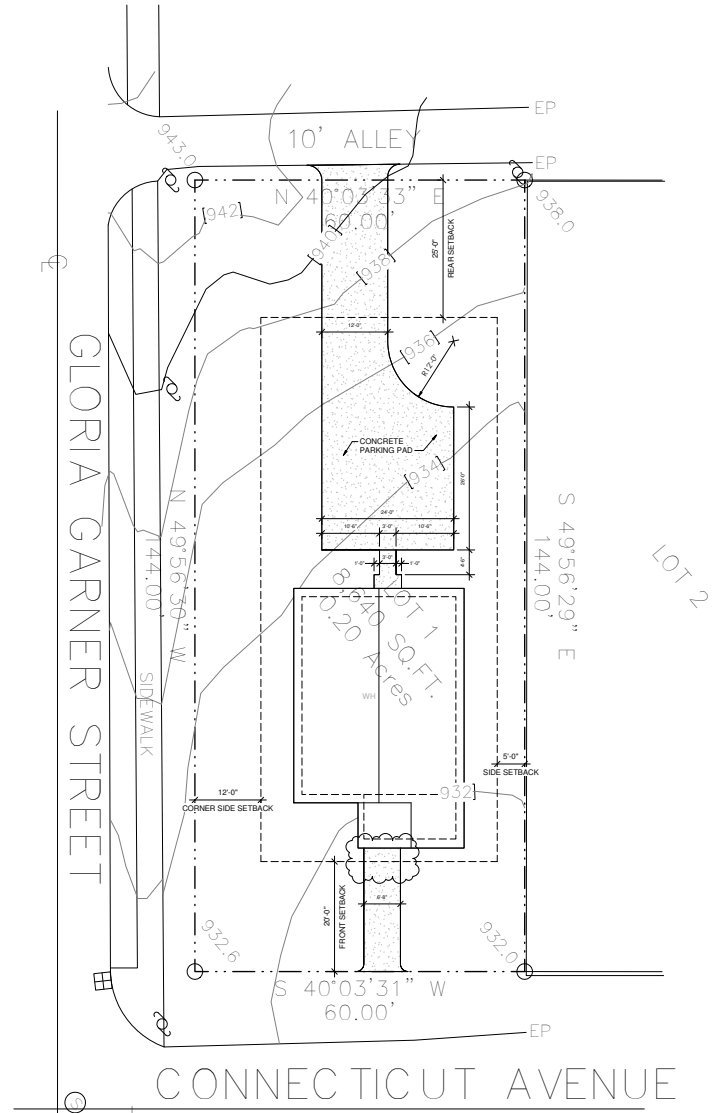
Foundation Steel Notes

FN10 ALL STRUCTURAL STEEL SHALL BE OF DOMESTIC MANUFACTURING CONFORMING TO ASTM A & STANDARD AISI SPECIFICATIONS.

FN11 REINFORCING STEEL SHALL BE OF NEW BULLET HEAD STRENGTH STEEL OF DOMESTIC MANUFACTURING CONFORMING TO THE LATEST ASTM A113 GRADE (6) FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF THE C.I.A. UNLESS NOTED OTHERWISE, AND PLACING OF REINFORCING SHALL BE IN ACCORDANCE WITH A.C.I. BUILDING CODE, MANUAL OF STANDARD PRACTICE, AND THE CURRENT INTERNATIONAL RESIDENTIAL CODE.

FN12 REINFORCING SHALL HAVE 2" COVER IN FOOTINGS, AND 3" COVER ON MAIN REINFORCEMENT IN STEEL WALLS.

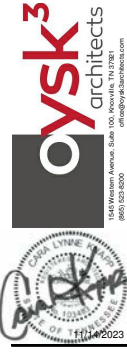
FN13 REINFORCING BARS ARE CONTINUOUS UNLESS NOTED OTHERWISE. LAP REINBAR 12 INCHES AT SPLICES. LAP STEEL WALL BARS 30



PROPERTY INFORMATION:
ADDRESS: 1543 CONNECTICUT AVENUE, KNOXVILLE TENNESSEE 37921
PARCEL ID: 081PG038
ZONING: RN 2 SINGLE FAMILY RESIDENTIAL NEIGHBORHOOD ZONING DISTRICT

SETBACKS:
FRONT: 20', OR THE AVERAGE OF BLOCKFACE, WHICHEVER IS LESS; IN NO CASE LESS THAN 10'
SIDE: 5' OR 15% OF LOT WIDTH, WHICHEVER IS LESS; IN NO CASE LESS THAN 15' COMBINED
CORNER SIDE SETBACK: 12'
REAR: 25'

--- PROPERTY LINE
 - - - - - SETBACK LINE



CUSTOM HOME DESIGN
AMBER CULPEPPER
 1543 CONNECTICUT AVENUE, KNOXVILLE TENNESSEE 37921

DATE	11/14/2023
PROJECT	23143
SCALE	3/32" = 1'-0"
BY	AMBER CULPEPPER
CHECKED	
DATE	

Drawn: ARCHITECTURAL SITE PLAN

FOUNDATION NOTES

1. ASSUME SOIL BEARING PRESSURE OF 2500 PSI. TOPOGRAPHY AND GRADE TO BE DETERMINED BY CIVIL ENGINEER.
2. FOUNDATION IS LAID OUT FOR A SITE WITH NO MORE THAN 10% SLOPE. IF THE SLOPE IS GREATER THAN 10%, CONFER WITH A STRUCTURAL ENGINEER.
3. RADON VENTING- AT RESIDENTIAL OCCUPANCIES WITH SLAB ON GRADE CONSTRUCTION, PROVIDE A 4" PERFORATED PIPE WITHIN THE GRAVEL BASE BELOW THE VAPOR BARRIER. RUN FULL LENGTH OF SLAB CENTERED OR DIAGONAL TO THE AREA. VENT THE PERF PIPE WITH A 4" SOLID PVC VENT PIPE TO ROOF (VTR). EXTENDING 8" ABOVE ROOF. PROVIDE ROOF VENT BOOT AND FLASHING. PAINT PVC TO MATCH ROOFING. SEAL VAPOR TIGHT ALL PENETRATIONS OF THE SLAB, SUCH AS PIPES, DRAINS, CRACKS, ETC.

PLAN NOTE:

CABINETRY AND FURNITURE IS SHOWN FOR PLANNING PURPOSES ONLY. CONTRACTOR TO COORDINATE WITH OWNER.

TYPICAL BLOCKING NOTE:

PROVIDE WOOD BLOCKING IN THE WALLS AS REQUIRED TO SUPPORT & ATTACH ALL WALL HUNG ITEMS SUCH AS CABINETS, BRACKETS, HAND RAILS, GRAB BARS, ETC. THE BLOCKING & ITS ATTACHMENTS SHALL CARRY THE MINIMUM WEIGHT. VERIFY WITH MANUFACTURER.

TYPICAL DECKS, PATIOS & PORCHES:

DECKS, PATIOS & PORCHES TO BE 1/2" BELOW ADJACENT FINISHED FLOOR. FLASHING AT ALL FLOOR TRANSITIONS AT DECK, PATIOS, & PORCHES

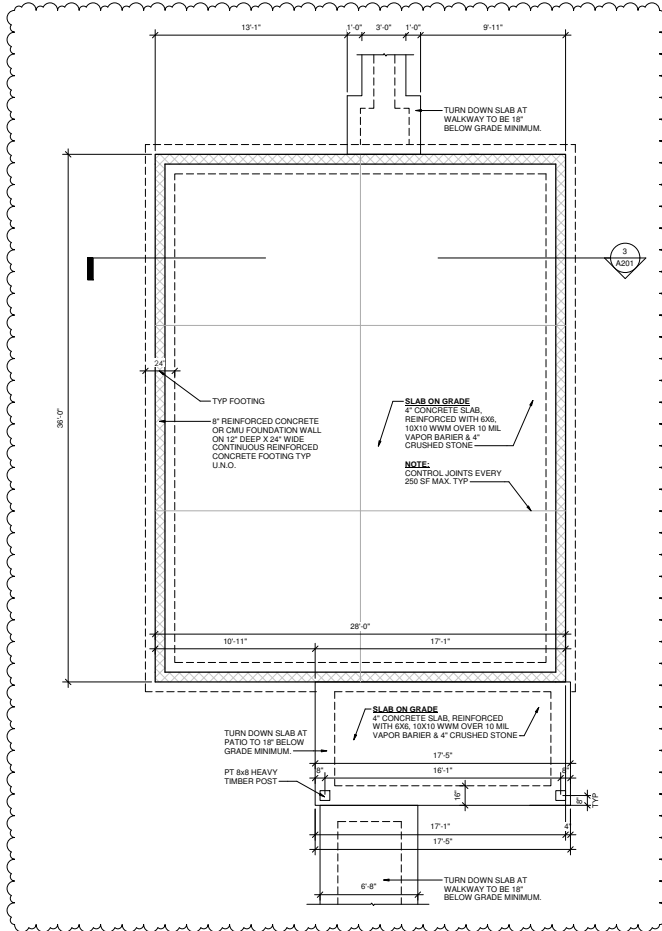
TYPICAL WINDOW NOTE:

TEMPERED GLASS REQUIRED PER THE INTERNATIONAL RESIDENTIAL CODE IN THE FOLLOWING INSTANCES:

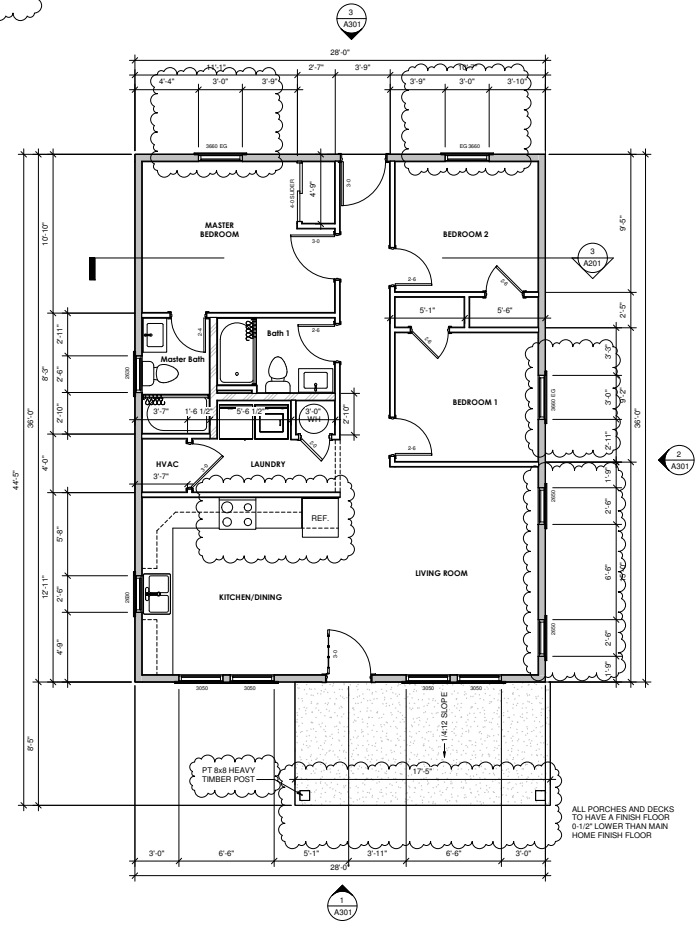
- GLAZING IN DOORS
- GLAZING ADJACENT TO DOORS
- GLAZING THAT IS LESS THAN 60 INCHES FROM WATER HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND SWIMMING POOLS)
- THE EXPOSED AREA OF GLAZING IS LARGER THAN 9 SQUARE FEET.
- THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR.
- THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
- WALKING SURFACES ARE WITHIN 36 INCHES OF THE GLAZING.

WALL LEGEND

- 2x6 EXTERIOR WOOD STUD WALL @ 16" O.C. WITH W R20 BATT INSULATION. 1/2" GYP BOARD INTERIOR SIDE.
- 1/2" PLYWOOD SHEATHING, TYVEK WEATHER BARRIER & SIDING EXTERIOR SIDE (SEE EXTERIOR ELEVATIONS)
- 2x6 INTERIOR WOOD STUD WALL @ 16" O.C. WITH 1/2" GYP BOARD BOTH SIDES
- 2x4 INTERIOR WOOD STUD WALL @ 16" O.C.



2 FOUNDATION PLAN
1/4" = 1'-0"



1 MAIN FLOOR PLAN
1/4" = 1'-0"

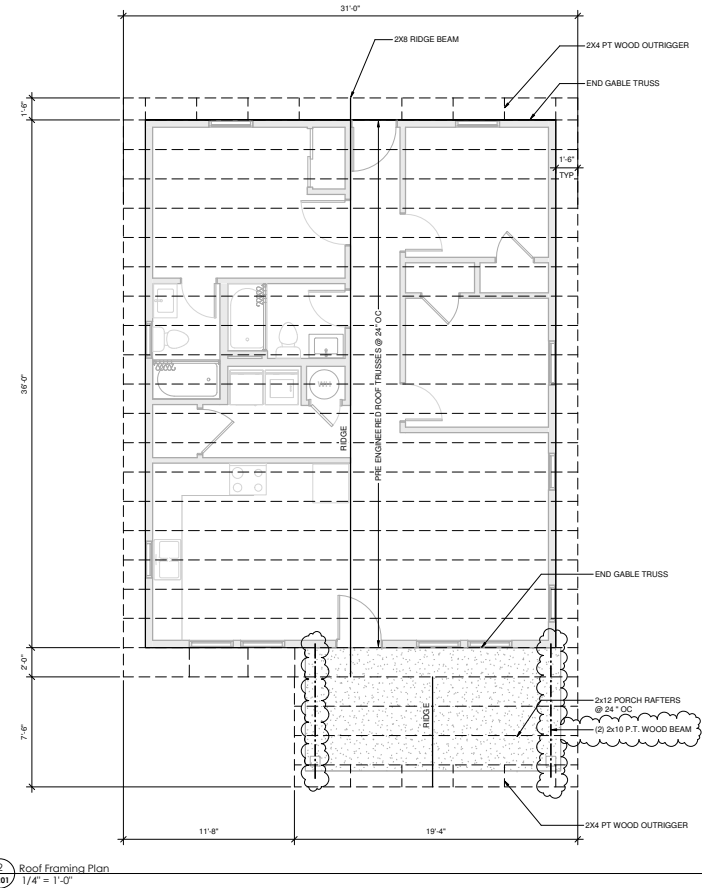
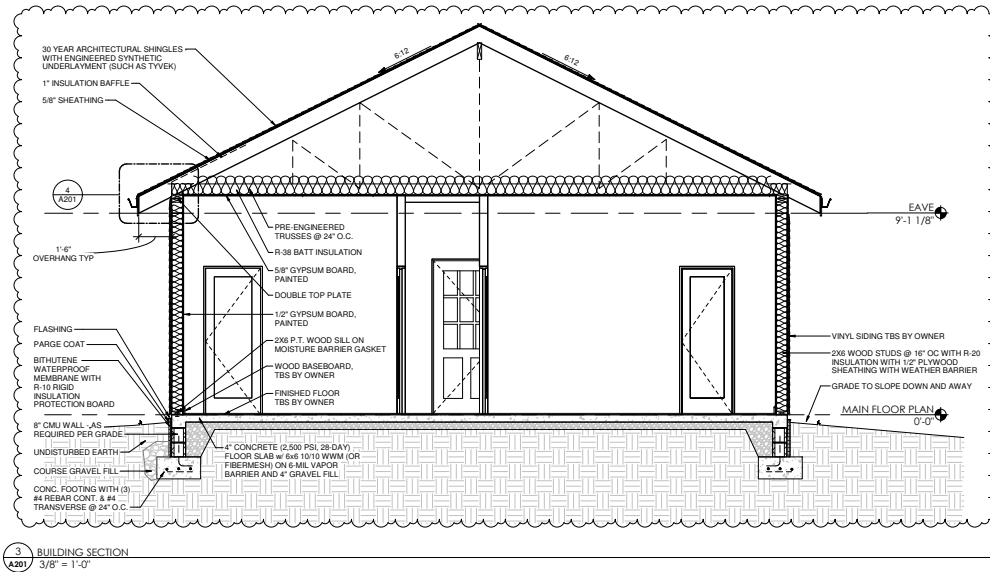
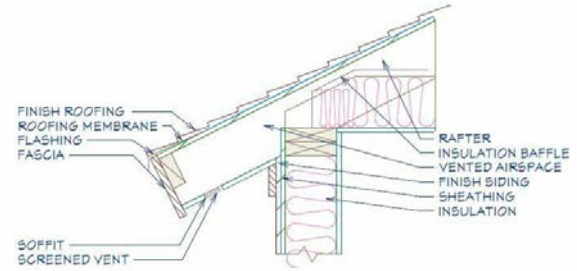
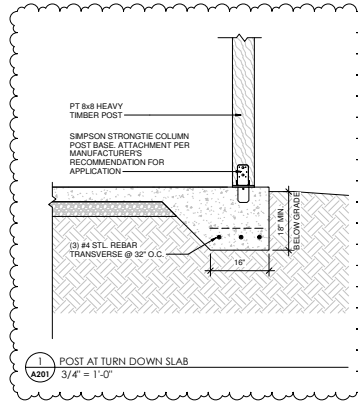


PROJECT NO.	23143
DATE	11/14/2023
DESIGNER	AMBER CULPEPPER
CHECKED BY	
DATE	

Drawn:
FLOOR PLAN & FOUNDATION PLAN

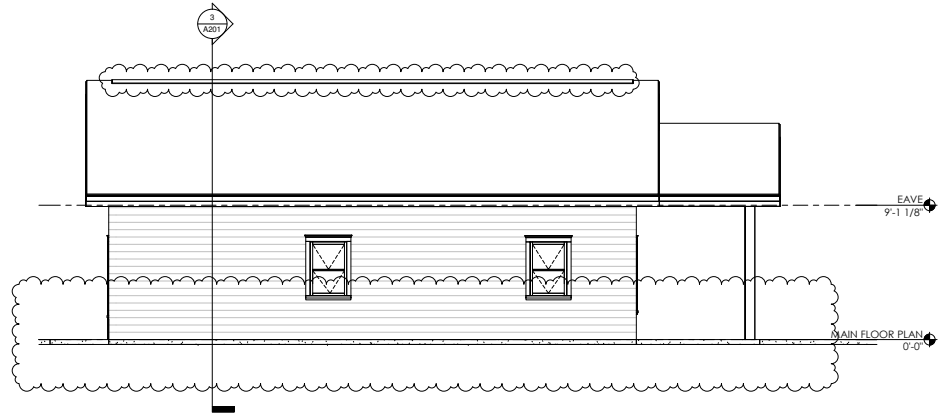
A101

DATE: 11/14/2023
PROJECT: 23143



NO.	DATE	BY	CHKD.
1	11/14/2023	AMBER CULPEPPER	DAN LYNNE

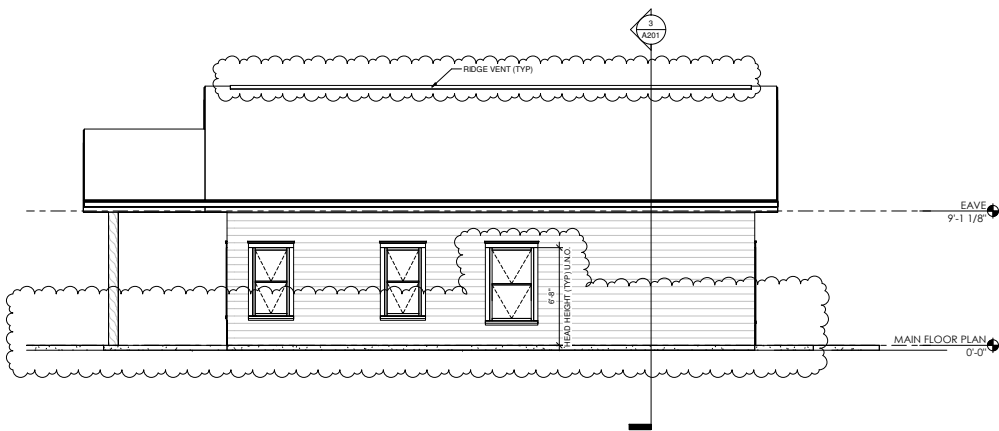
Drawn:
**ROOF FRAMING
 PLAN, WALL
 SECTION &
 DETAILS**



4 LEFT ELEVATION
 A301 1/4" = 1'-0"



3 REAR ELEVATION
 A301 1/4" = 1'-0"



2 RIGHT ELEVATION
 A301 1/4" = 1'-0"



1 FRONT ELEVATION
 A301 1/4" = 1'-0"

CUSTOM HOME DESIGN
 AMBER CULPEPPER
 1543 CONNECTICUT AVENUE, KNOXVILLE TENNESSEE 37921

DATE	11/14/2023
PROJECT	23143
SCALE	1/4" = 1'-0"
BY	AMBER CULPEPPER
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DATE	

Drawn:
 EXTERIOR ELEVATIONS

A301

DATE : 11/14/2023
 PROJECT : 23143



DATE	11/14/2023
PROJECT	U100
SCALE	1/4" = 1'-0"
DRAWN BY	AMBER CULPEPPER
CHECKED BY	AMBER CULPEPPER
DATE	11/14/2023

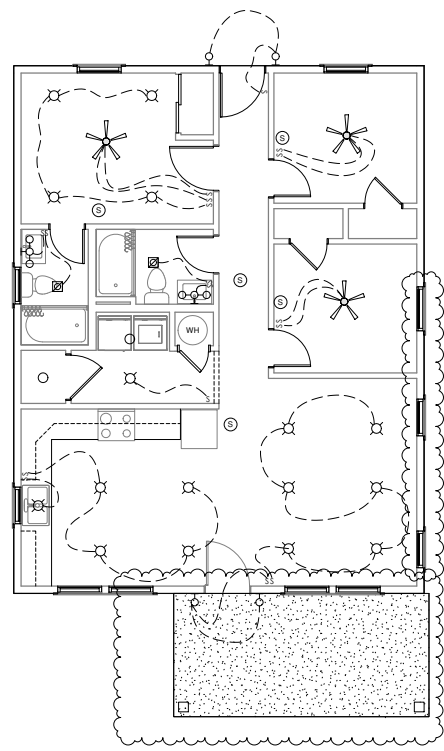
Drawn:
 SCHEMATIC
 LIGHTING PLAN

U100

DATE : 11/14/2023
 PROJECT : 23143
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ELECTRICAL LAYOUT LEGEND	
	RECESSED CAN
	FLUSH MOUNT - DOME LIGHT
	PULL STRING CLOSET LIGHT
	EXHAUST FAN/ LIGHT COMBO
	HVAC SUPPLY (FLOOR)
	HVAC SUPPLY (TOE KICK OF CABINET)
	RETURN
	WALL MOUNT
	VANITY LIGHT
S	SINGLE POLE SWITCH
S.	THREE WAY SWITCH
S.	FOUR WAY SWITCH
	CEILING FAN W/ LIGHT
	DUPLEX RECEPTACLE
	GFCI RECEPTACLE
	DENOTES HEIGHT ON WALL
	WATERPROOF RECEPTACLE
	RANGE RECEPTACLE
	DRYER RECEPTACLE
	SPECIALTY RECEPTACLE
	FLOOR SINGLE RECEPTACLE
	FLOOR DUPLEX RECEPTACLE
	ABOVE COUNTER, GFCI
	CEILING
	LOW WALL RETURN GRILL
	SMOKE DETECTOR

- CEILING NOTES**
1. LIGHT FIXTURES, DIFFUSERS, GRILLES, AND OTHER EQUIPMENT ARE LOCATED ON THE REFLECTED CEILING PLAN. IF LOCATIONS CONFLICT WITH STRUCTURAL COMPONENTS, THE CONTRACTOR SHALL CONSULT THE ARCHITECT PRIOR TO REVISIONS.
 2. LIGHT FIXTURES, FIRE & ALARM DEVICES, AND OTHER CEILING ELEMENTS ARE TO BE CENTERED IN GYPSUM CEILING, PANEL OR SCOFFIT UNLESS NOTED OTHERWISE.
 3. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR EXACT SIZES AND SPECIFICATIONS OF LIGHT FIXTURES, DIFFUSERS, GRILLES, AND OTHER EQUIPMENT.
 4. CENTER ALL SURFACE MOUNTED LIGHT FIXTURES IN ROOMS WITH HARD CEILINGS IN CLEAR DIMENSION OF EACH DIRECTION U.N.D.
 5. FIELD COORDINATE PLENUM SPACE AS REQUIRED AND NOTIFY ARCHITECT OF VARIATION.
 6. CENTER EXIT SIGNS OVER DOOR FRAMES U.N.D.



1 Lighting Plan
 U100 1/4" = 1'-0"