

Staff Report

Infill Housing Design Review Committee

File Number: 1-A-24-IH

Meeting: 1/17/2024

Applicant: Amber Culpepper Lafayette Properties, LLC **Owner:** Amber Culpepper Lafayette Properties, LLC

Property Information

Location: 1543 Connecticut Ave. Parcel ID 81 P G 038

Zoning: RN-2 (Single-Family Residential Neighborhood)

District: Lonsdale Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary structure fronting Connecticut Ave. One-story residence features a front-gable roof (6/12 pitch), an exterior of vinyl lap and board-and-batten siding, and a slab foundation. The house measures 28' wide by 44'-5" deep and features a partial-width porch with a front-gable roof, projecting from the right side of the foundation. Parking is located to the rear of the house and accessed from the alley.

The façade (southeast) is three bays wide, featuring paired one-over-one windows flanking a central door. The porch is supported by two 8 by 8 wood posts. Gable fields are clad in board-and-batten siding. The right elevation features three double-hung windows, with two on the left elevation, and two windows flanking a secondary entry on the rear elevation.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

- 1. Front Yards
- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.
- 2. House Orientation and Side Yards
- New housing should be proportional to the dimensions of the lot and other houses on the block.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.
- 3. Alleys, Parking, and Services
- Parking should not be in front yards.
- On streets without alleys, garages or parking areas should be at least 20 feet behind the front façade of the infill

house with access limited to one lane between the street and the front façade.

- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Materials

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

11. Landscaping and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.

Comments

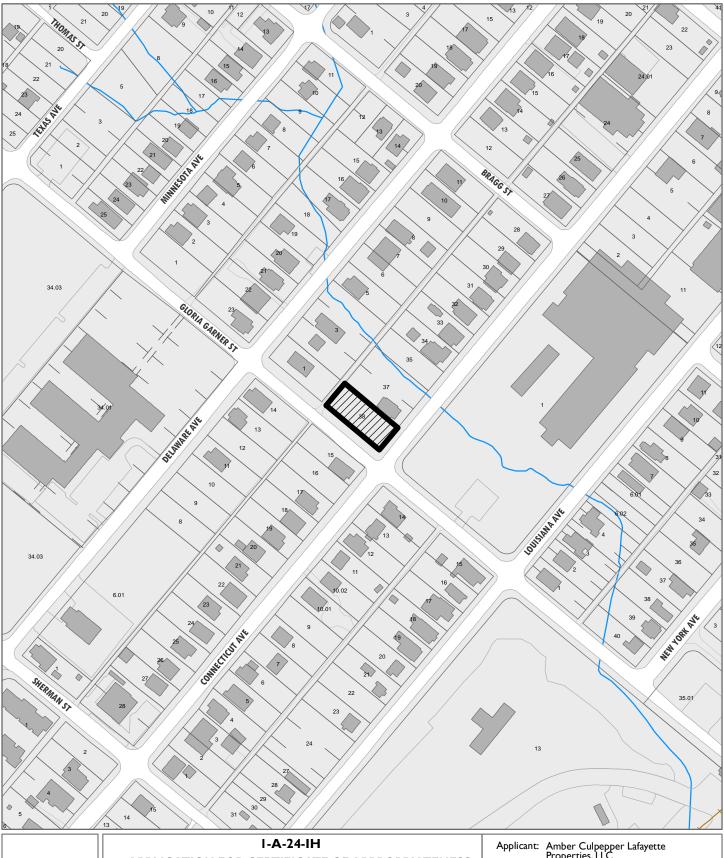
1. The proposed front setback is not clarified on the site plan, but shown as significantly recessed from the 20' front setback requirement. The average front setback of the blockface is 20.5', with the adjacent house at 16'. The house should be moved towards the front property line to align with the blockface. The site plan includes a walkway to the sidewalk.

- 2. The block to receive new construction is characterized by modified Queen Anne cottages and infill construction. The one-story, three-bay house is proportional to the dimensions of the lot and the context of the block.
- 3. The proposed parking meets the Infill Housing zoning code and design guidelines, accessed from an alley and located to the rear of the house. Final site plan revisions may be necessary to meet City Engineering standards.
- 4. The house's façade is similar in scale and width to historic houses on the block and neighborhood. The house is proposed for a concrete slab foundation; the foundation should be elevated to at least 12"-18" to reflect foundation heights in the context.
- 5. The house features an 8' deep, partial-width front porch supported by 8 by 8 square columns. The porch is compatible with the design of the house and the surrounding context.
- 6. Guidelines recommend window and door styles be similar, with similar proportions and ratio of solid to void, to historic houses on the block. All elevations have sufficient window proportions.
- 7. The proposed roof pitch, 6/12, is the minimum typically approved in the Infill Housing overlay.
- 8. Final horizontal siding materials should incorporate an overlap instead of Dutch lap or flush panel siding. The foundation should be clad in stucco or a parge coat instead of exposed CMU.
- 9. The final site plan should incorporate one native or naturalized shade tree in the front and rear yards.

Recommendation

Staff recommends approval of Certificate 1-A-24-IH, subject to the following conditions: 1) final site plan to meet City Engineering standards; 2) front setback to be revised to align with blockface; 3) final site plan to incorporate native or naturalized shade trees in the front and rear yards; 4) foundation height to measure at least 12" to be compatible with the neighborhood context.

Page 3 of 3 Planner in Charge: Lindsay Crockett 1-A-24-IH 1/9/2024 1:40:04 PM



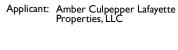
INFILL HOUSING REVIEW BOARD

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



1543 Connecticut Ave. Lonsdale Infill Housing Overlay District

Original Print Date: 1/3/2024 Revised: Knoxville/Knox County Planning - Infill Housing Design Review Committee







DESIGN REVIEW REQUEST

☐ DOWNTOWN DESIGN (DK)

☐ HISTORIC ZONING (H)

☐ INFILL HOUSING (IH)

Applicant		
	January 17, 2023	1-A-24-IH
Date Filed N	Meeting Date (if applicable)	File Number(s)
CORRESPONDENCE All correspondence related to this application	should be directed to the approved contac	t listed below.
☐ Owner ☐ Contractor ☐ Engineer [Architect/Landscape Architect	
Name	Company	
Address	City	State Zip
Phone E	Email	
CURRENT PROPERTY INFO Owner Name (if different from applicant)	Owner Address	Owner Phone
Owner Name (ii dillerent from applicant)	Owner Address	Owner Phone
Property Address	Parcel II	D
Neighborhood	Zoning	
AUTHORIZATION		
Lindsay Crockett Staff Signature	Lindsay Crockett	12.18.23
Staff Signature	Please Print	Date
Ambee Culpepper		
Applicant Signature	Please Print	Date

REQUEST

DOWNTOWN DESIGN	Level 1: ☐ Signs ☐ Alteration of an existing building/structure Level 2: ☐ Addition to an existing building/structure Level 3: ☐ Construction of new building/structure ☐ Site design, parking, plazas, lands are required Downtown Design attachment for more details. ☐ Brief description of work:		
HISTORIC ZONING	Level 1: Signs Routine repair of siding, windows, roof, or other features, in-kin Level 2: Major repair, removal, or replacement of architectural elements or material Level 3: Construction of a new primary building Level 4: Relocation of a contributing structure Demolition of a contributing structure Demolition of a contributing structure Brief description of work:	ls	
INFILL HOUSING	Level 1: Driveways, parking pads, access point, garages or similar facilities Sullevel 2: Additions visible from the primary street Changes to porches visible for the level 3: New primary structure Site built Modular Multi-Sectional See required Infill Housing attachment for more details. Brief description of work:		
STAFF USE ONLY	ATTACHMENTS Downtown Design Checklist Historic Zoning Design Checklist Infill Housing Design Checklist ADDITIONAL REQUIREMENTS Property Owners / Option Holders Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500	FEE 1: FEE 2: FEE 3:	TOTAL:

CUSTOM HOME DESIGN AMBER CULPEPPER

1543 CONNECTICUT AVENUE, KNOXVILLE TENNESSEE 37921

OWNER

LAFEYETTE INVESTMENTS, LLC
P.O. BOX 32454
KNOXVILLE, TENNESSEE 37930
CONTACT: AMBER CULPEPPER
EMAIL: AMBER@LAFAYETTE.NVESTMENTS.COM
CELL PHONE: (865) 292-8995

ARCHITECT

OYSK³ ARCHITECTS 1545 WESTERN AVENUE, SUITE 100 KNOXVILLE, TN 37921 CONTACT: CARA KNAPP PHONE: 855-523-8200 EMAIL: OFFICE@OYSK3ARCHITECTS.COM

DETAIL CALLOUT

ELEVATION KEY

Direction of Vi

ECTION KEY











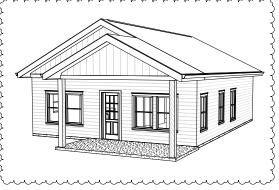
POT ELEVATION













SHEET NUMBER	SHEET NAME	Sheet Issue Date	Current Revision Description	Current Revision Date
01 - GENERAL			•	•
G000	COVER	11/14/2023	REVISION 1	12/12/2023
G001	GENERAL	11/14/2023		
G002	GENERAL	11/14/2023		
05 - ARCHITECTURAL			•	•
A100	ARCHITECTURAL SITE PLAN	11/14/2023	REVISION 1	12/12/2023
A101	FLOOR PLAN & FOUNDATION PLAN	11/14/2023	REVISION 1	12/12/2023
A201	ROOF FRAMING PLAN, WALL SECTION & DETAILS	11/14/2023	REVISION 1	12/12/2023
A301	EXTERIOR ELEVATIONS	11/14/2023	REVISION 1	12/12/2023
U100	SCHEMATIC LIGHTING PLAN	11/14/2023	REVISION 1	12/12/2023

		SCOPE OF WORK:
PARCEL ID	081PG038	
SUBDIVISION	LONSDALE LAND CO	HOME DESIGN FOR A 1000 SQ FT 1 STORY HOME ON A CRAWL SPACE. HOME HAS 3 BEDROOMS AND 2 FILL BATHS
PROPERTY ZONE	RN-2 SINGLE-FAMILY RESIDENTIAL NEIGHBORHOOD ZONING DISTRICT	
PROPERTY SIZE	8,640 SF 0.20 ACRES	ADOPTED CODES: ALL WORK SHALL BE PERFORMED IN ACCORDANCE
BUILDING SQUARE FOOTAGE	MAIN FLOOR: 1008	WITH LOCAL CODES, COVENANTS:
FLOOR LEVELS	ONE	COVERMINTS.
CONSTRUCTION CLASSIFICATION	V-B, UNPROTECTED, UNSPRINKLERED	2018 Int'l. Residential Code 2018 Int'l. Mechanical Code 2018 Int'l. Plumbing Code
OCCUPANCY CLASSIFICATION	RESIDENTIAL	2018 Int'l. Fire Code 2018 Int'l. Energy Conservation Code
OCCUPANT LOAD	3 BEDROOMS = 6 OCCUPANTS	2018 Intil. Fuel Gas Code
RATED WALLS	NONE	
MAX BUILDING HEIGHT ACTUAL HEIGHT	35-0 14-10*	ALL MATERIALS USED ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED DETAILS & INSTRUCTIONS.
DETECTION AND ALARM SYSTEMS	LINE VOLTAGE, INTERCONNECTED, SMOKE	Fire Resistance
	DETECTORS IN FACAI BEDROOM AND OUTSIDE FACH BEDROOM WITH BATTERY BACKUP. SMOKE ALARM TO BE PLACED NO LESS THAN 3'0 HORIZONTALLY FROM A BATHROOM DOOR CONTAINING A BATH TUB/SHOWER	EXTERIOR WALLS: 0 HR. INTERIOR WALLS: 0 HR. ROOF CONSTRUCTION: 0 HR. FLOOR CONSTRUCTION 0 HR.
EMERGENCY ILLUMINATION	NOT REQUIRED	Design Loads
MAX TRAVEL DISTANCE TO EXITS	< 75'	FLOOR, 1st: 40 PSF LIVE + 10 PSF DEAD ROOF: 30 PSF LIVE + 17 PSF DEAD* FLOOR, 2nd: 40 PSF LIVE + 10 PSF DEAD
FIRE EXTINGUISHERS	PROVIDED BY OWNER	SLEEPING AREAS: 30 PSF LIVE + 10 PSF DEAD INTERIOR STAIRS: 40 PSF LIVE + 10 PSF DEAD EXTERIOR DECKS: 60 PSF LIVE + 10 PSF DEAD
		*REFER TO SNOW LOAD & WIND LOAD PER SECTION R301 OF THE INT'L. RESIDENTIAL CODE (IRC).
		SEISMIC LOADING TO BE BASED ON REQUIREMENTS SECTION R301 OF THE IRC.



CUSTOM HOME DESIGN
AMBER CULPEPPER
1543 CONNECTICUT AVENUE, KNOXVILLE
37921

DRAWN:

G000

DATE: 11/14/2023 PROJECT: 23143 G2 THE CONTRACTOR AND SUB-CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK, AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT

G3 CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL

G4 THESE DRAWINGS DO NOT CONTAIN COMPLETE SPECIFICATIONS, DETAILS, OR INFORMATION REQUIRED FOR THE INTERIOR FINISHES OF THE PROJECT. ADDITIONAL INFORMATION SHALL BE OBTAINED FROM THE OWNER OR INTERIOR DESIGNER/DECOPATOR. RED FOR

G5 ALL SITE WORK & LANDSCAPING IS TO BE ESTABLISHED & DESIGNED BY OTHERS THAN THE ARCHITECT.

G6 UNLESS SHOWN ON THESE DRAWINGS, ALL MECHANICAL WORK SUCH AS, BUT NOT LIMITED TO, ELECTRICAL PLUMBER, THEATING, AIR CONDITIONING, VENTLATING, ETC., ARE TO BE ESTABLISHED BY OTHERS THAN THE ARCHITECT.

G7 THE ARCHITECT TAKES NO RESPONSIBILITY FOR MODIFICATIONS TO THESE DRAWINGS THAT ARE NOT REVIEWED & APPROVED BY THE ARCHITECT.

G9 ALL DESIGNS AND/OR PLANS ARE NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT AND OWNER.

G10 ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO GROENING A INSTALLING ANY COURSENT OF MATERIALS DIGITAL COPIES IN POF FORMAT MAY BE EMAILED TO PROJECT MANAGER IN THE ARCHITECT OFFICE CONTRACTOR MUST CHECK ALL SHOP DRAWINGS, NOTING ANY DESCREPARCIES PROOF TO SUBMISSION.

G11 THE CONTRACTOR MAY SUBMIT FOR APPROVAL, 10 DAYS PRIOR TO PRESENTATION OF NEGOTIATED PRICE TO OWNER, ALTERNATE MANUFACTURERS OF ALL ITEMS SPECIFIED ON THESE DRAWINGS.

G12 STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH THE ARCHITECTURAL MECHANICAL, & ELECTRICAL DRAWINGS TO LOCATE DEPRESSED SLABS, SLOPES, DRAINS, REGLETS, BOLT SETTINGS, ETC. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEDOIN WITH THE WORK.

G13 DESIGN LOADS DO NOT INCLUDE SUPERIMPOSED LOADS SUCH AS AIC UNITS AND OTHER MECHANICAL EQUIPMENT. SHOP DRAWINGS OF EQUIPMENT AND PROPOSED SUPPORT FARMING SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

S: Site Notes

S1 GENERAL CONTRACTOR TO VERIFY THE EXISTING TOPOGRAPHIC LEVELS, LOCATIONS OF TREES, AND THE PROPOSED HOUSE LOCATION. GENERAL CONTRACTOR TO COMMUNICATE TO OWNER AND ARCHITECT ANY RECOMMENDED CHANGES BEFORE THE START OF ANY WORK

OR LICENSED SURVEYOR STAKE OUT OR VERIFY THE HOUSE LOCATION TO ENSURE THAT THE HOUSE DOES NOT ENCROACH ON ANY SETBACKS OR EASEMENTS, UNLESS THE ENCROACHMENT IS ALLOWED BY ZONING AND BUILDING CODES, GENERAL CONTRACTOR TO COMMUNICATE TO OWNER AND ARCHITECT ANY ENCROACHMENT ISSUES.

\$\frac{\mathbb{S}}{2}\$ NO EXCAVATION SHALL BE MADE WHOSE DEPTH BELOW THE FOOTING IS GREATER THAN; THE HORIZONTAL DISTANCE FROM THE NEAREST EDGE OF THAT FOOTING.

S4 ALL BACKFILL AT STRUCTURES, SLABS, STEPS, & PAVEMENTS SHALL BE CLEAN FILL. COMPACT TO 95% MAX.
DRY DENSITY DETERMINED IN ACCORDANCE WIT A.S.T.M.
D-1557, BUILDING SITE SHALL BE DRY SO THAT EROSION W.

<u>\$5</u> BACKFILL SHALL BE BROUGHT UP EQUALLY ON EACH SIDE OF WALLS.

S6 BACKFILL ADJACENT TO BASEMENT/RETAINING WALL SHALL NOT BE PLACED UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFILL

ST GENERAL CONTRACTOR TO COORDINATE FINISH TOPOGRAPHIC GRADING AND PAVING OF WALKS, DRIVEWAYS, PATIOS, ETC., AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM THE HOUSE

DRIVEWAY SHALL BE ON UNDISTURBED OR COMPACTED, ORGANIC SUBSOIL, WITH EITHER MINIMUM 4* HER-RUN GRAVEL WITH 4* FIBER-MESH REINFORCED RETE, OR 11" ASPHALT BASE WITH 1* FINISH ASPHALT.

S9 GENERAL CONTRACTOR TO COORDINATE ALL SS GENERAL CONTRACTOR TO COORDINATE ALL LANDSCAPING WITH THE OWNER, AND DETERMINE WHET THE LANDSCAPING PACKAGE IS TO BE PROVIDED BY THE GENERAL CONTRACTOR OR BY OTHERS.

C: Construction Notes

C1 THESE PLANS ARE DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE, LOCAL OFIDNINGES & REGULATIONS, ETC.; THESE ARE TO BE CONSIDERED AS PART OF THE SPECIFICATIONS OF THIS BUILDING. CONTRACTOR SHALL VERIFY REQUIREMENTS WITH THE LOCAL CODES ENFORCEMENT OFFICER & TO AMEND THE

DETAILS & PROCEDURES TO ENSURE A STHUCTURALLY SOUND & WEATHERPROOFED FINISHED PRODUCT. CONTRACTOR TO NOTIFY THE OWNER & THE ARCHITECT OF ANY ITEMS WHICH ARE PERCEIVED AS POTENTIAL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.

C4 THE ARCHITECT HAS NOT BEEN ENGAGED FOR CONSTRUCTION SERVICES OF ANY KIND. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFET PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK

C5. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF STUD WALL TO OUTSIDE FACE OF STUD WALL UNLESS NOTED OTHERWISE. STUD WALLS NOT DIMENSIONED ARE TYPICALLY OF 24 (34) CONSTRUCTION.

<u>C6</u> WINDOW SIZES INDICATED ON THE PLAN ARE NOTED BY GENERIC SASH SIZES. CONTRACTOR TO COORDINATE ROUGH OPENING REQUIREMENTS WITH THE WINDOWS SPECIFIED.

C7 REFER TO FLOOR PLAN & EXTERIOR ELEVATIONS FOR THE TYPES OF WINDOWS.

CB CONTRACTOR TO ENSURE THAT PREFAB FIREPLACE CONSTRUCTON MEET OR EXCEEDS ALL APPLICABLE CODES. PLUE HEIGHT TO MEET HEIGHT SOWNOM ON ELEVATIONS. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN & BACK DRAFT DIMMER, FOR FIREPLACES, WOOD STOVES & ANY APPLIANCE WITH AN OPEN FLAME, ALL PREPLACE CHASS.

C10 CONTRACTOR TO CONSULT & COORDINATE WITH THE OWNER & THE PLANS FOR ALL BUILT-IN REQUIREMENTS, NCLUDING SHELVING, CLOSETS, PANTRY, BOOKCASES, ETC.

C11 CONTRACTOR TO CONSULT & COORDINATE WITH THE SYSTEMS, CENTRAL VACUUM & ANY AUDIO, COMPUTER & TELEVISION (INCLUDING SATELLITE) SYSTEMS.

C12 PROVIDE FLASHING ABOVE ALL WINDOWS, DOORS & OTHER OPENINGS TO THE EXTERIOR. PROVIDE WEEPS AT MASONRY CAVITY FLASHING, SPACED @16" O.C.

C13 PROVIDE TYVEK "HOUSE WRAP" MOISTURE BARRIER OVER ALL ESTERIOR WALLS, FLASH ALL WINDOW & OTHER OPENINGS IN EXTERIOR WALLS WITH TYVEK FLEXIBLE FLASHINGS.

C14 PROVIDE TRANSITION TRIM AT CHANGE OF FLOOR

C15 WITERPROF ALL BASEMENT WILL BELOW BRADE WITT ROADS TO THE PROFIT REPORT OF THE ATTEMPT OF THE PROPORTING GET AND FROM A PLANT OF THE ATTEMPT OF THE PROPORTION OF THE ATTEMPT OF THE A

C16 THE WINDOW ROUGH OPENING HEAD HEIGHT AT THE

FN: Foundation Notes

FN1 GENERAL CONTRACTOR TO INSPECT THE JOB SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING CONSTRUCTION. GENERAL CONTRACTOR TO COMMUNICATE TO THE OWNER AND/OR ARCHITECT ANY CONDITIONS REGARDING SOLLS. GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN BY A LIFEWEED

AND DETAILS FOR DIMENSION OF FINISHED FLOOR ABOVE
TYPICAL GRADE. GENERAL CONTRACTOR TO COMMUNICATE TO
THE ARCHITECT ANY SITE CONDITIONS THAT REQUIRE
MONEY ATTIONS TO DIMENSIONS INDICATED ON IT ANY SECTIONS, OR EXTERIOR ELEVATIONS

FN3 GENERAL CONTRACTOR TO REVIEW THE FOUNDATION

FN4 ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF BLOCK OR CONCRETE WALL TO OUTSIDE FACE OF BLOCK OR CONCRETE WALL, AND TO CENTERLINE OF BLOCK PIERS, UNLESS OTHERWISE NOTED.

FN5 ALL CONCRETE TO BE PLACED IN THE DRY, NO CONCRETE SHALL BE PLACED LATER THAN NINETY (99) MINUTES AFTER MIXING HAS BEGUN. DEPOSIT CONCRETE IN ITS FINAL POSITION WITHOUT SEGREGATION & REHANDLING.

FN7 GENERAL CONTRACTOR TO COORDINATE WITH A LICENSED, BONDED INSTALLER TO PROVIDE TERMITE TREATMENT WHICH COMPLIES WITH ALL LOCAL BUILDING

FN8 DIMENSION FROM CRAWL SPACE SOIL SURFACE TO BOTTOM OF FLOOR JOISTS TO BE 24" MINIMUM. PROVIDE CF SPACE VENTILATION PER LOCAL CODE REQUIREMENTS.

MATERIALS. ALL FINISH FLOORS TO BE INSTALLED ARE TO E FLUSH WITH ADJACENT FLOORS OF SIMILAR OR DISSIMILAR MATERIALS, GENERAL CONTRACTOR TO ADJUST THE FOLIMINATION AS REQUIRED TO ENSURE THAT ALL FLOORS ARE

Foundation Steel Notes
FN10 ALL STRUCTURAL STEEL SHALL BE OF DOMESTIC
MANUFACTURING CONFORMING TO ASTM A-36 & STANDARD
AISC SPECIFICATIONS.

FN11 RENPORCING STEEL SHALL BE OF NEW BILLET INGESTREACH STEEL OF DOMESTE MANIFACTURING FABRICATED IN ACCORDANCE WITH MANILL OF STANDARD PRACTICE OF THE CRS.L UNLESS NOTED OTHERWISE, AND PLACING OF PREPORCING SHALL BE IN ACCORDANCE WITH A CL BULDING CODE, MANIAL OF STANDARD PRACTICE, AND THE CURPAIN THERMICINAL RESEDENTAL CODE.

FN12 REINFORCING SHALL HAVE 3" COVER IN FOOTINGS, AND 2" COVER ON MAIN REINFORCEMENT IN STEM WALLS

FN13 REINFORCING BARS ARE CONTINUOUS UNLESS NOTED OTHERWISE. LAP MESH 12 INCHES AT SPLICES, LAP STEM WALL BARS (32 BAR DIAMETERS) AT SPLICES, MINIMUM.

FN14 AT OUTSIDE CORNERS OF CONCRETE FOOTINGS & STEM WALLS, PROVIDE 44 x 410° CORNER BARS IN EACH FACE AT SAME SPACING AS HORIZONTAL REINFORCEMENT.

FN15 ALL WELDING TO BE PER "CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION*, LATEST EDITION, AND PER AWS 01.1 STRUCTURAL WELDING CODE, SECTION 2207, BY AMERICAN WELDING SOCIETY.

FN16 PROVIDE \$ 27 \2 27 \2 27 \2 WELD PLATE FOR BEARING STEEL BEAM IN CMU WALL WITH ONE \$ 25 H.S. ANCHOR STUD. FN17 PROVIDE & STIFFENER PLATE ON EACH SIDE OF BEAMAT

Concrete Footing Notes
FN18 ALL FOOTINGS TO REST ON UNDISTURBED OR
COMPACTED SOIL OR GRAVEL WITH A MINIMUM BEARING
CAPACITY OF 2010 LBS. PER SQ. FT. EXCAVATE SOFT SOLS WHERE NECESSARY AND FILL WITH 8,000 PSI CONCRETE. FORM SIDES OF FOOTINGS WITH WOOL

FN19 GENERAL CONTRACTOR TO VERIFY FOOTING DEPTHS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS, WHICHEVER IS MORE RESTRICTIVE.

FN20 (A) TOPS OF FOOTINGS ARE AT SAME ELEVATION AT JUNCTURE OF WALL FOOTING AND COLUMN FOOTING; (B) WALL FOOTING ENIPOCEMENT TO FUN CONTINUOUS THROUGH COLUMN FOOTING REINFORCEMENT TO RUN CONTINUOUS THROUGH COLUMN FOOTING; (C) BOTTOM OF FOOTING OF HIGHER FOOTING TO STEP TO BOTTOM OF LOWER FOOTING AT SLOPE OF 1-VERTICAL TO

FN21 CONCRETE IN FOOTINGS SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF NOT LESS THAN 3 000 PSI AT 28 DAYS. CONCRETE FOOTINGS SHALL NOT BE PURED THROUGH WATER, AND SHALL BE PROTECTED FROM FREZING DURING DEPOSITION AND FOR A PERIOD NOT LESS THAN 5 DAYS THEREAFTER.

FN22 ALL FOOTINGS SHALL BE CENTEREDS UNDER WALL OR COLUMN, UNLESS OTHERWISE NOTED ON PLANS.

FN23 FOOTING SIZES SHOWN ARE ONLY TYPICAL FOR STATED SOIL PRESSURES AND CONTINENT COMPACTION,

FN25 BONDING:
MISOSINY WALLS AND PARTITIONS SHALL BE SECURELY
MISOSINY WALLS AND PARTITIONS SHALE BE SECURELY
ONE OF THE POLLOWING METHODS:
PILAYING AT LESS TONS OF THE WITH STATE AN INTERSECTION
AND AND AND THE STORY OF THE WITH STATE AND THE SHAME
BEARING OF NOT LESS THAN # UPON THE UNIT BELOW;

HORIZONTAL MORTAR JOINTS AT 16" O.C., AND #4 REBAR VERTICAL IN GROUT-FILLED CMU CELLS AT 48" O.C.

FN29 TIE ALL CMU WALLS TO CONCRETE FOOTINGS AT EACH VERTICAL REBAR, OR AT 46" O.C., AND AT EACH CORNER, AND ON BOTH SIDES OF OPENINGS.

FN30 PROVIDE CONTINUOUS BOND BEAM AT TOP OF CAMU WALLS. FILL WITH STRUCTURAL GROUT OR CONCRETE, COVERING ONE CONTRUCUS & REBAR, PROVIDE A BOND BEAM LINTEL OVER EACH OPENING IN CMU WALL, BEARING 16" ON EACH SIDE.

Foundation CMU Notes
FN24 FROST PROTECTION:
ALL MASONRY SHALL BE PROTECTED AGAINST FREEZING FOR
NOT LESS THAN 48 HOURS AFTER INSTALLATION, AND SHALL
NOT BE CONSTRUCTED BELOW 28 DEGREES F ON RISING TEMPERATURES OF RELOW 36 DECREES E

BEARING OF NOT LESS THAN 8" OFFON THE UNIT BELOW;

"THEY MAY BE ANCHORED WITH NOT LESS THAN 3_{8"}

CORROSION RESISTANT METAL WIRE TIES OF JOINT

REINFORCEMENT AT VERTICAL WITEFAULS NOT TO EXCEED 24";

OR BY OTHER EQUIVALENT APPROVED ANCHORAGE.

FN28 ALL CMU WALLS MORE THAN SIX COURSES IN HEIGHT TO BE RENFORCED WITH TRUSS-TYPE WIRE REINFORCING IN

P1 PLUMBING SUBCONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY

P2 PROVIDE GAS SERVICE TO ALL WATER HEATERS AND HVAC EQUIPMENT AS REQUIRED.

P4 LOCATE WATER HEATERS IN WATER-RETAINING PANS.
PROVIDE AUXILIARY DRAIN TO OUTSIDE FOR POSSIBLE
OVERSELOW

P5 ALL PLUMBING AND MECHANICAL VENT STACKS TO BE PD ALL PLUMBING AND MECHANICAL VENT STACKS TO BE LOCATED CLOSE TOGETHER IN THE ATTIC. VENT STACKS TO BE LOCATED TO THE REAR OF THE HOUSE, AWAY FROM PROMINENT VIEW. ALL VENT STACKS TO BE PRIMED & PAINTED TO CLOSELY MATCH HOOF COLORI.

P6 PROVIDE HOSE BIBS AS PER FOUNDATION AND FIRST FLOOR PLAN LOCATIONS. GENERAL CONTRACTOR TO COORDINATE THESE LOCATIONS WITH OWNER.

PT PROVIDE AN INSIDE MAIN WATER CUTOFF AND PRESSURE REDUCING VALVE AT AN EASILY ACCESSED LOCATION.

P3 IF WALL PLATES OR JOISTS ARE CUT DURING THE INSTALLATION OF PLUMBING FIXTURES OR EQUIPMENT. PROVIDE BRACING TO TIE FRAMING BACK TOGETHER.

FN31 REINFORCE OPENINGS IN CMU WALLS WITH ONE #4 REBAR IN ONE GROUT-FILLED CELL-COLLIMIN ON EACH SIDE OF OPENING, CONTINUOUS FROM CONCRETE FOOTING, THROUGH LINTEL, TO BOND BEAM AT TOP OF WALL.

P: Plumbing Notes

FN32 REINFORCE CORNERS OF CMU STRUCTURES WITH ONE #4 REBAR IN EACH OF THREE ADJACENT, GROUT-FILLET CELL-COLLINNS AT CORNERS, CONTINUOUS FROM CONCREFOOTING TO BOND BEAM AT TOP OF WALL.

FN33 OVERLAP ALL REBAR SPLICES 24" MINIMUM. COVERAGE OF ALL REBAR TO BE 3" MINIMUM.

FN34 ALL MASONRY AND/OR CONCRETE WALLS BELOW GRADE SHALL BE DAM-PROOFED & WATERPROOFEDSA REQUIRED BY LR.C., SECTION R406.

Concrete Slab Notes
FN35 UNLESS OTHERWISE NOTED, ALL SLABS ON GRADE TO
BE 3500 P.S.L. CONCRETE (28 DAY COMPRESSIVE STRENSTH)
ON 4"SAND OR GRAVEL FILL MINIUM, INTERIOR SLABS TO BE
PLACED ON 8mil STABILIZED POLYETHYLENE VAPOR BARRIER.

FN36 (A) CONCRETE SLAB ON GRADE SHALL HAVE MINIMUM PINSO (A) CONCRETE STAR ON GRADE SHALL HAVE MINIMUM THICKNESS OF 4.1 THICKNESS OF 0° AT LOAD-BEARING WALLS; (B) SLAB SPAN: 6'-0' TO 7'-0'; (c) TYPE OF REINFORCEMENT: 6:6-1010 WWM; (d) PROVIDE PRE-MICLED JOINT FILLER EXPANSION JOINTS AT PERIMETER OF EACH SLAB.

FN37 PATIOS & PORCHES TO BE 3,500 PSI, AIR-ENTRAINED, AND SLOPEDY PER 11-0" IN DIRECTION INDICATED ON THE FOUNDATION PLAN.

FN38 GARAGE SLABS TO BE 3,500 PSI, AIR-ENTRAINED, AND SLOPED 1," PER 11-0" TOWARD EXTERIOR GARAGE DOOR

FN39 WHERE TEMPERATURE REINFORCEMENT IS NOT PROVIDED IN CONCRETE SLABS OTHER THAN BASEMENTS, CONTRACTION JOINTS AT APPROXIMATELY 20-0" INTERVALS SHOULD BE PROVIDED. CONTRACTION JOINTS SHOULD BE PROVIDED AT PARTITIONS.

FN40 PROVIDE §* EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ABUTTING CONCRETE OR MASONRY WALLS OCCURRING IN EXTERIOR OR UNHEATED INTERIOR

FN41 PROVIDE DEEP SCORE CONTROL JOINTS AT MIDPOINTS OF ALL GAPAGE SLABS, BOTH DIRECTIONS.

Foundation Anchorage
FM42 WALL SILL PLATES (MINIMUM 2x4 MEMBER, PRESSURE
TREATED) SHALL BE SIZED & ANCHORED TO FOUNDATION WALLS
OR PIERS AND AT INTERMEDIATE INTERVALS AS REQUIRED TO
RESIST WIND UPLIFT.

F43 ALL ANCHOR BOLTS TO BE ASTM GRADE 98, MINIMUM 5;*
DIMMETER WITH 3"x5"x 1; "WASHER PLATE. THESE BOLTS SHALL
BE EMBEDDED IN FOUNDATIONS TO A DEPTH OF NOT LESS THAN
IS 'NI NITI MASOMINY, AND 8" IN POURSE CONSCRETE. THERE
SHALL BE A MINIMUM OF 2 ANCHOR BOLTS PER SECTION OF PLATE, AND ANCHOR BOLTS SHALL BE PLACED WITHIN 12" OF EACH END OF EACH PLATE SECTION, WITH INTERMEDIATE BOLTS SPACED AT 42" O.C. MAXIMUM.

FN44 ANCHOR BOLTS, WASHER PLATES, & NUTS TO BE

FN45 PROVIDE ANCHOR BOLTS ON EACH SIDE OF GARAGE DOORS TO MEET WIND BRACING R403.1.6.

FP: Floor Plan Notes

FP1 DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY. REFERENCE DIMENSIONS IN ASSOCIATED DETAILS AND OTHER DRAWINGS. REPORT DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.

FP2 ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE

Drywall
FN3 DRYWALL INSTALLATION SHALL BE IN CONFORMANCE
WITH THE GYPSIUM ASSOCIATIONS RECOMMENDED PRACTICES
FOR THICKINESS, STUD SPACING, MAILING, & TAPING, MUD,
FLOAT, & SAND (3) COATS PRIOR TO PAINTING. ALSO AS

 $\underline{FN4}$ UNLESS OTHERWISE NOTED, ALL INTERIOR WALLS TO BE COVERED WITH \S^* GYPSUM BOARD, WITH METAL OR PLASTER CORNER BEAD.

FP5 WALLS COMMON TO GARAGE AND HOUSE TO HAVE ONE LAYER OF § "TYPE X" 1-HR. FIRE-RATED GYPSUM BOARD ON

FPZ FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS, OR FIBER-REINFORCED GYPSUM BACKERS IN COMPLIANCE WITH ASTM C-1288, C-1285, C-1178 OR C-1278 RESPECTIVELY, AND INSTALLED IN ACCORDANCE WITH MANUFACT MACKERS FOR WALL TILE IN TUB & SHOWER AREAS AND WALL

FP8 EGRESS WINDOWS:

(A) GROUND FLOOR BEDROOM WINDOWS TO HAVE AMINIMUM

NET CLEAR OPENING OF 5 SO, FT.

(B) SECOND FLOOR (AND ABOVE) BEDROOM WINDOWS TO HAVE A MINMIUM NET CLEAR OPENING OF 5,7 SO, FT.

(C) ALL BEDROOM WINDOWS TO HAVE AMINMIUM NET CLEAR. OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR

OPENABLE HEIGHT OF 24", AND HAVE A MAXIMUM FINISH

SILL HEIGHT OF 44" ABOVE FINSH FLOOR

FP9 ALL TRANSPARENT OR TRANSLUCENT PANELS LOCATED WITHIN 18" OF FLOOR, 2s" OF A DOOR, OR 60" OF FLOOR AT BATHIUBS, SHOWERS, WHIRL POOLS, SAUNAS, STEAM ROOMS, OR HOT TUBS, TO BE TEMPERED GLASS OR OTHER SAFETY GLAZING.

FP10 BATHROOMS AND UTILITY ROOMS TO BE VENTED TO THE OUTSIDE WITH A 90 CFM FAN (MINIMUM). RANGE HOODS TO BE VENTED TO OUTSIDE.

FP11 CABINET SUPPLIER TO FIELD MEASURE AREA OF WORK AFTER ROUGH FRAMING TO ENSURE AN EXACT FIT. THE CABINETS SHALL MATCH PLANS & ELEVATIONS. NOTIFY ARCHITECT OF MY DISCREPANCIES.

FP12 PROVIDE TOPS, SPLASH, LAVATORIES, AND WHIRLPOOL TUB PER OWNER'S SELECTIONS.

FP13 CARPET SHALL BE INSTALLED AS PER THE "STANDARD FOR INSTALLATION OF RESIDENTIAL CARPET" BY THE CARPET

H: H.V.A.C. Notes

H1 MECHANICAL SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY

H2 HVAC SUBCONTRACTOR TO FULLY COORDINATE ALL
SYSTEM DATA AND REQUIREMENTS WITH THE EQUIPMENT SYSTEM DATA AND REQUIREMENTS WITH THE EQUIPMENT SUPPLIER. HYAC SUBCONTRACTOR TO PROVIDE FINAL SYSTEM LAYOUT DRAWING AND SUBMIT IT TO THE GENERAL CONTRACTOR, OWNER, AND EQUIPMENT SUPPLIER FOR FINAL

H3 LAWATORY & BATH VEHTLATON:
(A) ALL LAWATORIES AND BATHS SHALL BE MECHANICALLY
VENTILATED THROUGH NON COMBUSTRIES DUCTS TO
PROVIDE & CHANGE ARE AT THE RATE OF SO GTM;
LAWRENCET BATHEOOM DOOR.
(B) ALL STOHEN PANCE HOLDS SHALL BE MECHANICALLY
VENTILATED THROUGH NON COMBUSTRIES DUCTS TO
EXTRACT ARE AT THE PATE OF 100 CPA.

SEE RO SECTION 14807, TABLE MISSION 1580.

H4 PROVIDE DUCTING TO EXTERIOR FOR ALL EXHAUST FANS, KITCHEN COOKTOP HOOD VENT, AND DRYER VENT.

H5 SEE THE GENERAL ELECTRICAL NOTES FOR THE LOCATION OF S.A.R.'s AND R.A.G.'s IN RELATION TO THE LIGHT

H6 ALL THERMOSTATS TO BE LOCATED ADJACENT TO LIGHT

H7 ATTIC HVAC UNIT(S) TO BE LOCATED WITHIN 20 FT. OF THEIR SERVICE OPENING DO NOT LOCATE RETURN AIR GRILLES WITHIN 10 FT. OF A GAS-FIRED APPLIANCE.

H8 DO NOT LOCATE UNIT(S) OVER AREAS WITH A SPAN MORE H9. ALL MECHANICAL AND PLUMBING VENT STACKS.
INCLUDING GAS FLUES, TO BE LOCATED TOGETHER IN THE
ATTIC TO MINIMIZE BOOF PENETRATIONS. VENT STACKS TO BE
LOCATED TO THE REAR OF THE HOUSE, AWAY FROM
PROMINENT VIEW. ALL VENT STACKS AND FLUES TO BE
PRIMED A PARTIED TO CLOSELY MATCH THE POOF OCLOR.

ECC PRESCRIPTIVE REGUIREMENTS	ZONE 4
HINDOHS (U-FACTOR)	0.40
SKYLISHTS (U-FACTOR)	0.55
CELING - OPEN ATTIC (R-VALUE)	44
CELING - CATHEDRAL (R-VALUE)	30
MOOD FRAME MALL (R-VALLE)	20 / 1345
MASS WALL (R-VALUE)	8 / 13
FLOOR (R-VALIE)	14
BASEMENT MALL (R-VALUE)	10 / 13
SLAB (R-VALUE & DEPTH)	10, 2 FT.
CRANL SPACE WALL (Novalie)	10 / 13

FLOOR INSULATION MUST BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING.

UPPLY DUCTS IN ATTICS RETAIN R-8 INSULATION REC EQUIREMENTS FOR ALL OTHER DUCTS IN UNCONDIT PACE REDUCED TO R-6.

HE ENTIRE DUCT SYSTEM MUST BE SEALED.	
ECC PRESCRIPTIVE REGUREMENTS	ZONE 4
HINDONS (U-FACTOR)	0.40
SKYLISHTS (U-FACTOR)	0.55
CELING - OPEN ATTIC (R-VALUE)	44
CELING - GATHEDRAL (R-VALUE)	30
MOOD FRAME HALL (R-VALUE)	20 / 1345
MASS WALL (R-VALIE)	8 / 13
PLOOR (R-VALIE)	19
BASEMENT MALL (R-VALUE)	10 / 13
SLAB (R-VALUE & DEPTH)	IO, 2 FT.
CRAYL SPACE WALL	10 / 13

ENERGY CODE

ATTIC ACCESS HATCHES & DOORS MUST BE WEATHER STRIPPED & INSULATED TO THE SAME LEVEL AS THE SURROUNDING SURFACES.

PHOGRAMMABLE THERMOSTATS WITH DIALT'S EIBAGK
CAPABILITY REQUIRED WHERE PRIMARY HEATING SYSTEM IS
FORCED AIR WITH AN INITIAL SETTING NOT HIGHER THAN 70°
FAHRENHEIT FOR COOLING.

PRESCRIPTIVE REQUIREMENTS	ZONE 4
WINDOMS (U-FACTOR)	0.40
SKYLISHTS (U-FACTOR)	0.55
CELING - OPEN ATTIC (R-VALLE)	44
CELING - CATHEDRAL (R-VALUE)	30
MOOD FRAME WALL (R-VALLE)	20 / 1345
MASS WALL (R-VALIE)	8 / 13
FLOOR (R-VALIE)	14
BASEMENT MALL (R-VALUE)	10 / 13
SLAB (R-VALUE & DEPTH)	IO, 2 FT.
CRAML SPACE HALL (R-VALUE)	10 / 13

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LUMBER FR1 ALL STUD WALLS ARE DIMENSIONED AT 3 ½" AND 5 ½".

FR2 ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY, TO BE PRESSURE-TREATED, ALL WOOD FRAMING IN CONTACT WITH, OR WITHIN 8' OF GRADE, SHALL BE BORATE-PRESSURE-TREATED.

FR3 SIZES OF STRUCTURAL MEMBERS:
ALL LUMBER SIZES SPECIFIED ARE NOMINAL SIZES. ACTUAL
SIZES ARE SHOWN ON THE FLOOR PLANS.

FR5 STRUCTURAL FRAMING

FHB STRUCTURAL FRAMING:
ALL FRAMING MATERIAL TO BE ZEX DININIMUM. LUMBER SHALL
BE DOUGLAS-FIRL-ARCH (DFL) WITH 16-1690 AND E-1.7
MINIMUM, OR SOUTHERN-YELLOW-PRIC (SYP) WITH Fb-1750 AND
E-1.5 MINIMUM, AS FOLLOWS:
STUDS (PATES: DFL OR SYP STUD GRADE
RAFTER / CELINIS_JOISTS: DFL OR SYP ZEGADE OR BETTER
BEAMS HEADERS: DFL OR SYP ZEO OR PSLLSL.

ALL WOOD FRAMING AT BEARING WALLS SHALL BE AS FOLLOWS: ILLOWS: 1st FLOOR: 2x4's @16" O.C. (IF 3-STORIES, USE 2x6's @16" O.C.)

2nd FLOOR: 2x4's @16" O.C. 3rd FLOOR: 2x4's @16" O.C.

ALL TURE ARE TO BE SERIES 200 LINEESS NOTED OTHERWISE

FR6 ALL FRAME WALLS OVER 10'-0" HIGH TO BE 2x6's AT 16"

FR7 ALL STUD WALLS TO BE FRAMED AT 16" O.C. MAXIMUM. FR8 ALL ANGLED WALLS TO BE FRAMED AT A 45° ANGLE

FR9 ALL BEAMS, JOISTS, & HEADERS TO BE MOUNTED IN METAL HANGERS, SIMPSON STRONG-TIE OR EQUIVALENT, WITH GALVANZED FASTENERS FOR INTERIOR APPLICATIONS, AND Z-MAX FASTENERS FOR EXTERIOR APPLICATIONS OR WHERE IN CONTACT WITH PRESSURE-TREATED LUMBER.

FR10 CONTINUOUS BEARING FROM POINT OF LOAD TO FOUNDATION SHALL BE PROVIDED BY MEANS OF COLUMNS & SOLID BLOCKING AT EACH FLOOR LEVEL.

FR11 PROVIDE FULL SOLID BEARING OR TRIPLE-STUD BEARING UNDER ALL BEAM BEARING POINTS.

FR12 PROVIDE FIRE BLOCKING AT 9'-0" HIGH AS PER IRC SECTION R302.11.1 WITH MATERIALS AS PRESCRIBED IN IRC

FR13 ALL EXTERIOR PLUMBING WALLS SHALL BE FRAMED WITH 266 STUDS. REMAINING INTERIOR STUD WALLS SHALL BE FRAMED WITH 264 STUDS IN IN ESS MOTED OTHER WITH 264 STUDS IN IN ESS MOTED OTHER WITH 2x6 STUDS. REMAINING INTERIOR STUD WALLS SHALL BE IED WITH 2x4 STUDS UNLESS NOTED OTHERWISE.

CONVENTIONAL FRAMING, AND 22t x 54" ATTIC ACCESS WITH TRUSS FRAMING.

FR15 WALL BRACING:
PLANS ARE DESIGNED TO MEET PRESCRIPTIVE DESIGN
REQUIREMENTS IN THE AFAPA "WOOD FRAME CONSTRUCTION

BRACE EXTERIOR STUD WALLS AT CORNERS BY ONE OF THE BRACE EXTENSION STUD WINLES AT CONTROL STUDY.

(A) WITH METAL TBRACE LET INTO STUDS AT 45°, FROM PLATE TO PLATE, OR:

(B) ALL SHEATHING WITHIN 4-0° OF CORNERS TO BE SPAN-RATIFELYWOOD, GLUED & SCREWED TO FRAME.

FR16 FLOOR FRAMING LAYOUT TO BE COORDINATED WITH THE GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHASES AND INFORMEDIATED DINS FOR HVAC DUST WORK FR17 PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN DIRECTION.

FR18 PROVIDE "X" BRACING OR SOLID BLOCKING AT A

FR19 ALL HEADERS TO BE FREE OF SPLITS AND CHECKS.

FR20 MINIMUM HEADER SIZE AT OPENINGS IN NON-LOAD-BEARING WALLS TO BE TWO 2x6's WITH,"

FR21 MINIMUM HEADER SIZE AT OPENINGS IN LOAD-BEARING WALLS TO BE TWO 2x12's WITH: "PLYWOOD GLUED & NAILED

FR22 PROVIDE DOUBLE HEADER JOISTS AND TRIMMERS AT

FR23 ALL STRUCTURAL STEEL TO CONFORM WITH ASTM

FR24 UNLESS OTHERWISE NOTED, PROVIDE A WOOD 2x PLATE BOLTED TO THE TOP FLANGE OF ALL STEEL BEAMS WITH 3" DIMMETER BOLTS STAGGERED AT 24" O.C.

SHEATHING

PRZÉ FLOOR SHEATHING:

(A) APA STURIO-FLOOR ½" TONGUE A GROOVE, INTERIOR

GRADES, PROVIDE ADDITIONAL ¾" PLYWOOD AT CERAMIC

TILE LOCATIONS, EXTERIOR GRADE SHALL BE USED WHEN EXPOSED TO WEATHER; B) MAXIMUM JOIST SPACING @24" O.C.;

(d) IMPAINMENT LIVES SPACING (BAY "OC."
(C) EDGES SHALL BE BLOOKED WITH LUMBER OR OTHER APPROVED TYPE OF EDGE SUPPORT; FACE GRAIN PARALLEL TO SUPPORTS.
(D) GLUE & SCREW PLYWOOD DECKING TO FLOOR JOISTS TO ENSURE A "NON-SQUEAK" FLOOR SYSTEM.

FR26 EXTERIOR WALL SHEATHING:
TYPICAL EXTERIOR 244 AND 246 STUD WALLS TO BE SHEATHED
WITH 1/2" EXTERIOR GRADE SHEATHING; SHEATHING TO SPAN
OVER ALL PLATES AND HEADERS. SEE ALSO WALL BRAGING'

FR27 ROOF SHEATHING:

(A) APA SPAN-RATED § EXTERIOR GRADE PLYWOOD;

(B) MAXIMUM SPAN TO BE 24" O.C. WITH H-CLIPS: MAINTAIN S."

GAP BETWEEN PANELS.

(C) EDGES SHALL BE BLOCKED WITH LUMBER OR OTHER
APPROVED TYPE OF EDGE SUPPORT; FACE GRAIN PARALL
TO OUTPORT THE CONTROL OF T GAP BETWEEN PANELS.

FR28 PROVIDE BLOCKING AT ALL CARINET LOCATIONS

FR29 PROVIDE DOUBLE 2x6 STRONGBACK BRACING AT

FR30 ALL RAFTERS TO BE 2x8's AT 16" O.C. UNLESS NOTED OTHERWISE ON PLANS (VERIFY SIZE AND SPACING PER LOCA

FR31 ALL TRUSS OR RAFTER & TOP PLATE INTERSECTIONS TO RECEIVE GALVANIZED WIND/SEISMIC TIES. PROVIDE 2x4 TO RECEIVE GALVANIZED WINDISEISMIC TIES. PROVIDE 2x4 RAFTER TIES AT ALL PLATES WHERE JOISTS RUN

FR32 HIP/VALLEY RAFTERS AND RIDGE BOARDS TO BE ONE SIZE LARGER THAN TYPICAL RAFTERS.

FR33 PROVIDE 2:6 COLLAR TIES AT UPPER 1; OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 48 O.C. UNLESS NOTED OTHERWISE

FR34 PROVIDE INSULATION BAFFLES AT EAVE VENTS

FR35 MANUFACTURED TRUSSES, BEAMS, & OTHER ENGINEERED BULDING SYSTEMS MUST BE DESIGNED BY THE MANUFACTURER'S ENGINEER, WHO SHALL BE REGISTERED IN THE STATE OF TENNESSEE: STAMPED, APPROVED SHOP DRAWINGS SHALL BE ON SITE BEFORE ERECTION BEGINS.

FR36 STRESSED-SKIN ROOF PANELS: 51' FOAM BETWEEN FIRS6 STRESSED SKIN ROOF PANELS: SIF FOAM BETWEEN PLYWOOD OR GYPSUM BOARD INTERIOR PANEL AND I'ROOF DECKING. THESE PANELS TO BE DESIGNED BY PANEL MANUFACTURER TO SPAN AS INDICATED IN THESE PLANS. CONTRACTOR TO PROVIDE AND INSTALL 2:6 EDGE PLATES FOR

FR37 STAIR CONSTRUCTION TO CONSIST OF THREE 2x12 STRINGERS. § "OR 2x THICK TREADS, AND §," THICK RISERS, OR MATERIALS FABRICATED BY A COMPONENT MANUFACTURER.

FR38 TREADS & RISERS:

FF1.92 TREADS A RISERS:

(B) TREADS: MINIMUM 10" WIDE, INCLUDING 3," TO 1-1," NOSING

(C) TREADS: MINIMUM 10" WIDE, INCLUDING 3," TO 1-1," NOSING

(C) RISERS: MAXIMUM RISER HEIGHT NOT TO EXCEED

7-4", RISERS MUST BE SOLID, OR GUARDS PROVIDED TO LIMIT
OPENING TO "AMAZMUM.

FR39 HANDRAILS:

IRED ON BOTH SIDES OF STAIRS: MINIMUM HEIGHT OF BAIL RECUIRED ON BOTH SIDES OF STAIRS; MINIMUM REIGHT OF HAI TO BE 34" ABOVE NOSE OF TREAD, MAXIMUM REIGHT 38"; MAXIMUM HORIZONTAL CROSS-SECTION OF 2-%; MINIMUM 1-½" CLEAR SPACE BEHIND RAIL.

FR40 GUARDS AT STAIRS:

(A) REQUIRED ON OPEN SIDE OF STAIRS: MINIMUM HEIGHT TO BE
31' ABOVE NOSE OF TREAD; SEE ALSO IRC SECTION R012.1

(B) OPENINGS IN THE GUARD SHALL NOT ALLOW PASSAGE OF A
4" SPHERE, EXCEPT AT THE TRINISLIAR OPENING FORWED
BY THE BOTTOM RAIL, TREAD, A RESER, WHICH SHALL NOT ALLOW PASSAGE OF A 6" SPHERE

FR41 OTHER GUARDS:

FM41 Unitensident ALL WALKING SURPACES HAVI ARE LOCATED MORE THAN 30' VERTICALLY ABOVE AN ADJUGENT FLOOR OG GRADE. SEX DOI OF SECTION RS12-1 (B) INIMAMUM HEIGHT TO BE 30' ABOVE WALKING SURPACE. (C) OPPOINGS IN THE GUARD SHALL NOT BELL OF SURPACE. A" SPHERE, INSECT SCREENING SHALL NOT BE CONSIDERED.

*FRAMING NOTATIONS CONFORM TO THE INTERNATIONAL PRIMITIAL CODE CURRENT AT THE TIME OF SUBMISSION FOR PERMITS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONSULTING WITH CODE OFFICIALS PRIOR TO USING THE R: Roofing, Sealing, & Flashing

Roofing: Underlayment
R1 UNDERLAYMENT SHALL BE A WATER-RESISTANT. AT UNDERLYMENT SMILL BE WATER-HESSIJAMI, VAPOR-PERIMEABLE, WOVEN POLYMER MEMBRANE (SUCH AS DuPort Rooflines), AND SHALL BE INSTALLED WITH CAP NAILS OR CAP STAPLES IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION GUIDELINES.

P2 MICE BARRIER THAT CONSISTS OF AT LEAST TWO LIVERS OF OF UNDERLAYMENT COMENTED TOGETHER, OR OF A SELF-ADMERNIG POLYMER MODIFIED BITUMEN SMEET, SHALL BE USED IN LEU OF MORMAL UNDERLAYMENT, AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 NOINES INSIDE THE EXTERIOR WALL LINE OF THE BULLDIN.

R3 UNDERLAYMENT APPLIED IN AREAS SUBJECT TO HIGH WINDS (ABOVE 110 MPH) SHALL BE APPLIED WITH CORROSION RESISTANT FASTENERS IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION GUIDELINES.

P4 FOR ROOF SLOPES OF FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (SIN, OR GREATER) UNDERLAMENT SHALL BE ONCE LAYER APPLEAD FOLLOWS:

(A) APPLY SHINGLE STYLE, PARALLEL TOMAD STARTING FROM THE EDAY. WITH COURSE LAYES BE IND LAPS FER MANUFACTURES GUILLENESS.

(B) DISTORTIONS IN THE UNDERLAMENT SHALL NOT WITHOUT SHALL NOT WITHOUT SHALL STORE HITH TO SHALL SHOULD STORE (SIN).

(C) DISTORTIONS DESIGNED OF THE SHARLES SO SEAL:

(C) DISTORTIONS DESIGNED OF THE SHARLES SO SEAL:

(C) DISTORTIONS DESIGNED OF THE SHARLES SO SEAL:

Roofing: Shingles

R5 WHERE ROOF SLOPE EXCEEDS 21 UNITS VERTICAL IN 12
UNITS HORIZONTAL(2): 12, +17% SLOPE), SHINGLES SHALL BE
INSTALLED AS REQUIRED BY MANUFACTURER.

R6 ASPHALT SHINGLES SHALL BE TESTED IN ACCORDANCE WITH ASTM D7158 AND MEET THE CLASSIFICATION REQUIREMENTS OF TABLE R905.24(1) FOR WIND SPEEDS UP TO

BZ FASTENERS FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM F1667, AND SHALL BE:

(A) GAL VANUESO STEEL, STANLES STEEL, ALLMINJIM, OR COPPER ROOFING NALS:

(B) MINIMUM 12gs (0.015 INCH) SHANK, WITH A MINIMUM 3, -INCH OMMETER HEAD.

(C) OF A LENGTH TO PENETRATE THROUGH THE ROOFING MATERIALS AND A MINIMUM OF \$\frac{1}{4}\$, INCH INTO THE ROOF SHEATHING, WHERE ROOF SHEATHING IS LESS THAN \$\frac{1}{4}\$.

INCH THICK, THE FASTENERS SHALL PENETRATE THROUGH THE SHEATHING.

R8 ASPHALT SHINGLES SHALL HAVE THE MINIMUM NUMBER OF FASTENERS REQUIRED BY THE MANUFACTURER, BUT NO'
LESS THAN FOUR FASTENERS PER STRIP SHINGLE, OR TWO
FASTENERS PER INDIVIDUAL SHINGLE.

R9 EXTERIOR JOINTS AROUND WINDOWS & DOOR FRAMES THE SATEMAN JOIN IS ANOUND WINDOWS & DOOR FRAMES; BETWEEN WALL & FOUNDATION; BETWEEN WALL PANES AT PENETRATIONS; AT UTILITY SERVICES PENETRATIONS THROUGH WALLS, FLOORS, & ROOF; AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AM ADDROUGH JAMANIED.

PIBSTING.

R10 CORPOSION RESISTANT FLASHING IS REQUIRED AT THE TOP & SIDES OF ALL WINDOWS & ROOF OPENINGS, AND AT THE INTERSECTION OF CHINIEYS, MASORIRY, ANDOR WOOD CONSTRUCTION AND FRAME WALLS, OR APPROVED WATER RESISTANT SHEATHING & CAULKING TO BE USED AT TOP &

R11. FLASHING AGAINST A VERTICAL SIDEWALL SHALL BE BY THE STEP-FLASHING METHOD. THE FLASHING SHALL BE A MINIMUM OF FOUR INCHES WIDE AT THE END OF THE VERTICAL SIDEWALL, THE STEP FLASHING SHALL BE TURNED OUT IN A MANNER THAT DIRECTS WATER AWAY FROM THE WALL AND ONTO THE ROOF AND/OR GUTTE

IN: Insulation Notes

IN-1 PROVIDE R-4 RIGID INSULATION AT SLAB EDGE.

IN2 PROVIDE R-19 BATT INSULATION IN 2x6 WALLS, R-13 IN 2x4 WALLS, MINIMUM R-30 IN FLAT CEILINGS, AND R-30 IN VAULTED CEILINGS. ALLOW'S, MINIMUM AIRSPACE BETWEEN SHEATHING AND INSULATION, INSTALL INSULATION WITH BARRIER TO WARM SIDE; NO BARRIERS IN ATTIC UNLESS

INSTALL SIDE WALL AND CEILING INSULATION IN CONTINUOUS BLANKET WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHT FOTURES, OR HEATING DUCTWORK CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.

IN4 FLOORS OVER UNHEATED SPACE TO HAVE R-19

IN5 HVAC DUCTS LOCATED IN UNHEATED SPACES TO BE

IN6 ALL EXPOSED INSULATION TO HAVE A SPREAD RATING OF LESS THAN 25, AND A SMOKE TY RATING OF LESS THAN 450.

IN7 FILL ALL UNGROUTED CMU CELLS WITH VERMICULITE, OR FOAM-IN-PLACE INSULATION IN BASEMENT WALLS.

2 - 8D COMMON TOE NAIL EACH END SOLE PLATE TO JOIST OR BLOCKING 3 - 16D @12" O.O TYPICAL FACE NAIL TOP PLATE TO STUD 2 - 16D COMMON 4 - 8D COMMON TOE NAIL - 16D COMMON END NAIL DOUBLE STUDS 2 - 16D @24" O.C. FACE NAIL - 16D @ 24" O 0 LAP SPLICE DOUBLE TOP PLATES 8 - 16D COMMON BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP - 10D COMMON TOE NAIL EACH EN RIM JOIST TO TOP PLATE 3 - 16D @12" O.C BAND JOIST TO JOIST (END NAILED): 4 - 16D BAND JOIST TO SILL OR TOP PLATE (TOE NAILED): 16D PER FOOT CONTINUOUS HEADER, TWO PIECES ALONG EDGE 16D COMMON @16" O.C CEILING JOISTS TO PLATE CONTINUOUS HEADER TO STUD 4 - 8D COMMON TOE NAIL CEILING JOISTS, HIPS OVER PARTITIONS 4 - 16D COMMON, MINIMUN FACE NAIL RAFTER TO PLATE, HURRICANE CLIPS 3 - 16D COMMON TOE NAIL BUILT-UP CORNER STUDS 2 - 16D COMMON @24" O.I FACE NAIL FACE NAIL AT TOP & BOTTOM, STAGGERED ON OPPOSITE SIDES FACE NAIL AT ENDS & AT EACH SPLICE COLLAR TIE TO RAFTER 5 - 10D COMMON FACE NAIL - 16D COMMON FACE NAIL ROOF RAFTER TO 24 RIDGE REAM FACE NAIL JOIST TO BAND JOIST 4 - 16D COMMON TOE NAIL

3 - 16D COMMON PER FOOT

12" & LESS

% & LESS

FASTENING SCHEDULE

- 10D COMMON

FASTENER

LOCATION

TOE NAIL DED LOSS

CONNECTION

JOIST TO SILL OR GIRDE

W: Wood Deck Notes

SUBFLOOR, ROOF, & WALL SHEATHING (TO FRAMING):

SINGLE FLOOR (COMBINATION SLIRE) OOR LINDERLAYMENT

LEDGER STRIP

ANEL SIDING TO FRA

FIRERROARD SHEATHING

W1 ALL CONSTRUCTION SHALL BE PER INTERNATIONAL

W2 DECK LOADS ARE 40 IS LIVE LOAD AND 15 IS DEAD LOAD.

ANY SPECIAL LOADS SHOULD BE CONSIDERED AS WELL.

W3 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING
THE ARCHITECTIENGINEER SHALL BE NOTIFIED OF AN
DISCREPANCY

 $\underline{W4} \quad \text{CONTRACTOR SHALL USE SIMPSON "STRONG-TIE" (OR}$ APPROVED EQUAL) WOOD FRAMING ANCHORS, HANGERS, HOLD-DOWNS, ETC., FOR ALL WOOD-TO-WOOD CONNECTIONS. ALL ANCHORS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. BEAMS AND PURLINS SHALL BE CONNECTED WITH METAL ONNECTORS. ONCRETE ANCHORS AND POST BASE CONNECTORS SHALL

STANLESS STEEL
ALL HARDWARE AND FASTENERS (JOIST HANGERS, POST
ANCHORS, MECHANICAL FASTENERS, NALS, SCREWS, BOLTS,
ETC, ISHALL BE CALLVANZED WITH 1.85 card OF ZINC (G-185
CONTING) OR SHALL BE STAINLESS STEEL LOOK FOR
PRODUCTS SUCH AS "ZMAX" FROM SIMPSON STRONG-TIE OR

W5 UNLESS NOTED OTHERWISE IN THESE DETAILS, ALL

W6 ALL DECKING MATERIAL SHALL BE 246 OR % ALL DECKING MITEHAL SHALL BE 266 OF 8; (FIVE CULARTER) BOARD. ATTACH DECKING TO EACH JOIST WITH A MINIMUM OF 27 BING SHAMK 60 MAILS OR 2-12° WOOD SCREWS. DECKING MAY BE APPLIED DIAGOMALLY AT A 45 DEGREE AMOLE PERPENDICULAR TO THE JOISTS. DECKING DEGREE ANGLE PEPPENDICULAR TO THE JOISTS. DECKING COMPOSED OF POREIGH LIMBER, COMPOSITE, OF MANUFACTURED MATERIALS MAY BE SUSSTITUTED ONLY WHEN THE PRODUCT HAS AN APPROVED EVALUATION PEPPORT FROM AN ACCREDITED TESTING LABORATIONY. CHECK WITH YOUR LOCAL BUILDING DEPARTMENT FOR APPROVED MATERIALS OR REFER TO THE LIST OF APPROVED DECKING PRODUCTS.

W7 FOR STAIRS & GUARDRAILS, SEE: 'STAIRS & RAILINGS', WITHIN 'FRAMING NOTES'.

F: Flevation Notes

FACE NAIL

E1 EXTERIOR FLASHING TO BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS, AND PENETRATIONS AS REQUIRED BY

8D COMMON: 6" O.C. EDGE SPACING 12" O.C. FIELD SPACING

8D ROOFING: 3" O.C. EDGE SPACING 8" O.C. FIELD SPACING

E2 GENERAL CONTRACTOR TO PROVIDE ADEQUATE ATTIC VENTILATION AND PIOD F VENTS PER LOCAL GOVERNING CODE.
INSTALL CONTINUOUS RIDGE VENTILATION, AND PRIME & PAINT
TO CLOSELY MATCH ROOF COLOR IF APPLICABLE. PROVIDE
APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.

CLOSE TO SETHEM ATM UNACHMANIAL VERY TO BE LOCATED COST TO SETHEM WITHIN THE ATT ICS SPACE WHEN POSSIBLE TO MINIMIZE THE MAMBER OF PROOF PENETRATIONS, ALL PULBINISH AND MECHANICAL VERYS WHICH APPEAR ABOVE THE PROOF TO BE LOCATED MINY FROM MAY PROMINENT I'VEL WO VENTS TO BE ALLOWED ON THE PROOF TO SEL ALLOWED ON THE PROOF TO SEL ALLOWED AND THE TOOL TO CLOSEL WANTON THE ROOP COLOR, PRESITY WITH JAMANIAN TO CLOSELY MATCH THE ROOP COLOR, PERSITY WITH JAMANIAN TO ALLOWED.

E4 GENERAL CONTRACTOR TO LOCATE UTILITY METERS AWAY FROM ANY PROMINENT VIEW. UTILITY METERS TO BE LOCATED AS CLOSE TO GRADE AS POSSIBLE TO MINIMIZE THE VISUAL IMPACT OF THE METERS.

E5 GUTTERS AND DOWNSPOUTS ARE NOT INCLUDED ON THE EQ GIT HERS AND DOWNSPOUTS ARE NOT INCLUDED ON THE LEEVATION BRAWNIGS. GENERAL CONTRACTOR TO VEHILY THE EXISTING TOPOGRAPHIC GRADES, AND LOCATE DOWNSPOUTS TOWARDS FRONT AND FEAR OF HOUSE, BASED ON TOPOGRAPHIC CONDITIONS, TO ALLOW POSITIVE DOWNSPOUTS AND THE HOUSE, DO NOT LOCATE DOWNSPOUTS IN PROMINENT LOCATIONS. GENERAL DOWNSPOUTS IN PROMINENT LOCATIONS, GENERAL CONTRACTOR TO OBTAIN OWNER APPROVAL OF ALL DOWNSPOUT LOCATIONS. GUTTERS AND DOWNSPOUTS TO CLOSELY MATCH TRIM COLOR OF HOUSE; OR, IF APPROPRIA DOWNSPOUTS MAY BE COLOR-MATCHED TO PRIMARY ELEVATION MATERIAL.

E6 PROVIDE WATER-DISPERSING TRIM AT DORMER ROOFS, AND GUTTER GUARDS ON ALL GUTTERS.

M: Masonry Notes

M1 STONE & MASONRY VENEER SHALL BE INSTALLED IN

Bricks
M2 PROVIDE UNFORMLY SIZED UNITS COMPLYING WITH ASTM COMPLIANCE WITH ASTM COMPLYING WITH COMPLYING WITH COMPLYING WITH C

M3 INSTALL GALVANIZED ANCHORS @16" O.C. EACH WAY,

M4 MASONRY VENEER ANCHORS TO BE EMBEDDED INTO THE SECULOR THE VENEER AT LEAST 1.5 INCHES AND AT LEAST 1.5 OF GROUT COVERAGE BEYOND THE ANCHOR TO THE VENEROUS AS DED THE ANCHOR TO THE VENEROUS AS DED THE ANCHOR TO THE

M5 EXTERIOR WALL COVERINGS & BACKING MATERIALS TO MEET WIND LOADS AS PER I.R.C. SECTION R703

M6 THE VENEER SHALL BE SEPARATED FROM THE STEATHING BY AN AIR STRACE OF A MINIMUM OF A NOMINAL (1) M7 FLASHING SIVALL BE LOCATED BENEATH THE FIRST DUTURSE OF MASORIY ABOVE FINISHED GROUND LEVEL ABOVE SUPPORT NOLLDING STRUCTURAL FLOORS, SHELF ANGLES, A LINTELS, WHEN MASORIRY VENLERS, ARE DESIGNED IN ACCORDANCE WITH THE CEPTION FIRST.

M8 WEEPHOLES SHALL BE PROVIDED IN THE OUTSIDE WYTHES OF MASONRY WALLS AT A MAXIMUM SPACING OF 33" O.C. WEEPHOLES SHALL BE LOCATED IMMEDIATELY ABOVE THE FLASHING. AS PERI B.C. SECTION PROX.7.8.

Exterior Plaster

MS EXTERIOR PLASTER SHALL BE INSTALLED IN ACCORDANCE

M10 LATH:
PREDIDE ALL LATH & LATH ATTACHMENTS SHALL BE OF
PREDIDE ALL LATH & LATH ATTACHMENTS SHALL BE OF
WHE SHALL BETT ACCESSION TO THE NEXT SHOULD BE TA WOVEN
HAVING AT, "HEAD OR 76-INCH-LONG, 16g-STAPLES, SPACED
AT NO MOBEL THAN 6", OR AS OTHERWISE SHAPPROVED.

MIT CASES WILL PORTIANO CEMENT PLASTER SMALL BE NOT LESS THAN GLOWARD WHICH APPLIED OVER HEIR ALLAH OR MORE MEAN FROM THE STAN GLOWARD WHICH APPLIED OVER HEIR ALLAH OR THE STAN GLOWARD WHICH APPLIED APPLIED AND APPLIED WHICH APPLIED APPLIED AND APPLIED AND APPLIED APPLIED AND APPLIED AND APPLIED APPLIED AND APPLIED APPLIED AND APPLIED APPLIED AND APPLIED AND APPLIED APPLIED AND APPLIED APPLIED AND APPLIED APPLIED AND APPLIED APPLIED APPLIED AND APPLIED APPLIED AND APPLIED APPLIED APPLIED APPLIED AND APPLIED APP

THOOLESS AS SET FORTH WITH ENDELTH).

WE SEED TO THE SEED TO THE SEED OF THE S

M13 WATER PESSIVE BARRIERS
AN WATER PESSIVE BARRIERS
AN WATER PESSIVE BARRIERS SHILL BE INSTALLED IN
ACCORDANCE WITH SECTION R7022. AND, WHERE APPLED
OVER WOOD BASED SHATHMING SHALL INCLIDE A
(INCLIDED SHATHMING SHALL INCLIDE A
(INCLIDED SHATHMING SHALL INCLIDE A
(INCLIDED SHATHMING SHALL INCLIDED SHATHMING SHALL
BETWEEN WOOD BASED SHEATHMING AND STUCCO SHALL
BE OF A DRAWNING TYPE.

Lintel Schedule
FOR 4" BRICK VENEER WITH NO SUPERIMPOSED LOADING M14 STEEL LINTELS TO BE SHOP COATED WITH HUST-INHIBITIVE PAINT, UNLESS MADE OF CORPOSION HESIDTANT STEEL, OR TREATED WITH A CORROSION RESISTANT COATING, PAINTING THE EXPOSED SURFACES OF THE LINTEL AFTER INSTALLATION DOES NOT ADEQUATELY DEDISION.

SPAN	LINTEL	MN. BEAR.	REFER.
4-0" OR LESS	L 3-1/2"x3-1/2"x5/16"	6"	NOTE 1
6.0"	L 4"x3-1/2"x5/16"	6"	NOTE 1
8.0"	L 5"x3-1/2"x5/16"	6"	NOTE 1
10'-0"	L 6"x3-1/2"x3/8"	8"	NOTE 1
10'-0" TO 12'-0"	L 6"x4"x3/8"	8"	NOTE 2
12'-0" TO 14'-0"	L 7"x4"x38"	8"	NOTE 2
16'-0"	L 8"x4"x7/16"	8"	NOTE 2
16'-0"	L 9"x4"x1/2"	10"	NOTE 3

- DESIGNED FOR BRICKLOAD WHERE WIDTH OF OPENING EQUALS HEIGHT OF BRICK.
 DESIGNED FOR A MAXIMUM OF TWENTY (20) BRICK COURSES OVER LINTEL AT GARAGE DOOR.
 DESIGNED FOR GARAGE DOOR WITH BRICK GABLE OVER LINTEL.

DESIGN DATA: BRICK: 2,500 PSI MORTAR: TYPE 'N' STEEL: A36

EL: Electrical Notes

EL1 ELECTRICAL PLAN(S) ILLUSTRATE BASIC DESIGN INTENT ONLY. ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS. VERIFY FIXTURE SELECTION AND LOCATION WITH OWNER.

EL2 LIGHT FIXTURES TO BE INSTALLED AS CLOSELY AS POSSIBLE TO THE LOCATION SHOWN ON THE ELECTRICAL PLANIS, LIGHT FIXTURES TO ALIGN WITH OTHER LIGHT FIXTURES, OR WITH ADJACENT HVAC SAR'S AND RAG'S.

EL3 GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO REVIEW THE PLANS AND WALK THROUGH THE JUST TO VERHY THAT THE DESIGN INTENT IS MAINTAINED GENERAL CONTRACTOR TO MOTIFY THE ARCHITECT IF ANY ITEMS ARE DIFFERENT FROM THE ELECTRICAL PLANS) BEFORE THE INSTALLATION OF FAUTURES, SWITCHES, ETC.

EL4 GAS OR ELECTRICAL SERVICE TO BE PROVIDED AS SERVICE FOR ALL APPLIANCES AND EQUIPMENT SUCH AS REQUIRED FOR ALL APPLIANCES AND EQUIPMENT, SUCH AS REFRIICEATOR, FREEZER, DISH WASHER, DISPOSSAL. COOKTOP, OVENS, WASHER, DEVER, HVAC EQUIPMENT, ALARM PANEL, ETC. PROVIDE CUTLET ABOVE RANGE FOR MICROWAVE OR HOOD VENT IF FINAL KITCHEN LAYOUT REQUIRES.

EL5 ALL OUTLETS LOCATED NEAR ANY WATER CONDITION

EL6 SWITCHES AND OUTLETS TO BE COORDINATED WITH

FL7 PROVIDE WATERPROOF OUTLIETS AS PER PLANS

EL8 GENERAL CONTRACTOR TO VERIFY WITH THE OWNER, ALL LOCATIONS OF PHONE OUTLETS, COMPUTER OUTLETS, AND ELECTRONIC DEVICE OUTLETS. ALL COMPUTER OUTLETS TO BE ON A DEDICATED CIRCUIT.

EL9 GENERAL CONTRACTOR TO VERIFY WITH THE OWNER, THE LOCATIONS OF CABLE TV OUTLETS:

EL10 DIMMERS TO BE SIZED FOR THE APPROPRIATE LOAD OF THE FIXTURES AND LAMPS SELECTED. SLIDE-TYPE DIMMERS ARE PREFERRED.

EL11 VERIFY TRIM SIZE FOR ALL DOORS AND WINDOWS BEFORE SWITCHES ARE LOCATED, LOCATE SWITCHES CLOSE TO TRIM, AND ALIGN WITH EACH OTHER IF THERE ARE MULTIPLE SWITCHES.

EL12 BLOCK AND PREWIRE SEPARATE SWITCHES TO EACH

EL13 GENERAL CONTRACTOR TO VERIFY WITH THE ARCHITECT AND/OR LANDSCAPE ARCHITECT, ALL LANDSCAPE AND EXTERIOR LIGHTING CIRCUITS AND SWITCHES.

EL14. GENERAL CONTRACTOR TO VERIFY WITH THE OWNER WHETHER EXTERIOR SEQURITY LIGHTS ARE DESIRED, IF SO, GENERAL CONTRACTOR TO VERIFY THE TYPE OF FIXTURE, LOCATION, AND REQUIRED SWITCHING.

EL15 GENERAL CONTRACTOR TO COORDINATE ALL THE REQUIREMENTS OF AN ALARM SYSTEM, IF ONE IS DESIRED.

EL16 PROVIDE HARDWIRED SMOKE DETECTORS, WITH BATTERY BACKUP, ON ALL FLOORS AND IN EACH BEDROOM VERIFY WITH LOCAL CODE REQUIREMENTS.

EL17 PROVIDE FOR ___ HVAC UNIT(S). NUMBER OF UNITS TO BE DETERMINED BY THE LOCAL MECHANICAL CONTRACTOR.

EL18 HVAC UNITS ARE NOT TO BE WIRED/LOCATED NEXT TO EL19 LOCAL VENTILATION:
(A) PROVIDE 50 CFM VENTILATION FAN (MINIMUM) FOR EACH

(%) PROVIDE SU CEM VENTILATION FAN (MINIMUM) FOR EACH BATHROOM & LAVATORY.

(B) PROVIDE 100 CFM VENTILATION FAN AT KITCHEN RANGE HOOD.

EL20 EXISTING PANEL BOX MAY REQUIRE RELOCATION; PANEL BOX TO BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS, AND PROVIDE FOR A MINIMUM OF EIGHT SPARES. EL21 DECORATIVE LIGHT FIXTURES TO BE SELECTED BY THE OWNER, AND COMPRINATED WITH THE OWNER, AND COMPRINATED WITH THE OWNER.

R, AND COORDINATED WITH THE GENERAL RACTOR. THE OWNER TO APPROVE ALL SUBSTITUTIONS

EL22 GENERAL CONTRACTOR TO COORDINATE THE LAMP SELECTION (RECESSED CAN SIZE AND TRIM) WITH THE OWNER EL23 ELECTRIC AND GAS METERS TO BE LOCATED AWAY FROM ANY PROMINENT VIEW. (VERIFY WITH LOCAL UTILITY).

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Drawn: GENERAL

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ARCHITECTURAL SITE PLAN 3/32" = 1'-0"



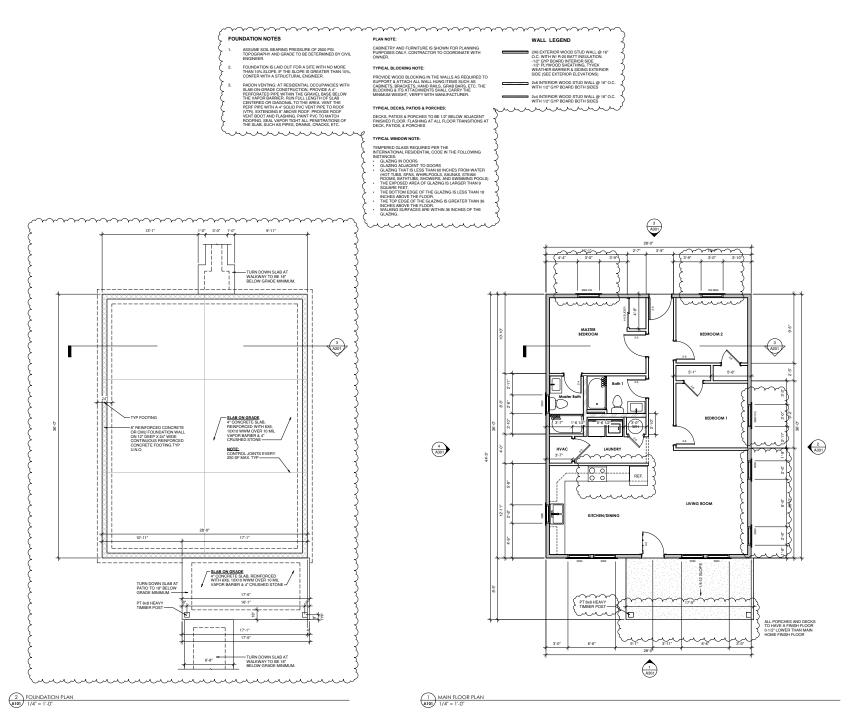
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Drawn:

ARCHITECTURAL SITE PLAN

A100

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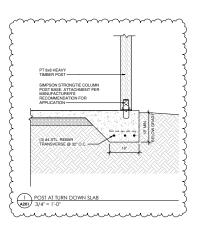
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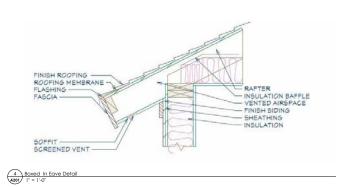
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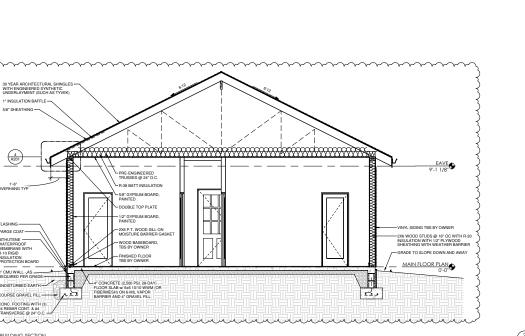
Drawn:
FLOOR PLAN &
FOUNDATION
PLAN

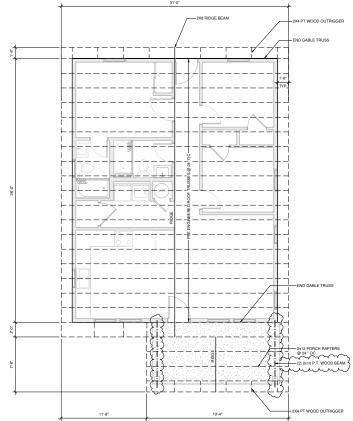
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Drawn: ROOF FRAMING PLAN, WALL SECTION & DETAILS

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ELASHING

PARGE COAT -WATERPROOF MEMBRANE WITH R-10 RIGID INSULATION PROTECTION BOARD

8" CMU WALL - AS REQUIRED PER GPA

UNDISTURBED EARTH

COURSE GRAVEL FILL

CONC. FOOTING WITH (3 #4 REBAR CONT. & #4 TRANSVERSE @ 24" O.C.

1.5

30 YEAR ARCHITECTURAL SHINGLES -WITH ENGINEERED SYNTHETIC UNDERLAYMENT (SUCH AS TYVEK) 1" INSULATION BAFFLE -5/8" SHEATHING -

> PRE-ENGINEERED TRUSSES @ 24" O.C. R-38 BATT INSULATION

5/8" GYPSUM BOARD, PAINTED DOUBLE TOP PLATE - 1/2" GYPSUM BOARD, PAINTED

- 2X6 P.T. WOOD SILL ON MOISTURE BARRIER GASKET

- WOOD BASEBOARD, TBS BY OWNER

FINISHED FLOOR TBS BY OWNER

4" CONCRETE (2,500 PSI, 28-DAY)
FLOOR SLAB w 6x6 10/10 WWM (OR
FIBERMESH) ON 6-MIL VAPOR
BARRIER AND 4" GRAVEL FILL



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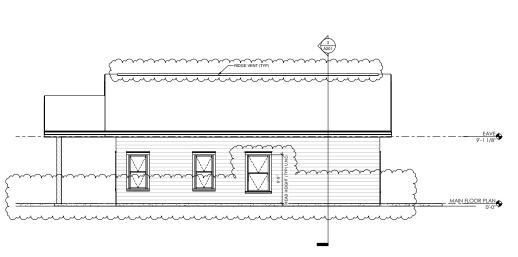


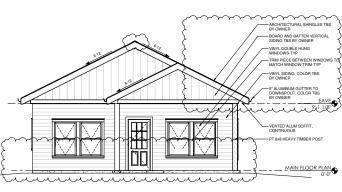




9'-1 1/8"

AIN FLOOR PLAN





Drawn: EXTERIOR ELEVATIONS

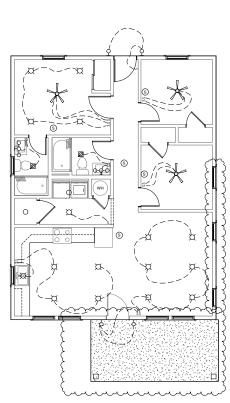
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1 FRONT ELEVATION 1/4" = 1'-0"

2 RIGHT ELEVATION 1/4" = 1'-0"

4 LEFT ELEVATION 1/4" = 1'-0"



	ELECTRICAL LAYOUT LEGEND
¤	RECESSED CAN
ф	FLUSH MOUNT - DOME LIGHT
0	PULL STRING CLOSET LIGHT
Ø	EXHAUST FAN/ LIGHT COMBO
\boxtimes	HVAC SUPPLY (FLOOR)
×	HVAC SUPPLY (TOE KICK OF CABINET)
	RETURN
오	WALL MOUNT
οфο	VANITY LIGHT
S	SINGLE POLE SWITCH
2,	THREE WAY SWITCH
S.	FOUR WAY SWITCH
\star	CEILING FAN W/ LIGHT
φ	DUPLEX RECEPTACLE
Φ	GFCI RECEPTACLE
Φ	DENOTES HEIGHT ON WALL
Φ wp	WATERPROOF RECEPTACLE
Φ.	RANGE RECEPTACLE
Φ.	DRYER RECEPTACLE
⊕ pw	SPECIALITY RECEPTAGLE
•	FLOOR SINGLE RECEPTACLE
0	FLOOR DUPLEX RECEPTAGLE
⊕ ABC	ABOVE COUNTER, GFCI
Φ	CEILING
LWRG	LOW WALL RETURN GRILL
(S)	SMOKE DETECTOR

CEILING NOTES		CEILING NOTES
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- LIGHT FXTURES DIFFUSERS, GRILLES, AND OTHER
 EQUIPMENT ARE LOCATED ON THE REFLECTED CHIEF GRANN
 F LOCATIONS CONST. IT WITH STRUTURAL COMPONENTS.
 TO REVISING DAMENSIONS.
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 FROM THE CONTROL OF THE CONTROL OF THE CENTRY
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Drawn:

SCHEMATIC LIGHTING PLAN

U100

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