



Staff Report

Infill Housing Design Review Committee

File Number: 12-H-24-IH

Meeting: 12/18/2024
Applicant: Spencer Stanley S&S Ventures Group, LLC
Owner: Spencer Stanley S&S Ventures Group, LLC

Property Information

Location: 305 E. Woodland Ave. **Parcel ID** 81 L A 040
Zoning: RN-4 (General Residential Neighborhood)
District: Oakwood/Lincoln Park Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary structure (duplex) fronting E. Woodland Avenue. Two-story building measures 32' wide by 35' deep (two adjacent units of 16' wide by 35' deep) and will be set 23' from the front property line. The 8' deep by 11' front porch will be 15' from the front property line. The duplex features a front-gable roof (6/12 pitch) with a partial cornice return. One unit is located within a two-story front-gable roof massing projecting from the left side of the façade. Each unit features an 8' by 11' shed roof porch, supported by two 6" square wood posts. The building features an asphalt dimensional shingle clad roof, an exterior of straight lap siding (material unspecified), and a block foundation clad in stucco. Parking is a 76' by 22' concrete pad located in the rear and accessed via the alley.

The façade (south) features two units, each having two bays. The left unit features paired single-hung windows and an entry below the shed roof porch and grouped single-hung windows on the second story. The right unit features a single-hung window and an entry below the shed roof porch and two single-hung windows on the second story. The left elevation features two sets of paired single-hung windows on the first story, and there are two single-hung windows and two transom windows on the second story. The right elevation features paired single-hung windows on the first story and two transom windows on the second story. The rear elevation features a secondary entrance for each unit and two sets of paired single-hung windows on the second story.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

10. Multi-Unit Housing

- Multi-unit housing (where permitted by zoning) should have similar front yard space to that of the traditional single-family houses along the street.
 - In zoning districts where multi-unit housing is permitted, the height of the new housing should be similar to the original houses along the street.
 - Multi-unit housing should be designed to continue the architectural rhythm of the block. In addition to the same build-to line, porches, bays and breaks in the front façade should be created to mimic the look of older homes when looking down the block. This should be done by dividing the building into separate sections that are proportionally similar to original houses on the block.
 - Parking should be provided behind apartments with access from the alley.
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- Landscaping, including shade trees, should be planted in both front and back yards.

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position

as the original houses on the block.

- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house.

Comments

1. The applicant intends to use Section 4.6 of the zoning code, the Middle Housing standards, which are "intended to promote the development of neighborhood-scale housing forms which are compatible with existing housing in the surrounding area," and "may allow more flexible development of land than is possible under the base district zoning regulations," subject to additional dimensional, design, and parking standards. Middle Housing review occurs separately through Planning staff; the DRB review focuses on how the project meets the Infill Housing design guidelines. However, some elements of Middle Housing review may trigger site plan and building elevation revisions, which would require additional review by the DRB.
2. The building is proposed to be set 23' from the front property line, with one porch extending to 15' at the closest point. The average front setback of the blockface is 24.2'. Middle Housing standards require a front setback to be the average of the blockface, plus or minus five feet. The site plan includes a walkway from the house to the street for each unit.
3. The block to receive new construction is characterized by modified Queen Anne cottages, Minimal Traditionals, and infill construction. The two story, four-bay façade is proportional to the dimensions of the lot and the context of the block.
4. The proposed parking meets the design guidelines, as it is located to the rear of the property and accessed from the alley. The proposed concrete pad is large in size and may need to be reduced. Final site plans may be necessary to meet City Engineering standards.
5. The duplex's façade, at 32' wide, is comparable in scale and width to the other houses on the street; especially as it combines two units in one structure. Most of the houses on the street are one-story, but a two-story, 41' wide single-family house was approved by the DRB across the street in December 2022. The two-story duplex reduces its visual scale by incorporating only one front-gable massing as opposed to two and by incorporating corner boards and trim to divide the façade into separate sections, per guideline recommendations for multi-unit housing.

6. The duplex incorporates an 8' deep by 11' wide front porch supported by two 6" square posts for each unit, which meets the design guidelines.
7. Guidelines recommend window and door styles be similar to historic houses on the block, with similar placement and ratio of solid to void. The 6/6 single-hung windows are appropriate for the context, and there is a sufficient ratio of solid to void on the façade, left elevation, and rear elevation. The right elevation features a paired single-hung window on the first story and two small transom windows on the second story. The Board should discuss the window placement on the right elevation.
8. The proposed front-gable roof has a 6/12 pitch, which is the minimum typically approved for infill housing. While most of the houses on the street have steeper rooflines, this pitch reduces the visual scale of the two-story duplex. The design benefits from the complexity of the front-gable roof with partial cornice returns, and the two projecting front-gable massings on the façade and rear elevation.
9. The asphalt dimensional shingles, stuccoed block foundation, and straight lap siding meet the design guidelines.
10. The site plan incorporates a tree in the front and rear yards.
11. 301 E. Woodland Ave (12-G-24-IH) is identical to the proposed new construction at 305 E. Woodland Avenue (12-H-24-IH). The two buildings should be differentiated from each other, which could be achieved by flipping the plans or other tactics. The site plans indicate the buildings are flipped but the elevation drawings do not.

Recommendation

Staff recommends approval of Certificate 12-H-24-IH, subject to the following conditions: 1) concrete parking pad to be reduced in size, with final site plan to meet City Engineering standards; 2) meeting all applicable requirements in the City Zoning code, including Article 4.6 and principal use standards of 9.3.J; 3) introducing differentiation between 301 E. Woodland Ave and 305 E. Woodland Ave, with approval by staff.



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

S&S Ventures Group, LLC

Applicant

12/1/2024

12/18/2024

12-H-24-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

S&S Ventures Group, LLC - (Spencer Stanley - 100% Owner)

S&S Ventures Group, LLC

Name

Company

6313 Clinton Hwy Apt 410

Knoxville

TN

37917

Address

City

State

Zip

423-742-2826

SSVENTURESLLC1@GMAIL.COM

Phone

Email

CURRENT PROPERTY INFO

Same as above

Same as above

Same as above

Owner Name (if different from applicant)

Owner Address

Owner Phone

305 E Woodland Avenue, Knoxville, TN 37917

081LA040

Property Address

Parcel ID

MOUNTAIN VIEW ADD - OLD NORTH KNOXVILLE

RN-4

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett
Staff Signature

Lindsay Crockett

Please Print

Date

Spencer Stanley
Applicant Signature

Spencer Stanley - 100% Owner of S&S Ventures Gro 12/1/2024

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: The project being proposed at 305 E Woodland Avenue is a new construction duplex. The duplex will be 32 feet wide by 37 feet long and will be 2,240 sq ft total.

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:

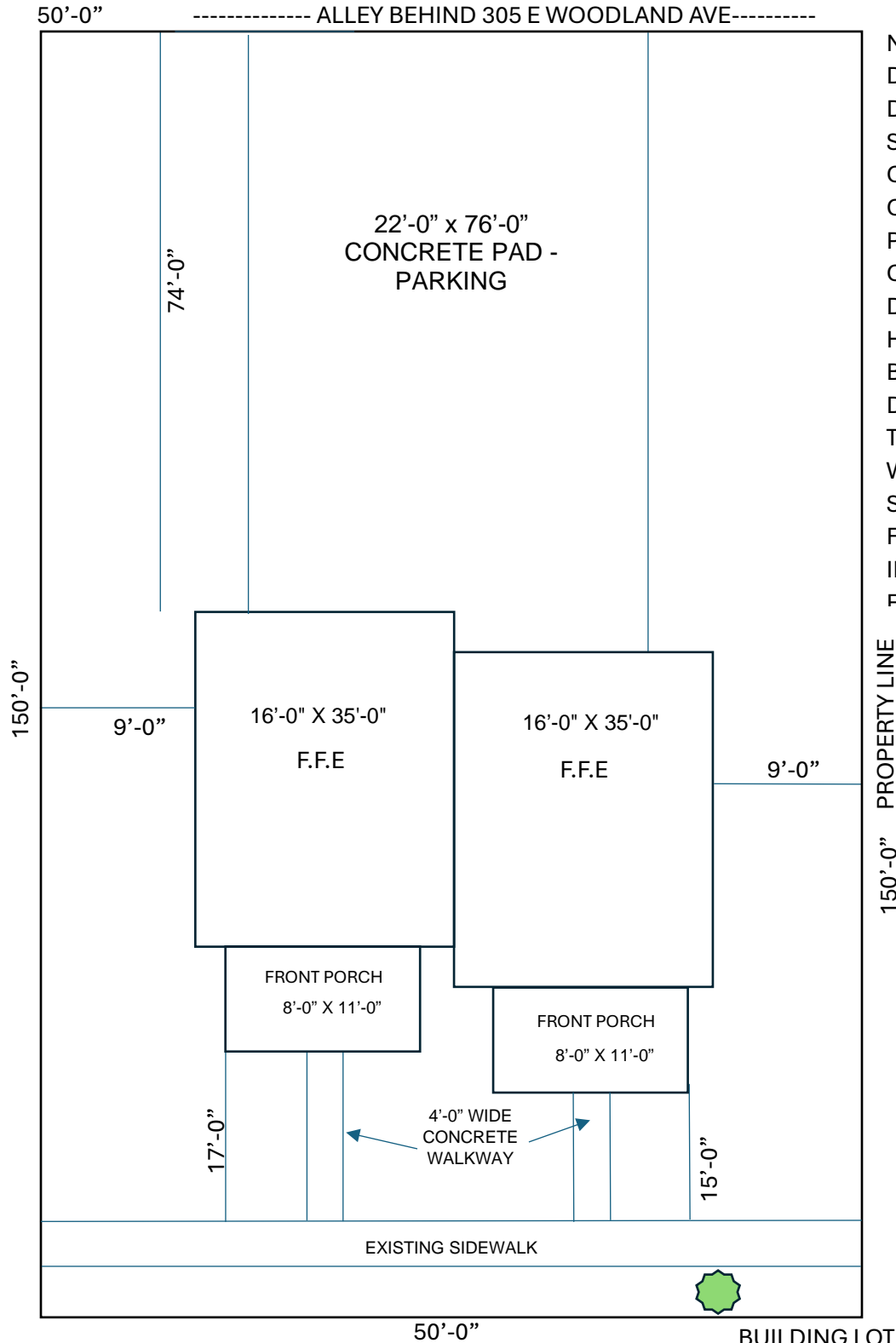
\$250.00

PD. 12/02/2024, SG



= EXISTING TREE

PARCEL ID: 081LA040



NOTE: SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.

SANITARY SEWER

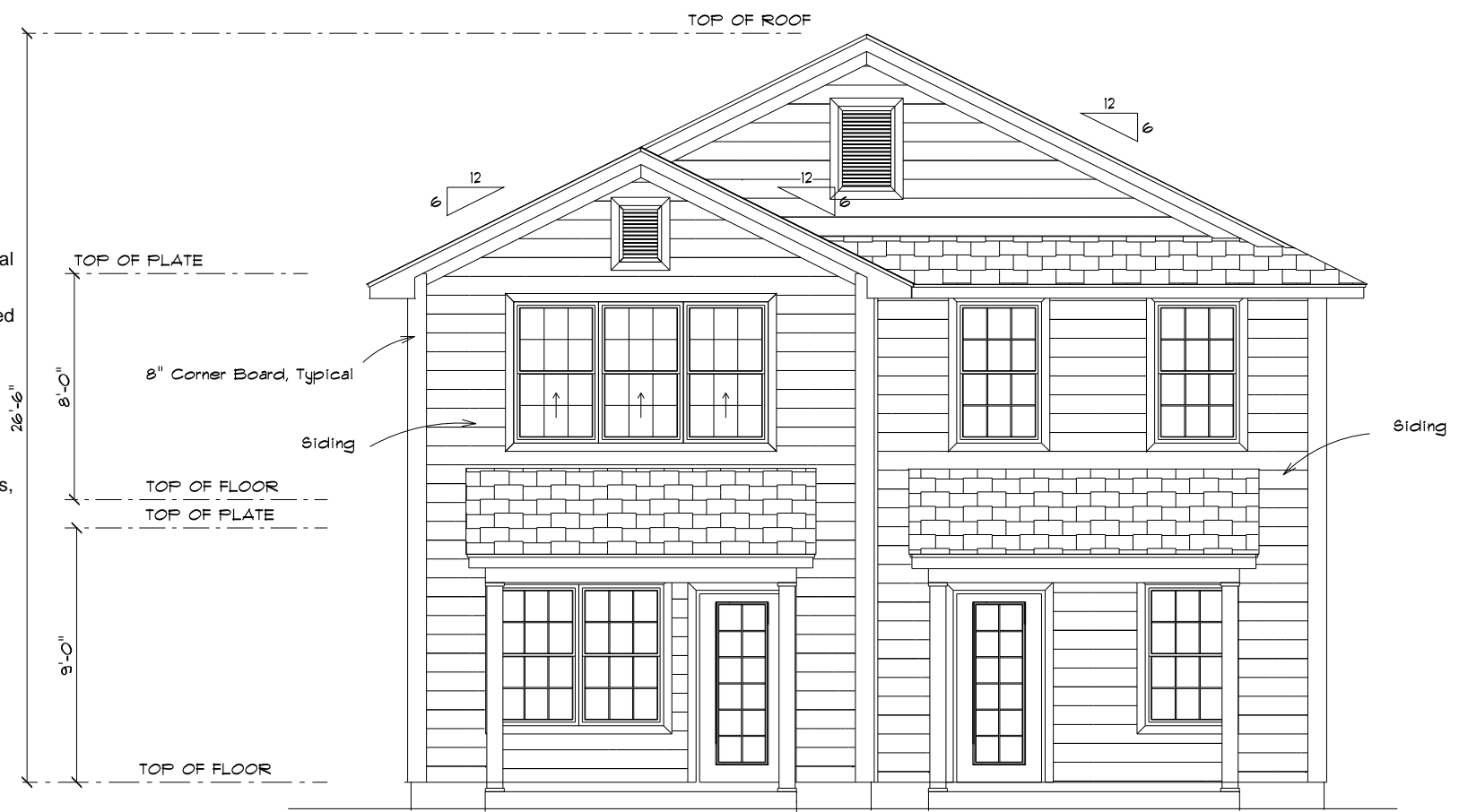
----- E WOODLAND AVENUE -----

305 E WOODLAND AVENUE

BUILDING LOT COVERAGE (17.3%):

- LOT – 7,500 sf
- HOUSE/PORCH/DECK – 1,296 sf
- IMPERVIOUS AREA (40.9%):**
- HOUSE – 1,120 sf
- PORCHES – 176 sf
- PARKING – 1,640 sf
- WALKWAY – 128 sf

- ROOF: Dimensional shingles
- FOUNDATION: Painted Stuccoed Block
- SIDING: Double 5" Straight Lap
- TRIM: White Soffit, Fascia, Trim, and Corners
- GUTTERS/DOWNSPOUTS: 6" Traditional K-Style
- PORCH, DECK, PATIO: Pressure Treated Lumber
- WINDOWS: White Single Hung
- COLUMNS: Pressure Treated 6x6
- DRIVEWAY/SIDEWALKS: Concrete
- LANDSCAPING: Leave All Existing Trees, Add Mulch and Shrubs Around Structure
- OTHER: Seed and Straw Yard



FRONT ELEVATION

ROOF: Dimensional shingles

FOUNDATION: Painted Stuccoed Block

SIDING: Double 5" Straight Lap

TRIM: White Soffit, Fascia, Trim,
and Corners

GUTTERS/DOWNSPOUTS: 6" Traditional
K-Style

PORCH, DECK, PATIO: Pressure Treated
Lumber

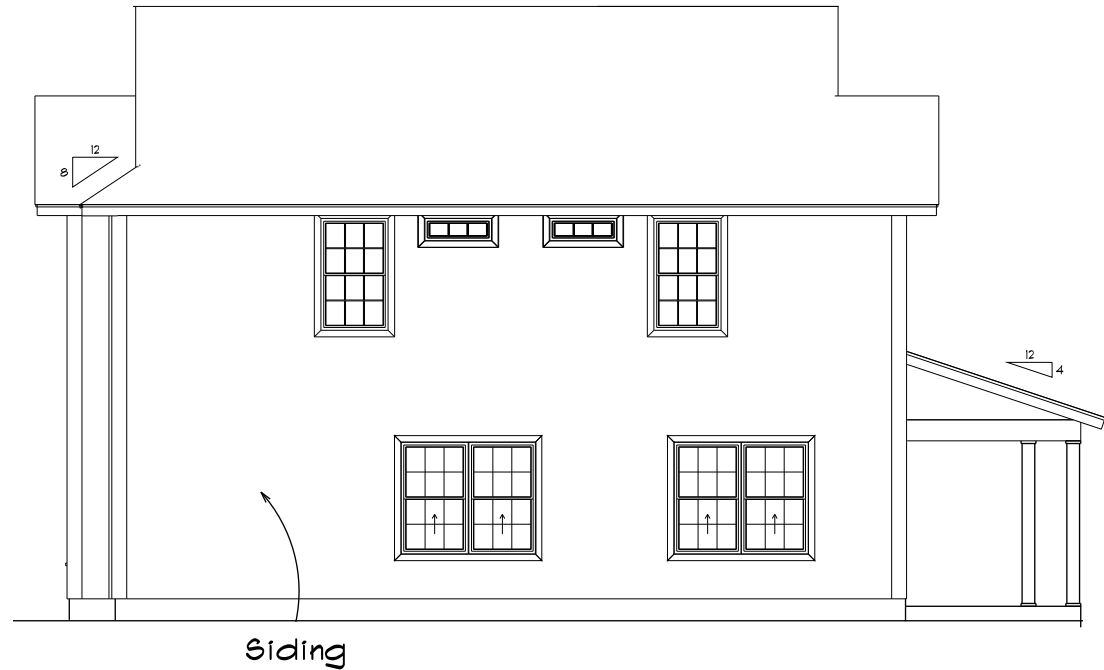
WINDOWS: White Single Hung

COLUMNS: Pressure Treated 6x6

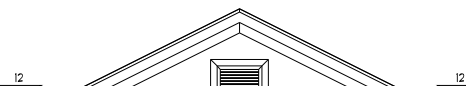
DRIVEWAY/SIDEWALKS: Concrete

LANDSCAPING: Leave All Existing Trees,
Add Mulch and Shrubs Around Structure

OTHER: Seed and Straw Yard



LEFT SIDE ELEVATION





REAR ELEVATION

ROOF: Dimensional shingles

FOUNDATION: Painted Stuccoed Block

SIDING: Double 5" Straight Lap

TRIM: White Soffit, Fascia, Trim,
and Corners

GUTTERS/DOWNSPOUTS: 6" Traditional
K-Style

PORCH, DECK, PATIO: Pressure Treated
Lumber

WINDOWS: White Single Hung

COLUMNS: Pressure Treated 6x6

DRIVEWAY/SIDEWALKS: Concrete

LANDSCAPING: Leave All Existing Trees,
Add Mulch and Shrubs Around Structure

OTHER: Seed and Straw Yard

ROOF: Dimensional shingles

FOUNDATION: Painted Stuccoed Block

SIDING: Double 5" Straight Lap

TRIM: White Soffit, Fascia, Trim,
and Corners

GUTTERS/DOWNSPOUTS: 6"
Traditional K-Style

PORCH, DECK, PATIO: Pressure Treated
Lumber

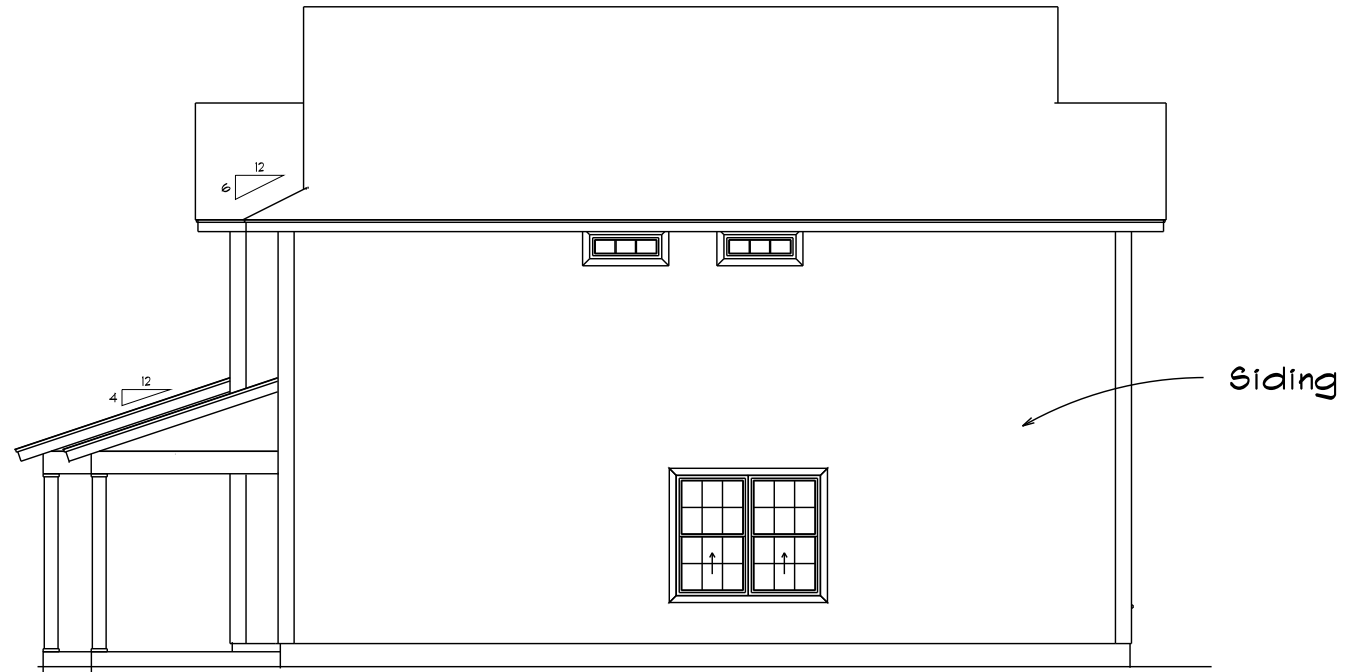
WINDOWS: White Single Hung

COLUMNS: Pressure Treated 6x6

DRIVEWAY/SIDEWALKS: Concrete

LANDSCAPING: Leave All Existing
Trees, Add Mulch and Shrubs Around
Structure

OTHER: Seed and Straw Yard



RIGHT SIDE ELEVATION