



Staff Report

Infill Housing Design Review Committee

File Number: 12-B-24-IH

Meeting: 12/18/2024
Applicant: Roy Anderson Anderson Builders
Owner: Miguel de Santiago

Property Information

Location: 3350 Midway St. **Parcel ID** 81 H D 028
Zoning: RN-2 (Single-Family Residential Neighborhood), HP (Hillside Preservation Overlay)
District: Lonsdale Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary structure fronting Midway Street. One-story residence features a front-gable roof (8/12 pitch) clad in asphalt shingles, an exterior of vinyl lap siding, and a slab foundation clad in stucco. The house features a 6' deep, full-length front porch with a front-gable roof projecting below the main roofline supported by four 10" framed columns. The building measures 24' wide by 56' deep and is to be set 26' from the front property line. Parking is a 12' wide concrete pad located in front of the house and accessed from Midway Street.

The façade (west) is three bays wide, featuring single-hung windows flanking a centered quarter-lite door. The left elevation features three single-hung windows, one of which is smaller than the others. The right elevation features two single-hung windows and a secondary entrance with a full-lite door and 4' by 4' stoop. The rear elevation features one single-hung window. All windows and doors feature PVC trim.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.

- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house.

Comments

1. The house is proposed to be set 32' from the front property line, with a 6' deep front porch at 26' from the front property line. The average front setback of the block is 24.1'. The adjacent houses are 19' and 25' from the front property line, and the subject property line is recessed approximately 6' behind those of the adjacent houses. The front setback should be revised to align with the adjacent houses. The final site plan should include a walkway from the front door to the street.
2. The block to receive new construction is characterized by Minimal Traditionals, modified Queen Anne cottages, and infill construction, which are mostly small one-story, rectangular plan houses. The three-bay façade is proportionate to the dimensions of the lot, and the house has side setbacks consistent with similarly sized lots on the block.
3. Infill Housing design guidelines recommend that on lots without alleys, new driveways should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade. Parking is currently proposed for the front yard and should be revised to meet guidelines. The final site plan should meet City Engineering standards.
4. The façade is similar in scale and height to the neighborhood context.
5. The design guidelines recommend that front porches extend "about 8-12 feet toward the street." The house incorporates a 6' deep, full-length front porch. The Board should discuss the depth of the porch.
6. Guidelines recommend window and door styles be similar to historic houses on the block, with similar placement and ratio of solid to void. All elevations feature sufficient transparency for the neighborhood context, and the windows benefit from the trim and sills.
7. The 8/12 roof pitch meets the neighborhood context, and the 1'-4" eave overhangs and rake end trim benefit the overall design of the house.
8. The asphalt shingles, vinyl "traditional" lap siding, and stucco clad foundation meet the design guidelines.
9. The final site plan should incorporate one native or naturalized shade tree in the front and rear yards.

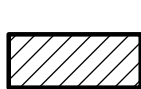
Recommendation

Staff recommends approval of Certificate 12-B-24-IH, subject to the following conditions: 1) front setback to be revised to align with adjacent houses; 2) final site plan be revised to avoid front yard parking, with approval by staff; 3) final site plan to include a walkway from the front door to the street; 4) porch depth to be revised to 8'; 5) final site plan to meet City Engineering standards; 6) final site plan to include one tree in front and rear yards.



INFILL
HOUSING
REVIEW
BOARD

12-B-24-IH
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



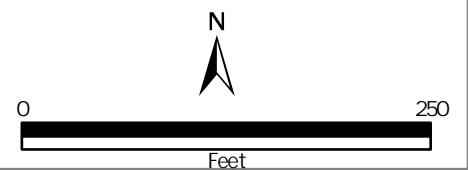
3350 Midway St.

Lonsdale Infill Housing Overlay District

Original Print Date: 12/6/2024
Knoxville/Knox County Planning - Infill Housing Design Review Committee

Revised:

Applicant: Roy Anderson Anderson Builders





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Roy Anderson

Applicant

12-B-24-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner Contractor Engineer Architect/Landscape Architect

Roy Anderson

Anderson Builders

Name

Company

235 Lovely Bluff Rd. Rocky Top TN 37769

Address

City

State

Zip

805-20-1390

AndersonBuilders1964@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Miguel de Santiago 215 S. Molly Bright Knoxville TN 37921

Owner Name (if different from applicant)

Owner Address

Owner Phone

3350 Midway St. 37921 08140028

Property Address

Parcel ID

Forest Park

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Staff Signature

Please Print

Date

Roy Anderson

Applicant Signature

Roy Anderson

Please Print

11/18/24

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: To build a 3br 2bt home

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

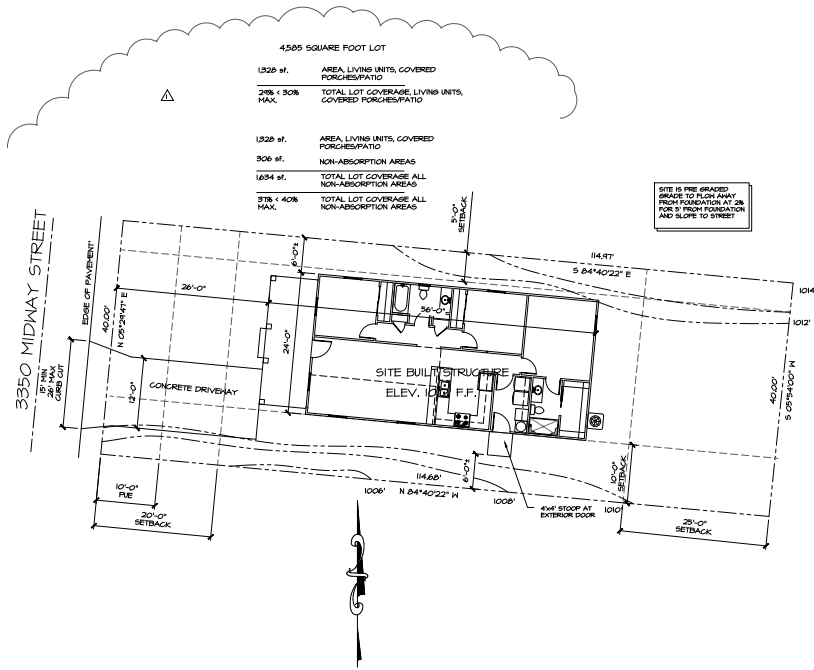
Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:		TOTAL: \$250.00
FEE 2:		
FEE 3:		
Pd. 11/19/2024, SG		

MERCADO SPEC

3350 MIDWAY STREET

KNOXVILLE TN



SHEET INDEX

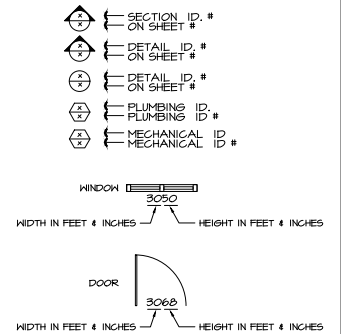
- 6000 TITLE SHEET
- 6001 GENERAL NOTES, NAILING SCHEDULE, & SYMBOLS LEGEND
- A101 FIRST FLOOR PLAN / SECOND FLOOR PLAN
- A201 ELEVATIONS / WALL SECTION
- A301 REFLECTED CEILING PLANS / ROOF PLANS
- WALL SECTION / FIRE WALL DETAIL
- A401 ARCHITECTURAL DETAILS
- 5101 FIRST AND SECOND FLOOR BRACED WALL PLANS
- 5201 FOUNDATION PLAN / FLOOR FRAMING PLAN
- 5301 ROOF FRAMING PLAN
- 5401 CONSTRUCTION DETAILS
- 5402 CONSTRUCTION DETAILS
- P101 PLUMBING PLAN

BUILDING ANALYSIS

RS OCCUPANCY TYPE
 VB CONSTRUCTION TYPE
 ONE STORY
 536 sf FIRST FLOOR
 120 sf COVERED FRONT PORCH

SCOPE OF WORK:
 CONSTRUCTION OF NEW RESIDENCE ONE STORY, 3 BEDROOM 2 BATH ON SLAB FOUNDATION AS PER 2018 IRC. WORK SHALL INCLUDE BUT NOT BE LIMITED TO SITE CLEARING AND GRADE, SITE WORK & DRAINAGE SYSTEMS, COMPLETE FORM WORK OF SLABS & FLOORS & COMPLETE CONSTRUCTION OF LIVING UNITS.

SYMBOLS LEGEND



REVISIONS BY
 11/1/2024 R.J.

MER2404B.L

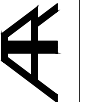
CONTRACTOR NOTES AND SPECIFICATIONS
 THESE CONTRACTOR NOTES, REVISIONS, AND SPECIFICATIONS
 ARE PART OF THE CONTRACT. THE CONTRACTOR SHALL NOT
 BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE
 CONTRACT OR FOR ANY DAMAGE TO THE PROPERTY OR
 PERSONS OR PROPERTY. THE CONTRACTOR SHALL BE
 RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS
 AND COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES,
 AND REGULATIONS. THE CONTRACTOR SHALL MAINTAIN
 ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES
 AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN THE
 SAFETY AND SECURITY OF THE PROJECT AT ALL TIMES.

PROJECT
 MERCADO SPEC
 3350 MIDWAY STREET
 KNOXVILLE TN

PROJECT

COVER SHEET

A&R
 DESIGN & DRAFTING
 SERVICE
 3000 W. WOODBINE AVE.
 LEANOR CITY, TENNESSEE 37112
 (615) 999-8805 RCD@TIGERBAL.COM



DATE 10/3/2024
 SCALE N.T.S.
 DRAWN R.J.
 JOB MER2404B
 SHEET

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