

Meeting: 4/17/2024
Applicant: Christopher Smith
Owner: Christopher Smith

Property Information

Location: 3221 Bellevue St. **Parcel ID** 70 P A 05201
Zoning: RN-2 (Single-Family Residential Neighborhood)
District: Edgewood Park Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary structure fronting Bellevue Street. One-and-one-half story residence features a side-gable roof (10/12 pitch, with a 6/12 pitch massing towards the rear), with a projecting front-gable roof massing on the right side. The house measures 30' wide by 35'-4" deep. The house features an entry recessed below a front-gable roof entry vestibule. Parking is located to the rear and accessed via Seymour Avenue.

The façade (east) features a projecting bay window with a multi-light window on the left bay with a small front-gable wall dormer above, a centrally located door below the entry vestibule, and a rounded window on the upper gable field. The right side (north) elevation features a projecting shed-roof massing clad in lap siding, with a steel panel roof. The left side (south) elevation features three bays of windows on the first bay and two on the gable field. Windows are depicted as multi-light casement windows.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
 - On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
 - Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.
-

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.

- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house.

12. Small Lot 1930-1950 Era Houses:

- In blocks where entrances are dramatized by stoops, infill housing should feature a stoop (measuring 4 to 5 feet in depth) or a covered porch (6 to 8 feet in depth)

Comments

1. The house is proposed to be set 28.5' from the front property line to the entry stoop, which measures 4' deep; the main massing of the house would be 32.5' from the front property line. The average front setback of the blockface is 40.2', with the adjacent house at 39'. The house should be recessed towards the rear to align with the adjacent house, and the overall front setback pattern of the block.

2. The block to receive new construction is characterized by Minimal Traditional houses. There are several comparable houses in the surrounding neighborhood, featuring 1.5-story, front-gable roof massings with nested front gables or entry stoops, particularly on the 3300 block of Bellevue Street. The proposed house aligns with the Tudor Revival style shown in the design guidelines and called out as prevalent in the "grid streets near Emoriland." The 1.5-story residence is proportional to the dimensions of the lot and the other houses on the block.

3. The proposed parking meets the Infill Housing design guidelines as located behind the house and accessed from the secondary street. Final site plan modifications may be necessary to meet city Engineering standards.

4. Overall, the 1.5-story, three-bay façade is similar in scale and width to the context, in particular on a block characterized by Minimal Traditional houses where the wider elevation faces the street. The neighborhood's foundations are not as tall as other historic neighborhoods in Knoxville but the final foundation should be at least 12" tall to be compatible with the context.

5. The proposed entry stoop meets the guidelines for front porches in neighborhoods characterized by "small lot 1930-1950-era houses," with a 4' by 5' entry stoop with a steeply pitched front-gable roof. The rounded arch over the door contributes additional complexity.

6. Guidelines recommend window and door styles be compatible with historic houses on the block, with a consistent ratio of solid to void. The façade uses a variety of window sizes and designs, while the neighborhood features primarily double-hung windows. The Board should discuss if double-hung windows are preferable to the multi-light casements on this design.

7. Overall, the roof pitch meets the design guidelines, though the 6/12-pitch massing projecting towards the rear is a unique element for the neighborhood context.

8. Design guidelines note that "clapboard-like materials should be used where wood siding was typically used," and "brick may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles," and "other non-historic materials should not be used in building new houses." The proposed stucco-esque acrylic coating is not compatible with the context. The acrylic should be revised to brick or lap siding to reflect the other siding materials on the house.

9. The application includes extensive information on trees to be retained and planted.

Recommendation

Staff recommends approval of Certificate 4-D-4-IH, subject to the following conditions: 1) front setback to be revised to align with adjacent house and blockface; 2) foundation to measure at least 12" tall; 3) proposed acrylic coating cladding to be replaced with brick or lap siding.



**INFILL
HOUSING
REVIEW
BOARD**

4-D-24-IH
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

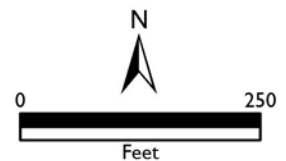


3221 Bellevue St.
Edgewood Park Infill Housing Overlay District

Original Print Date: 4/3/2024
Knoxville/Knox County Planning - Infill Housing Design Review Committee

Revised:

Applicant: Christopher Smith





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Christopher Smith

Applicant

03/28/2024

04/17/2024

4-D-24-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Christopher Smith

Name

Company

3217 Bellevue Street

Knoxville

TN

37917

Address

City

State

Zip

931-561-0069

csmi272@gmail.com

Phone

Email

CURRENT PROPERTY INFO

3217 Bellevue Street

931-561-0069

Owner Name (if different from applicant)

Owner Address

Owner Phone

3221 Bellevue Street

070PA05201

Property Address

Parcel ID

FAIRMONT PARK ADD

R2

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett
Staff Signature

Lindsay Crockett

4.1.24

Please Print

Date

Christopher Smith

03/28/2024

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: New 2 story residential house to be built at 3221 Bellevue Street.

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

250.00

FEE 2:

FEE 3:

TOTAL:

250.00

New Residential Construction Proposal

The proposal is for a two-story residential home to be built at 3221 Bellevue Street. The following pages contain supporting documentation for the proposal.

DESIGN GUIDELINES CHECK LIST

Use the following check list to determine the appropriateness of proposed infill housing design for the Heart of Knoxville. For each unchecked item, please refer to the appropriate Heart of Knoxville Infill Housing Design Guidelines section.

Front Yards

Section 1, page 5

- Setback and front door are in line and consistent with original houses on the block.
- Porch and habitable portion of house is offset from street equal to neighboring houses.
- Walkway is proposed from sidewalk (when available) to front door, perpendicular to street.
- Fencing is constructed of traditional materials and excludes chain link, N/A masonry, wide boards, and other contemporary materials.
- Healthy trees are marked for preservation.

House Orientation and Side Yards

Section 2, page 6

- Proposed infill is proportional to dimensions of lot and original houses on the block.
- Proposed infill on corner lots has applied for any necessary zoning variance to locate closer to side street.
- Proposed infill keeps the spacing between houses consistent with original houses on the block.

Alleys, Parking, and Services

Section 3, page 7

- Proposed parking avoids the front yard.
- N/A Proposed infill house has access from alley only (where available) for garage or parking pad. (If no alley access exists, proposed garage or parking pad extends 20 feet beyond the front façade of proposed infill house.)
- N/A Proposed garages accessed by alley are setback at least 18 feet from centerline of alley pavement.
- Proposed parking pads, utility boxes, and waste collection points are visually screened by landscaping and/or fencing.

Scale, Mass, and Foundation Height

Section 4, page 8

- Proposed infill elevation is proportional in scale to the original houses on the block.
- Proposed infill façade respects width of older houses on the block.
- Proposed infill attempts to incorporate historic elements of the block into the design.
- Foundation height is consistent with original houses on the block.
- Additions that cannot conform to scale and height of streetscape are located to the side or rear of infill lot.

Porches and Stoops

Section 5, page 9

- Proposed infill includes plans for a porch in a neighborhood where porches are dominant.
- Proposed porch is proportional to existing porches on block.
- Proposed porch maintains consistency with existing porches in setback along the street.
- Proposed porch materials and details complement the historic character and style of neighborhood (refer to Appendix C).

Windows and Doors

Section 6, page 10

- Proposed window and door styles complement historic character and style of block (refer to appendix).
- Proposed window or door positioning does not violate the privacy of neighboring homes.
- Proposed infill excludes contemporary window styles in pre-1940 areas.
- Proposed infill respects window and door placement of older houses on the block.

Roof Shapes and Materials

Section 7, page 12

- Proposed infill specifies similar pitch to existing houses on block.
- Proposed infill respects complex roof forms of historic blocks (refer to appendix).
- Proposed infill for a pre-1940 neighborhood specifies darker shades of shingle roofing.

Siding Materials

Section 8, page 13

- N/A In a neighborhood dominated by painted wood siding, the proposed infill specifies clapboard or similar substitutes.
- In a neighborhood with mixed architectural styles, the proposed infill specifies appropriate material and detail.
 - The proposed infill excludes faced stone, vertical siding, and other non-historic materials.

N/A Additions

Section 9, page 14

- Proposed additions to existing houses respect siding and roof materials, as well as door and window styles original to the house.
- Proposed window or door replacements should respect original style (refer to Appendix C).
- Proposed additions are located to the side or rear of original house.
- Proposed additions which require additional height are located to the rear of the house.
- Specified roof line and roofing materials for proposed addition respect original house.
- Proposed addition does not violate openness or character of front porch.

N/A Multi-unit Housing

Section 10, page 15

- Proposed multi-unit housing respects traditional front yard setbacks of neighborhood.
- Proposed multi-unit housing respects height of original houses in the neighborhood.
- Proposed multi-unit housing respects rhythm and proportion of historic homes on the block.
- Proposed parking for multi-unit housing accesses existing alleys.
- Proposed housing specifies landscaping to include shade trees, in front and back yards.

Landscape and Other Considerations

Section 11, page 16

- For proposed infill with 25 feet or greater front yard depth, at least one shade tree is specified for planting.
- N/A Specified fencing and/or hedges will not exceed 42 inches in height in front yard.
- N/A Front yard fences avoid chain link and specify appropriate historic material.

Small Lot 1930-1950 Era Houses

Section 12, page 17

- Off-street parking is located in the side or rear yard or parallel to the street.
- N/A Multi-unit housing is in scale with other houses on the block and across the street.
- A porch or stoop is part of the design.
 - Decks or patios are located behind the house. N/A

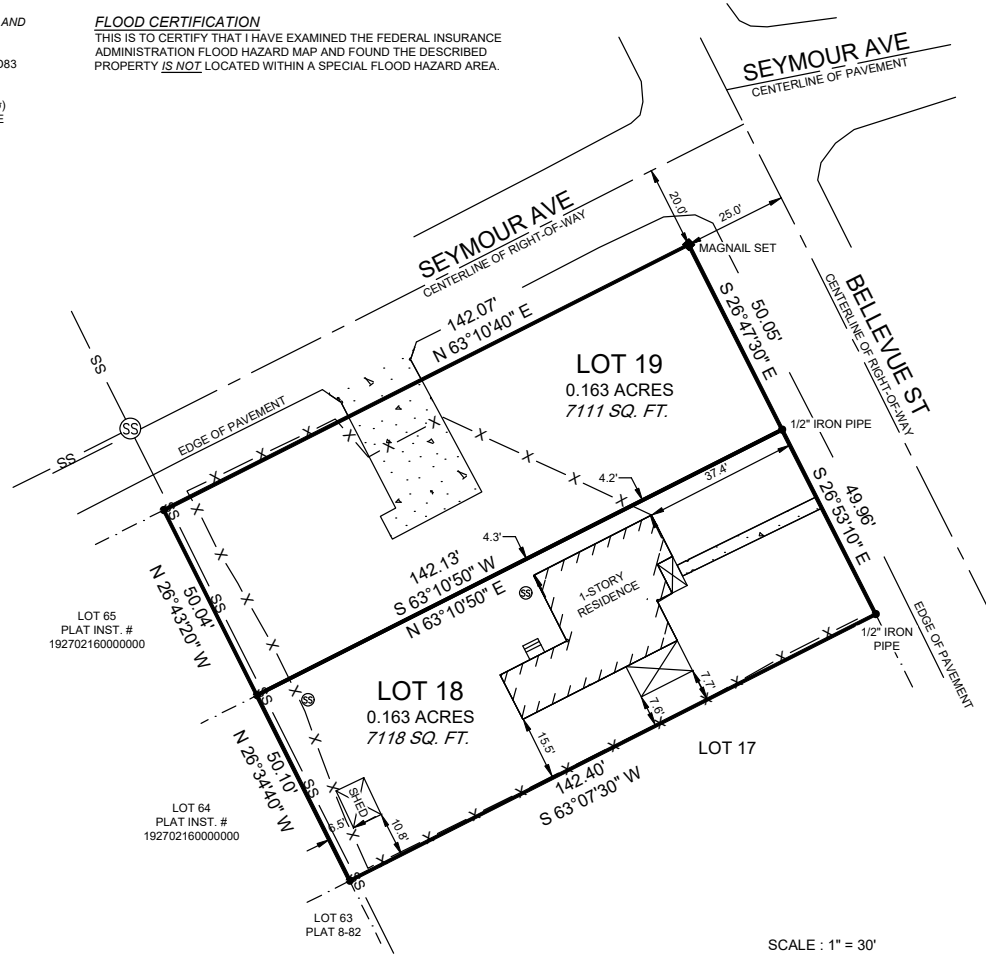
Site Plan

THIS SURVEY WAS PREPARED USING A COMBINATION OF RTK GNSS AND CONVENTIONAL TOTAL STATION DATA COLLECTION.

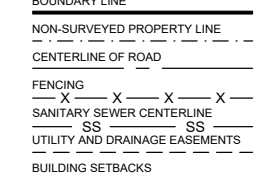
- 1) GNSS RECEIVER: CARLSON BRx7 BASE/ROVER REFERENCED TO NAD83 STATE PLANE COORDINATES USING THE TDOT CORS NETWORK
 - A) REAL-TIME KINEMATIC GNSS OBSERVATIONS USED
 - B) MINIMUM POSITIONAL ACCURACY = 0.07' (95% CONFIDENCE / 2σ)
 - C) HORIZONTAL DATUM = NAD83(2011) EPOCH 2010.00 TENNESSEE (EPSG 32138)
 - D) VERTICAL DATUM = NAVD88
 - E) GEOID MODEL = CONTINENTALUS_NGS2018
 - F) COMBINED SCALE FACTOR = 1.00000000
 - G) REFERENCE STATION = LOCAL BRx7 BASE LOCALIZED USING TDOT CORS MODELED CORRECTIONS
 - H) OBSERVATIONS MADE ON 10/09/2023
- 2) TOTAL STATION: SOKKIA DX-205AC+
- 3) ALL DISTANCES & AREAS SHOWN ARE GRID MEASUREMENTS

FLOOD CERTIFICATION

THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE DESCRIBED PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA.



- = 1/2" REBAR FOUND (UNLESS SPECIFIED OTHERWISE)
- ◆ = 1/2" x 24" REBAR SET
- = CALCULATED POINT
- ⊗ = SANITARY SEWER MANHOLE
- ⊕ = SANITARY SEWER (OR SEPTIC) CLEANOUT
- Ⓣ = TELECOM BOX
- Ⓜ = ELECTRICAL TRANSFORMER OR BOX
- = UTILITY POLE
- Ⓜ = WATER METER



NOTES:

- 1) COORDINATES SHOWN ON THIS MAP ARE FOR THE CONVENIENCE OF FUTURE SURVEYORS AND SHOULD NOT BE CONSIDERED AS PRIMARY EVIDENCE FOR REMONUMENTATION PURPOSES.
- 2) THE LAND SURVEYOR IS NOT RESPONSIBLE FOR ANY DETERMINATION OR LOCATION OF ANY UNDERGROUND CONDITIONS NOT VISIBLE AND OBVIOUS BY INSPECTION OF THE PREMISES, INCLUDING, BUT NOT LIMITED TO, SOILS, GEOLOGICAL CONDITIONS, PHYSICAL DEVICES AND FACILITIES, PIPELINES OR BURIED CABLES UNLESS SPECIFICALLY SHOWN ON THIS MAP, AND SHALL NOT BE RESPONSIBLE FOR ANY LIABILITY THAT MAY ARISE OUT OF THE MAKING OF OR FAILURE TO MAKE SUCH DETERMINATION OR LOCATION OF ANY SUBSURFACE CONDITION.
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CERTIFICATION OF CATEGORY AND ACCURACY OF SURVEY

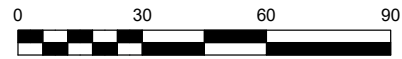
I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED TRAVERSE IS 1:10,000 FOR TOTAL STATION MEASUREMENTS. GNSS MEASUREMENT PRECISION IS A MINIMUM OF 0.07' AT THE 95% RELATIVE POSITIONAL ACCURACY CONFIDENCE INTERVAL.

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE LATEST RECORDED DEEDS AND OTHER DOCUMENTS FURNISHED BY THE ATTORNEY AND THAT THERE ARE NO ENCROACHMENTS OR PROJECTS OTHER THAN THOSE SHOWN AND THAT THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



Jacob Forster 11/21/2023
 JACOB FORSTER, TN RLS 3500

SCALE: 1" = 30'
 PAPER SIZE: TABLOID (11" x 17")



3221 & 3217 BELLEVUE ST (PARCEL 70P A 052.00) CITY BLOCK 16562, 16TH WARD, CITY OF KNOXVILLE DISTRICT 2, KNOX COUNTY, STATE OF TENNESSEE WD INSTR. # 201709050050452 LOT 18 & 19 - FAIRMONT PARK - 1ST ADDITION PLAT INSTR. # 192804240000000		A BOUNDARY SURVEY FOR SMITH, CHRIS BY ETN SURVEYING LLC 865-235-1878 JACOB@ETNSURVEYING.COM	
JOB# 20231004	DRAWN: JPF	10/09/2023	SCALE: 1" = 30'
			ALL RIGHTS RESERVED

Site Plan with Trees and Fence

The next page indicates trees and fencing on the property:

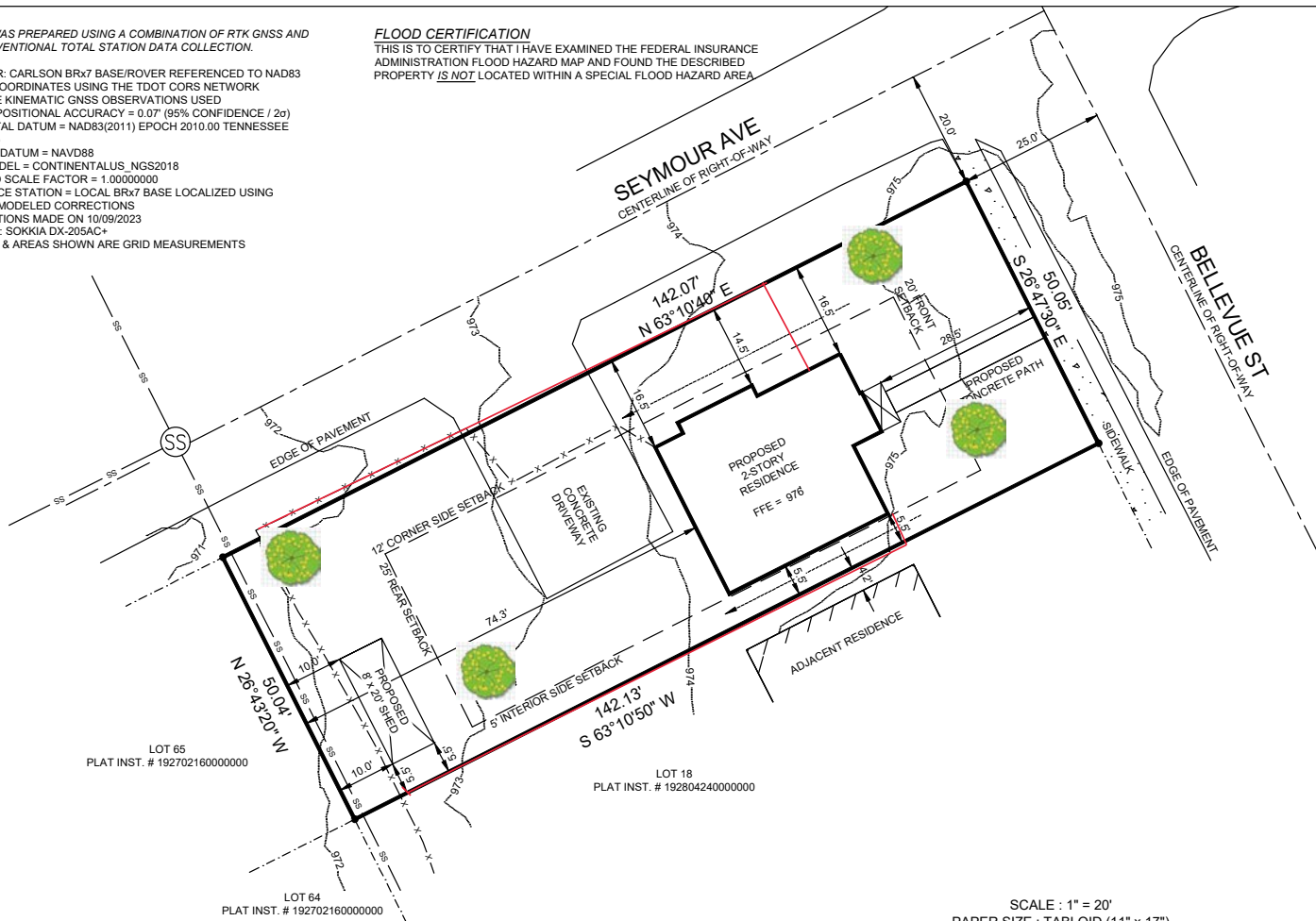
- Two existing trees in the backyard (Oak and Buckeye) that will be preserved.
- The front right tree will be a new Dogwood variety that will provide shade. There is a current dogwood variety on the property that will unfortunately be cut down for the placement of the house.
- The front left tree will be a new smaller variety of Dogwood. Current trees in the location that will be removed include: 1) a Crepe Myrtle that is directly under the power lines and is now beginning to touch the lines and 2) a young Pecan tree that is directly in the corner of the power lines and will continue to get larger.
- Fencing is highlighted in red. The back fence line remains the same. The fencing will be vertical wood similar to other privacy fences in the neighborhood. A wooden gate will also be installed on the parking pad.

THIS SURVEY WAS PREPARED USING A COMBINATION OF RTK GNSS AND CONVENTIONAL TOTAL STATION DATA COLLECTION.

- 1) GNSS RECEIVER: CARLSON BR7 BASE/OVER REFERENCED TO NAD83 STATE PLANE COORDINATES USING THE TDOT CORS NETWORK
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BOUNDARY LINE

NON-SURVEYED PROPERTY LINE

CENTERLINE OF ROAD

FENCING

SANITARY SEWER CENTERLINE

UTILITY AND DRAINAGE EASEMENTS

BUILDING SETBACKS

STORMWATER DRAINAGE PATHS

CONCRETE

- NOTES:**
- 1) ZONED RN-2
 - 2) SETBACKS SHOWN ARE PER CURRENT ZONING REGULATIONS.
 - 3) IMPERVIOUS SURFACE CALCULATIONS
 IMPERVIOUS SURFACES = 1740 SQ. FT.
 LOT SIZE = 7111 SQ. FT.
 IMPERVIOUS PERCENTAGE = 24.5%
 - 4) EXACT FINISHED FLOOR ELEVATION (FFE) TO BE DETERMINED BY BUILDER BASED ON EXISTING SITE CONDITIONS.
 - 5) CONTOUR LINES SHOWN WERE RETRIEVED FROM THE STATE OF TN LIDAR REPOSITORY AND HAVE BEEN FIELD-CHECKED FOR LOCAL ACCURACY.
 - 6) COORDINATES SHOWN ON THIS MAP ARE FOR THE CONVENIENCE OF FUTURE SURVEYORS AND SHOULD NOT BE CONSIDERED AS PRIMARY EVIDENCE FOR REMONUMENTATION PURPOSES.
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JOB# 20231004-B	DRAWN: JPF	11/21/2023	SCALE: 1" = 20'	ALL RIGHTS RESERVED

Blueprints with Building Elevations

The next page details the blueprints for the residential house to be built. Please note the blueprint includes a basement which will not be built. The house will be built on a slab foundation, but the elevations above ground are correct. In addition, the concrete patio is to be enclosed as an office space. The blueprints contain materials to be used.

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HOUSE PLANS 

NOTES

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CUSTOMER INFO

CHRIS SMITH
(931)980-7188

AREA SCHEDULE / SQ.FT.

GROUND FLOOR	818
SECOND FLOOR	877
BASEMENT	818
TOTAL	2,513
OTHERS	
BONUS ROOM	
GARAGE	

STAMP BY

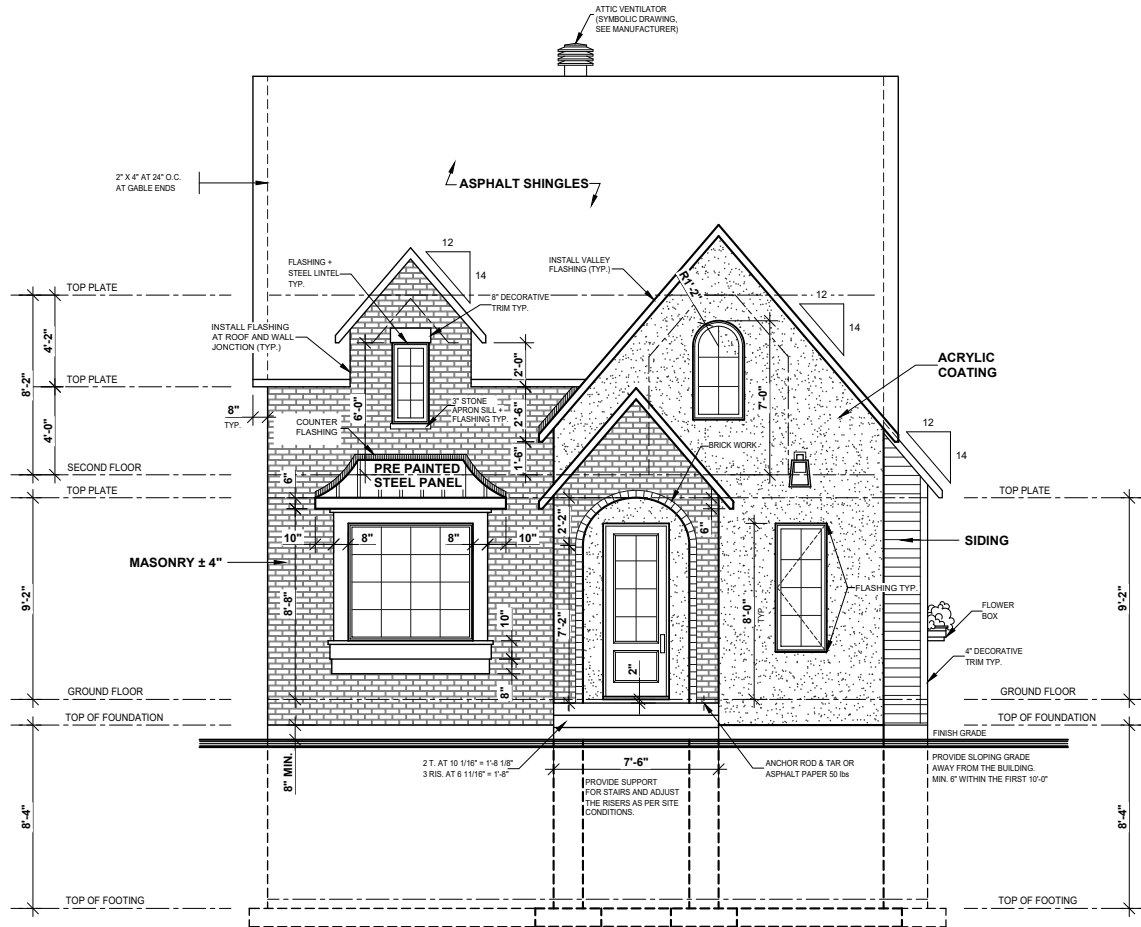
PROJECT INFO

NEW CONSTRUCTION
(FINISHED BASEMENT)

DRAWING

FRONT ELEVATION

SCALE	1/4"=1'-0"	DESIGNED BY	J.L.
DATE	12/10/2023	DRAWN BY	A.R.
PLAN NO.	3513-V1	CHECKED BY	M.S.
SHEET NO.			1-13



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AREA SCHEDULE / SQ.FT

GROUND FLOOR	818
SECOND FLOOR	877
BASEMENT	818
TOTAL	2,513
OTHERS	
BONUS ROOM	
GARAGE	

STAMP BY

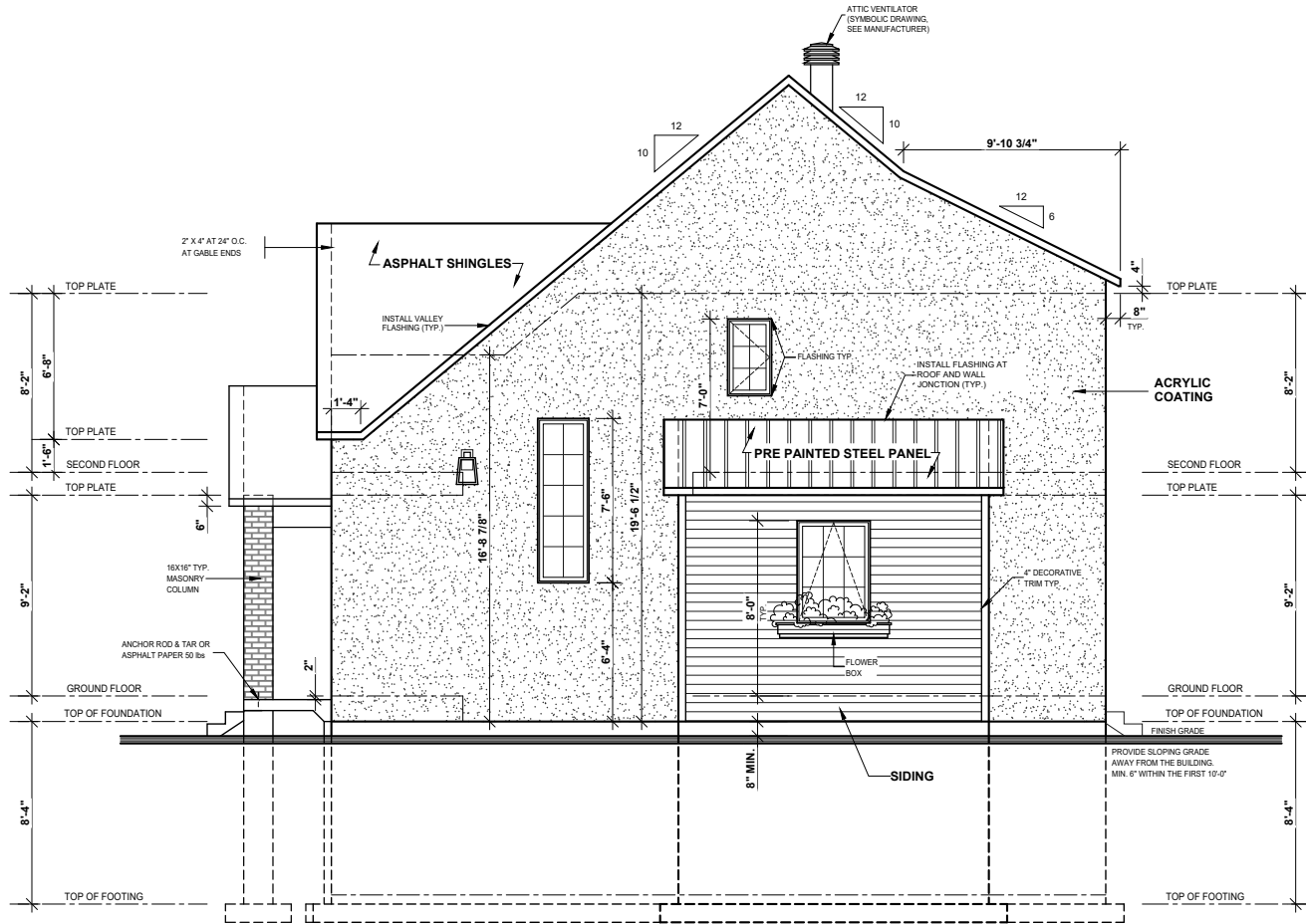
PROJECT INFO

NEW CONSTRUCTION
(FINISHED BASEMENT)

DRAWING

RIGHT ELEVATION

SCALE	1/4"=1'-0"	DESIGNED BY	J.L.
DATE	12/10/2023	DRAWN BY	A.R.
PLAN NO.	3513-V1	CHECKED BY	M.S.
SHEET NO.			2-13



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AREA SCHEDULE / SQ.FT.

GROUND FLOOR	818
SECOND FLOOR	877
BASEMENT	818
TOTAL	2,513
OTHERS	
BONUS ROOM	
GARAGE	

STAMP BY

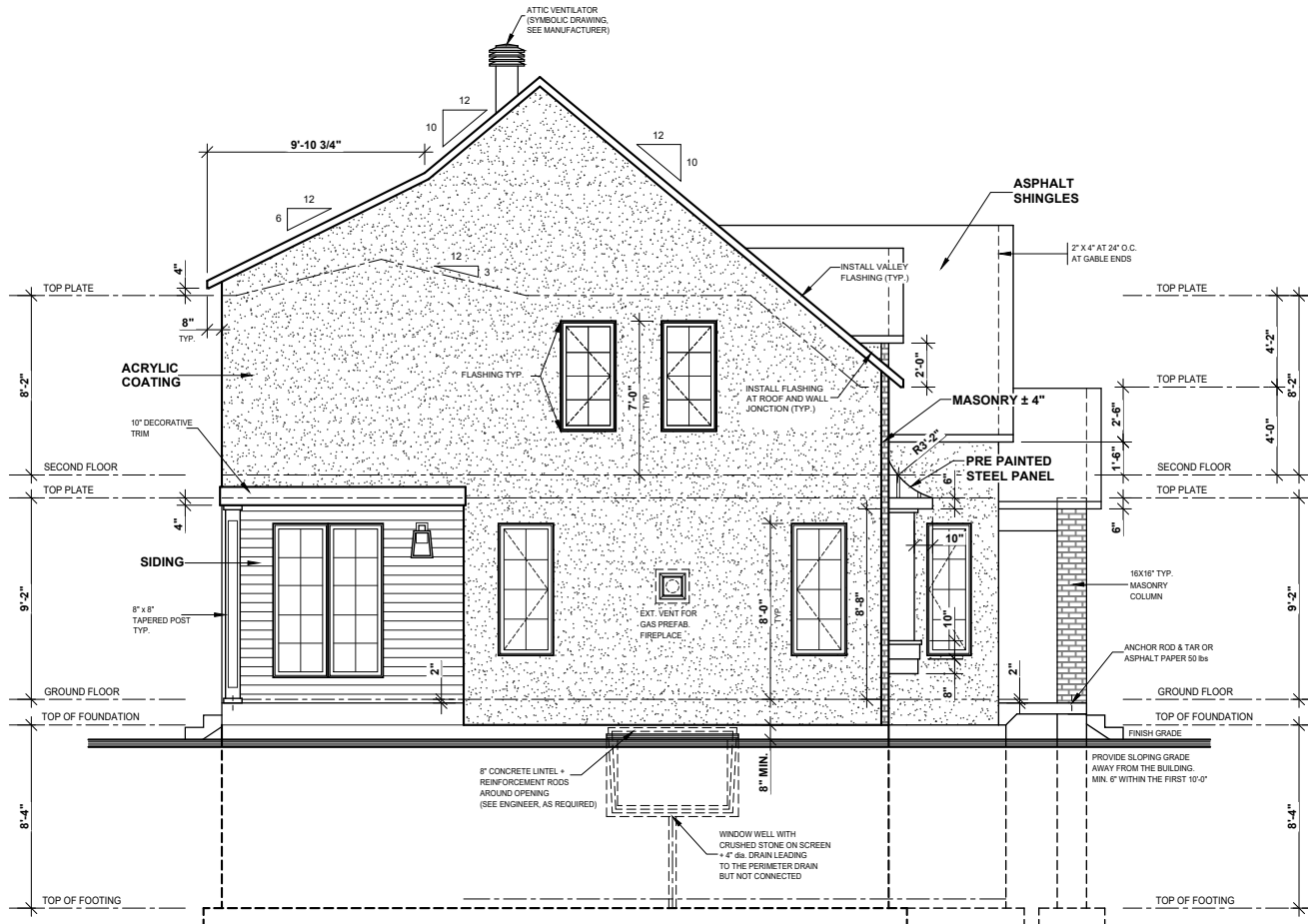
PROJECT INFO

NEW CONSTRUCTION
(FINISHED BASEMENT)

DRAWING

LEFT ELEVATION

SCALE	1/4"=1'-0"	DESIGNED BY	J.L.
DATE	12/10/2023	DRAWN BY	A.R.
PLAN NO.	3513-V1	CHECKED BY	M.S.
SHEET NO.			3-13



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CUSTOMER INFO

CHRIS SMITH

(931)980-7188

AREA SCHEDULE / SQ.FT

GROUND FLOOR	818
SECOND FLOOR	877
BASEMENT	818
TOTAL	2 513
OTHERS	
BONUS ROOM	
GARAGE	

STAMP BY

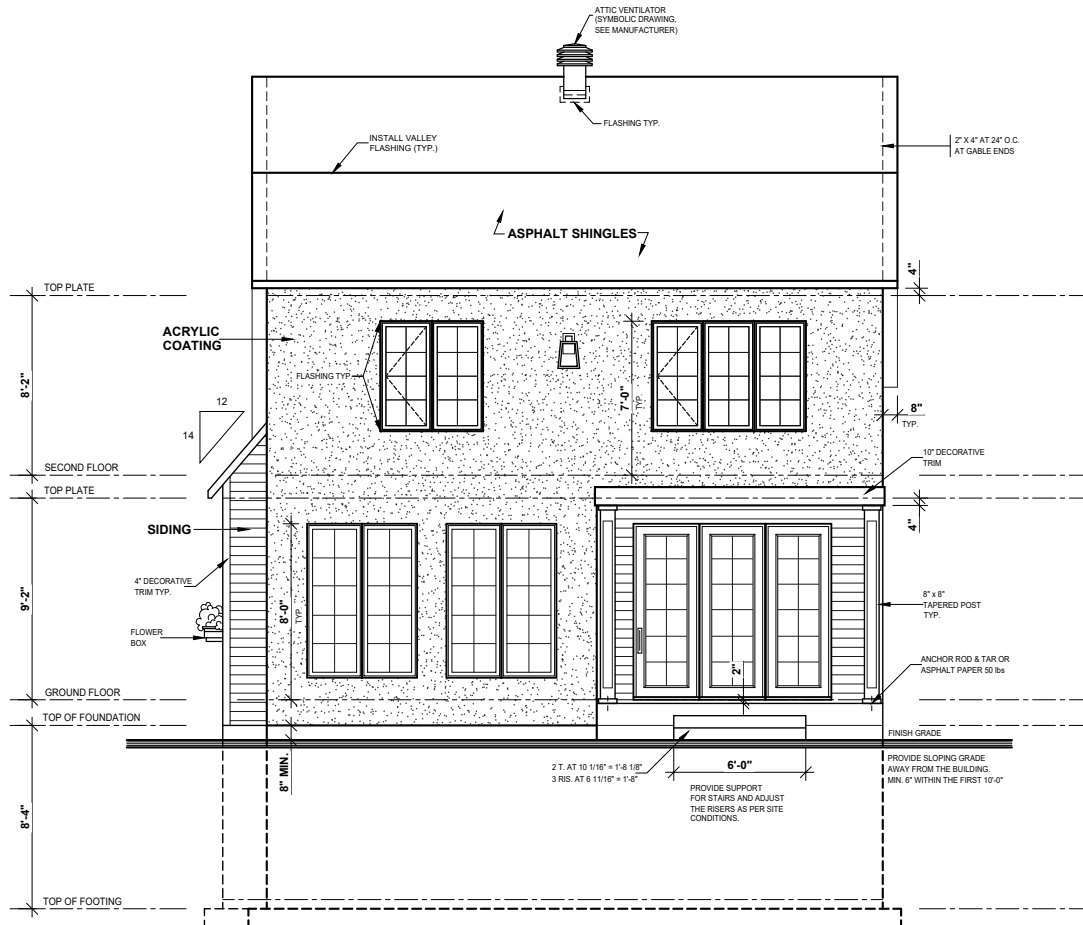
PROJECT INFO

NEW CONSTRUCTION
(FINISHED BASEMENT)

DRAWING

REAR ELEVATION

SCALE	1/4"=1'-0"	DESIGNED BY	J.L.
DATE	12/10/2023	DRAWN BY	A.R.
PLAN NO.	3513-V1	CHECKED BY	M.S.
SHEET NO.			4-13



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AREA SCHEDULE / SQ.FT

GROUND FLOOR	818
SECOND FLOOR	877
BASEMENT	818
TOTAL	2,513
OTHERS	
BONUS ROOM	
GARAGE	

STAMP BY

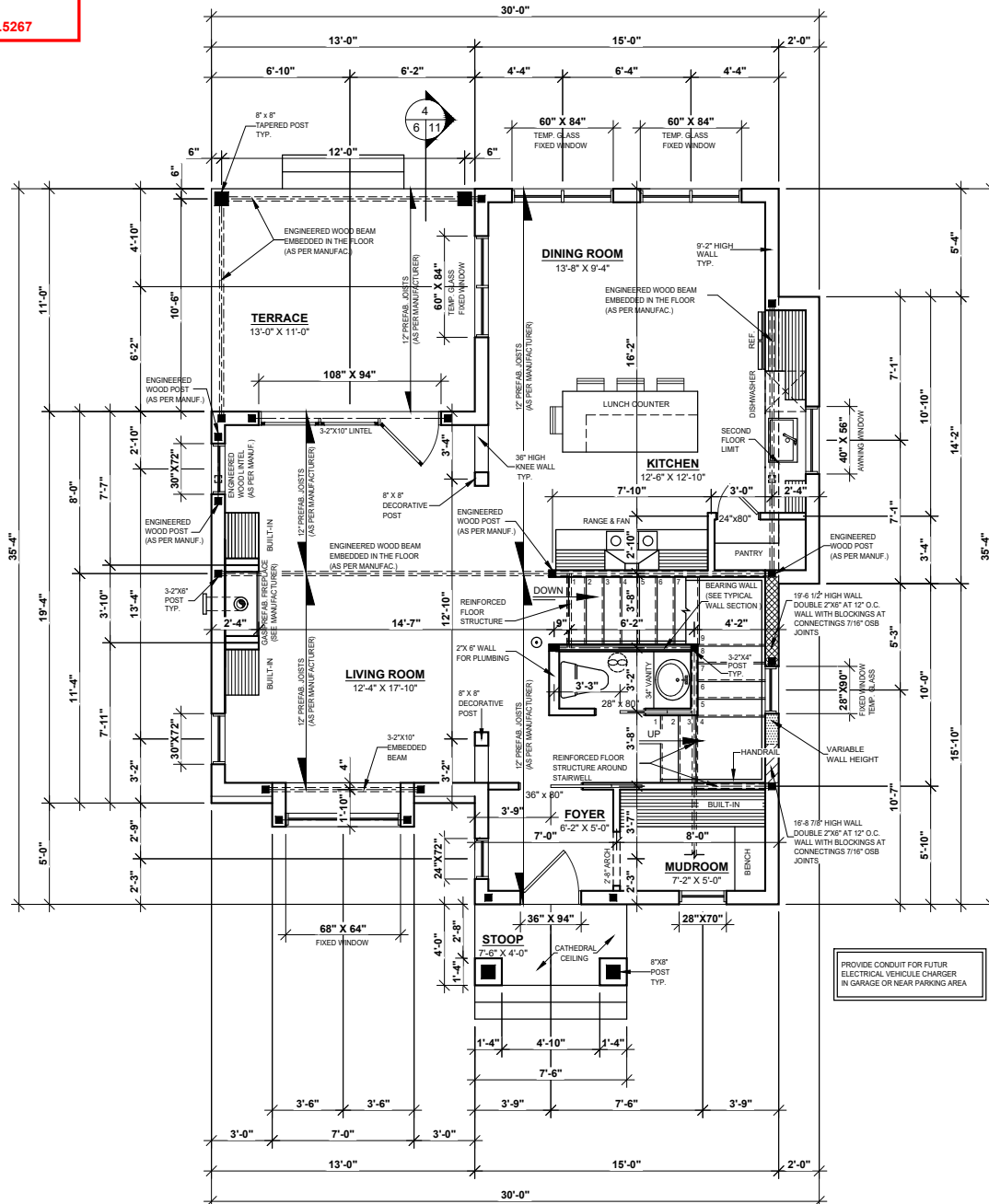
PROJECT INFO

NEW CONSTRUCTION
(FINISHED BASEMENT)

DRAWING

GROUND FLOOR PLAN

SCALE	1/4"=1'-0"	DESIGNED BY	J.L.
DATE	12/10/2023	DRAWN BY	A.R.
PLAN NO.	3513-V1	CHECKED BY	M.S.
SHEET NO.			6-13



STRUCTURAL LEGEND

- IN-WALL STUD POST
- REINFORCED BEAMS SUPPORTING STRUCTURE
- BEARING WALL
- 22" X 30" ATTIC ACCESS
- 14" X 30" ATTIC ACCESS
- 22" X 30" ATTIC ACCESS
- 10" dia. CONCRETE PILASTERS ON 18" X 30" X 10" CONCRETE FOOTINGS + RE-BARS (EW)
- 8" dia. CONCRETE PILASTERS ON 30" X 30" X 10" CONCRETE FOOTINGS + RE-BARS (EW)
- 1-3/4" SOLID CORE DOOR WITH WEATHER STRIPPING AND DOOR CLOSER

CROSS SECTION

- ARROW INDICATING THE DIRECTION OF CUT
- SECTION NUMBER
- PAGE ON WHICH SECTION IS FOUND
- PAGE ON WHICH SECTION WAS TAKEN

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CUSTOMER INFO

CHRIS SMITH

(931)980-7188

AREA SCHEDULE / SQ.FT

GROUND FLOOR	818
SECOND FLOOR	877
BASEMENT	818
TOTAL	2513
OTHERS	
BONUS ROOM	
GARAGE	

STAMP BY

PROJECT INFO

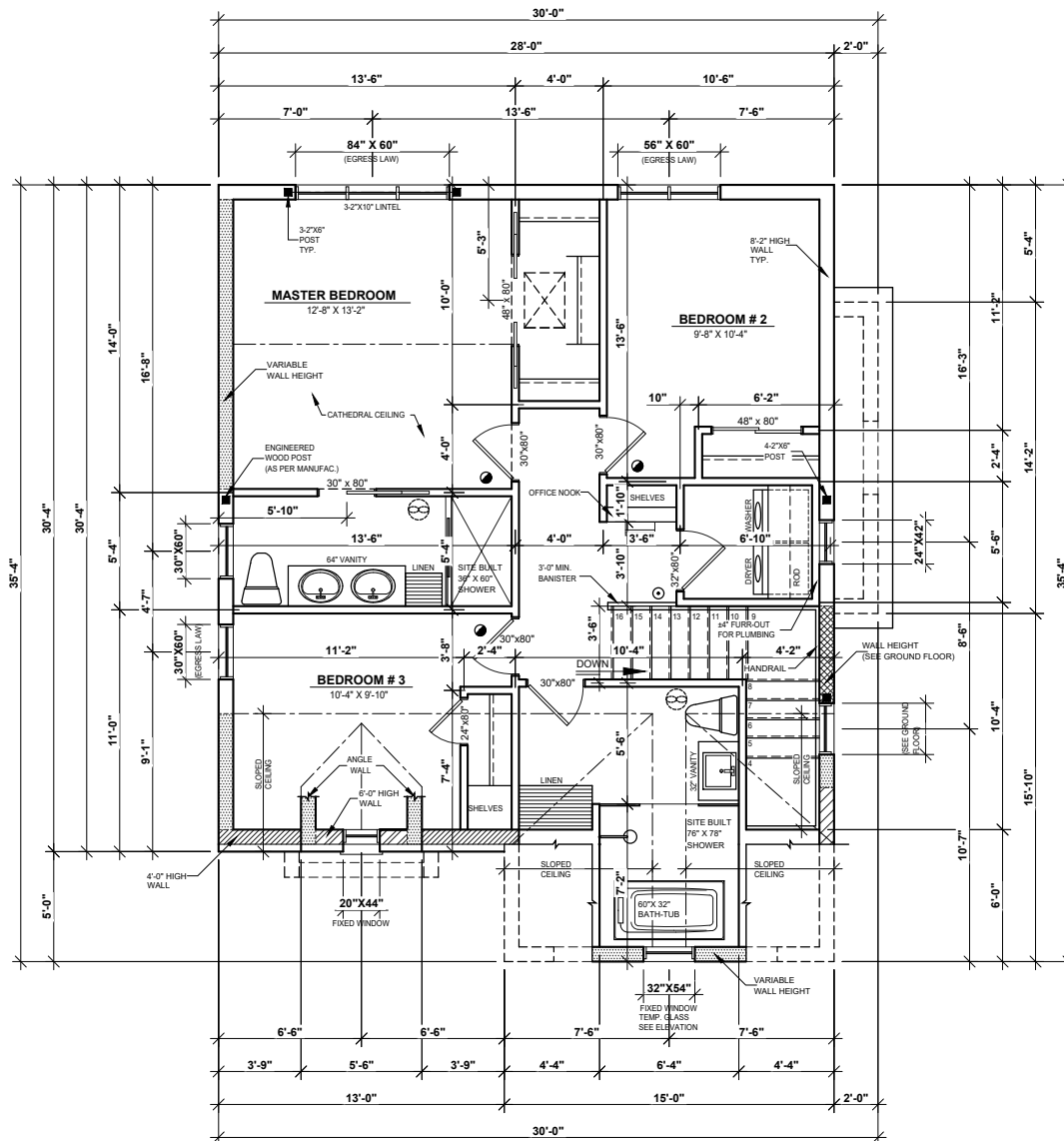
NEW CONSTRUCTION
(FINISHED BASEMENT)

DRAWING

SECOND FLOOR PLAN

SCALE	1/4"=1'-0"	DESIGNED BY	J.L.
DATE	12/10/2023	DRAWN BY	A.R.
PLAN NO.	3513-V1	CHECKED BY	M.S.
SHEET NO.			7-13

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STRUCTURAL LEGEND

- IN-WALL STUD POST
- REINFORCED BEAMS SUPPORTING STRUCTURE
- BEARING WALL
- 22" X 30" ATTIC ACCESS
- 14" X 30" ATTIC ACCESS
- 22" X 30" ATTIC ACCESS
- 10" DIA CONCRETE PILASTERS ON 18" X 30" X 10" CONCRETE FOOTINGS + RE-BARS (EW)
- 8" DIA CONCRETE PILASTERS ON 30" X 30" X 10" CONCRETE FOOTINGS + RE-BARS (EW)
- 1-3/4" SOLID CORE DOOR WITH WEATHER STRIPPING AND DOOR CLOSER
- PROVIDE CABLE OR CONDUIT FOR THE FUTURE INSTALLATION OF A RECHARGEABLE TERMINAL FOR ELECTRIC VEHICLES
- ELECTRIC SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- MONOXIDE DETECTOR WITH TEMPORARY SWITCH DEVICE
- ELECTRIC SMOKE ALARM
- FAN
- 4" DIA PIPE THAT EXCEEDS THE FLOOR OF 8" TO 12" THE PIPE MUST BE WELL IDENTIFIED AND HAVE AN AIRTIGHT COVER

CROSS SECTION

- ARROW INDICATING THE DIRECTION OF CUT
- SECTION NUMBER
- PAGE ON WHICH SECTION IS FOUND
- PAGE ON WHICH SECTION WAS TAKEN

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CUSTOMER INFO

CHRIS SMITH

(931)980-7188

AREA SCHEDULE / SQ.FT.

GROUND FLOOR	818
SECOND FLOOR	877
BASEMENT	818
TOTAL	2,513
OTHERS	
BONUS ROOM	
GARAGE	

STAMP BY

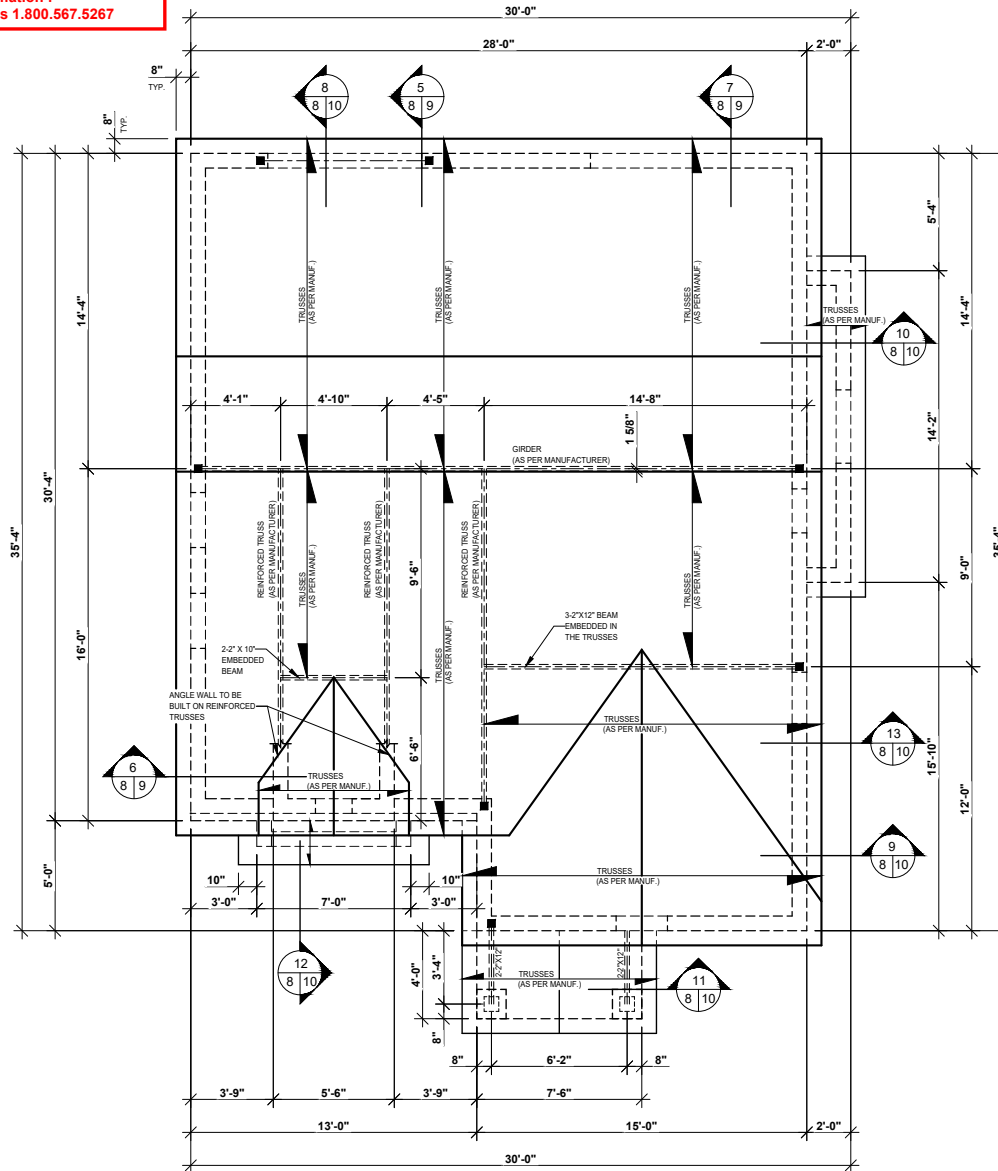
PROJECT INFO

NEW CONSTRUCTION
(FINISHED BASEMENT)

DRAWING

ROOF PLAN

SCALE	1/4"=1'-0"	DESIGNED BY	J.L.
DATE	12/10/2023	DRAWN BY	A.R.
PLAN NO.	3513-V1	CHECKED BY	M.S.
SHEET NO.			8-13



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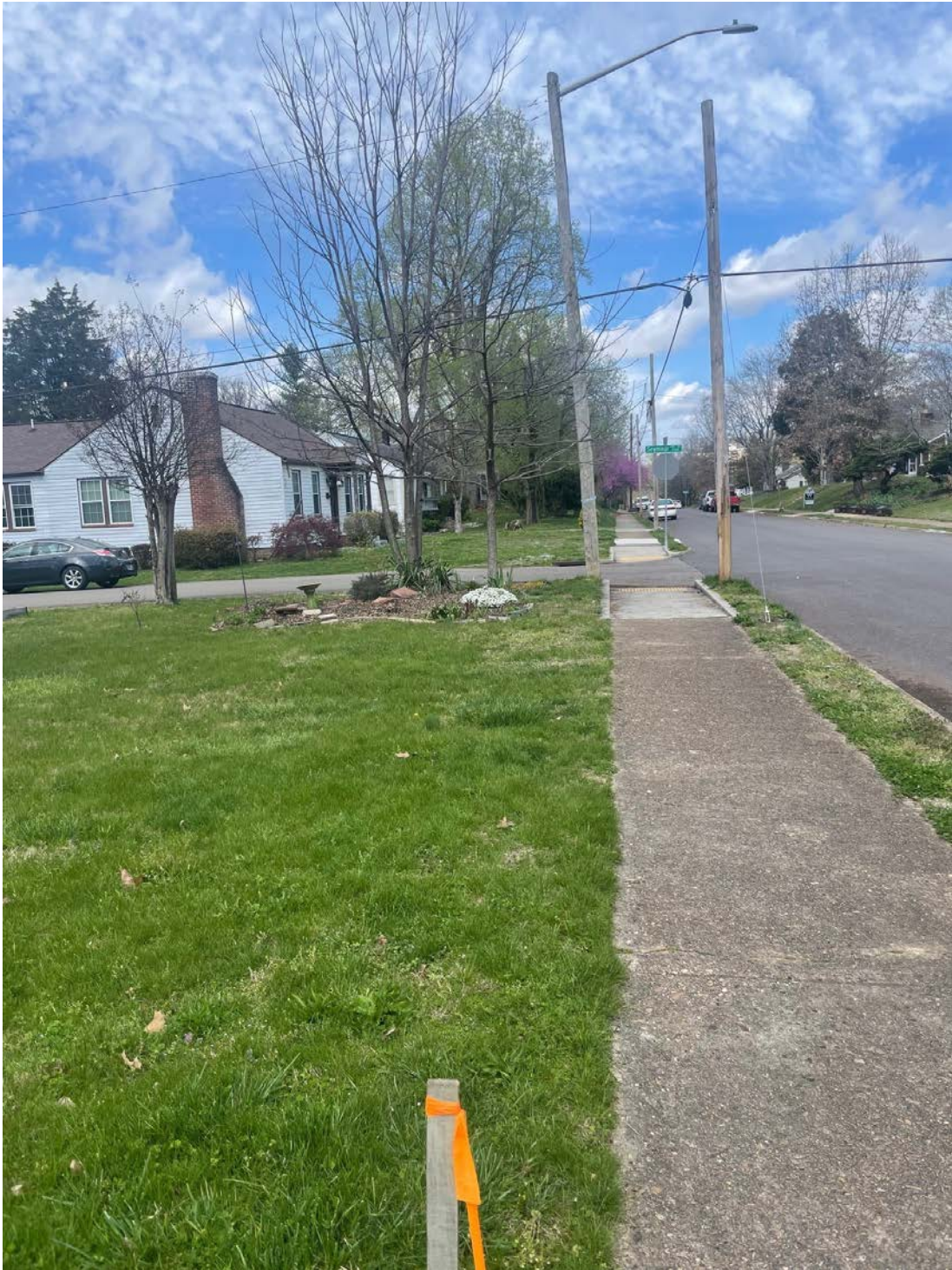
Photos of Property



Front Corner of Property

Current Dogwood - to be replaced due to placement of house

New Dogwood to be planted closer to sidewalk.



Horizontal Front of Property

Pecan tree and Crepe Myrtle tree to be replaced at corner.

New tree will be smaller variety and away from power lines.



**Front Corner of
Property**

Pecan tree to be
replaced



Middle of Lot - Parking Pad

Parking pad to be retained.

Chain link fence will be replaced with wooden fence.

Oak tree in background will be retained.



Back Corner

Left tree is the Oak tree to be preserved.

Front right tree is a Buckeye that will also be preserved.

Personal Note

My name is Chris Smith and I currently live at 3217 Bellevue Street with my wife, Kristen, and son, Callen, who was born on 03/14/2024. We both graduated from the University of Tennessee Knoxville and decided that we both loved the city so much that we never wanted to leave. I currently work at TVA downtown as an auditor and my wife is a nurse at UT Medical Center. We bought our current home in 2017 and have loved every moment of living in the area. North Knoxville is such a great place to be and especially in the Fairmont and Edgewood area. We recently split our double lot in hopes of building a bigger house to accommodate our growing household. Our house design represents a more classic look that fits in with the very diverse architecture that is present around our area. We appreciate you all taking the time to review our application and look forward to hopefully building our family home.

