

**Meeting:** 4/17/2024  
**Project:** Hill and Locust  
**Applicant:** Ben Hudgins Brock Hudgins Architects

---

## Property Information

**Location:** 0 W. Hill Ave. **Parcel ID** 94 M D 018  
**Zoning:** DK (Downtown Knoxville)  
**Description:**  
New construction residential building proposed for multiple vacant parcels.

---

## Description of Work

Level III Construction of a New Building/Structure

**SUMMARY:** Proposed new 17-story residential construction (twelve stories of residential apartments above 5-stories of structured parking on the rear massing). The building is proposed for an L-shaped site at the intersections of W. Hill Ave., Locust Street, and Front Ave., located immediately north of Neyland Drive and the river. The site is significantly sloped towards the south and the river. The building is L-shaped, with a 6-story massing fronting W. Hill Ave and extending south along Locust Street, and the larger 17-story massing facing Front Ave.

**SITE LAYOUT AND ACCESS:** The primary access point to the garage extends from W. Hill Ave via a two-way drive accessing the parking garage, along with ride-share spots, and short term spaces. A secondary/service access point is located to the west/southwest side of the garage, which will extend north off Front Ave and turn right into a loading area. The primary pedestrian access fronts Hill Avenue at the northeast corner of the building.

### DESIGN ELEMENTS:

**North massing:** the 6-story massing fronting Hill Avenue is clad in brick veneer, featuring vertical metal accents. As the building extends south along Locust Street, a central section (increasing in number of stories at grade, due to the slope) is clad in vertical-ribbed, prefinished metal panels. A flat-roof metal canopy extends around the first story at the corner of Hill Ave and Locust Street. On this section, the windows are evenly spaced and symmetrically arranged single-light storefront systems.

**South massing:** the 17-story massing towards the river features a cast-in-place concrete parking garage with "architecturally canted columns" at the corners. The residential section above the garage is C-shaped, surrounding an amenity level with a pool immediately above the garage ("podium level 2"), fronting the river. The residential section is clad in fiber cement and features single-light storefront windows, aluminum and glass balconies on all elevations.

Floor plans show the mechanical, electrical, service, and trash functions located at the southwest corner, surrounding the garage access point.

---

## Applicable Design Guidelines

## Downtown Design Guidelines

### A. Public Realm

#### 1. Pedestrian and Bicycle Safety

1g. Consolidate curb-cuts and locate driveways near mid-block, when necessary; alley access should be provided for service and parking, if feasible.

#### 3. Parking Facilities

3a. Create parking garages that do not contain blank walls. Allow for future commercial uses that may not be feasible at the time of construction.

3b. Locate parking garages under structures, or provide for retail, residential or office uses that line the garage. Corner locations are preferable for commercial uses.

3g. Access to parking garages should not limit options for future development of contiguous or adjoining space, especially on corners.

#### 4. Downtown Beautification

4a. Foster downtown beautification with landscaping and plantings, public art, and public open space.

4c. Plant street trees where possible. Choose tree planting locations that will not significantly alter the setting of or harm the materials of historic buildings.

### B. Private Realm

#### 1. Building Mass, Scale and Form

1a. Maintain a pedestrian-scaled environment from block to block.

1b. Foster air circulation and sunlight penetration around new buildings. Buildings may be designed with open space, as allowed under existing DK zoning; or buildings may be 'stepped back' on upper floors with lower floors meeting the sidewalk edge.

1c. Use building materials, cornice lines, signs, and awnings of a human scale in order to reduce the mass of buildings as experienced at the street level.

1d. Divide larger buildings into 'modules' that are similar in scale to traditional downtown buildings. Buildings should be designed with a recognizable base, middle, and top on all exposed elevations.

1e. Avoid blank walls along street-facing elevations.

#### 2. Building Location

2a. Set buildings back five feet in order to provide wider sidewalk space when new construction in non-historic areas is to be more than half the length of the block.

2b. Consider using landscape elements to define the sidewalk edge where a building is to be set back from the sidewalk.

2d. Limit grade separations above or below the sidewalk, generally no more than 3 feet. Allow for clear sightlines into and out of buildings and plazas.

2e. Design private plazas to be pedestrian-friendly. Provide human-scale amenities and include landscaping.

#### 3. Building Materials

3a. Use complimentary materials and elements, especially next to historic buildings.

#### 4. Architectural Character

4a. Encourage first floor uses that draw walk-in traffic; businesses that do not require pedestrian traffic should be located on other floors.

4b. Enhance pedestrian interest in commercial and office buildings by creating a largely transparent and consistent rhythm of entrances and windows.

4c. Scale first floor signs to pedestrians.

4d. Differentiate the architectural features of ground floors from upper floors with traditional considerations such as show-windows, transoms, friezes, and sign boards.



4e. Design top floors to enhance the skyline of the block through cornices and details that are harmonious with adjacent architecture. 4f. Encourage the use of 'green roofs' and other sustainable practices, while minimizing the visual impact from the street.

#### 5. Ground Floor Doors and Windows

5a. Use consistent rhythm of openings, windows, doorways, and entries.

5b. Orient primary front entrances to the main street; secondary entrances should be clearly defined and oriented to streets or alleys, as appropriate.

5c. Design entrances according to the proportions of the building's height and width.

5d. Consider corner entrances at the ends of blocks.

5e. All windows at the pedestrian level should be clear

5f. Recess ground floor window frames and doors from the exterior building face to provide depth to the facade.

#### 6. Residential Buildings

6a. Elevate the first floor of townhouses and apartment buildings so that pedestrians cannot look directly into the residence from the sidewalk level.

6b. Design entrances to residential buildings so that access is separated from pedestrian flow on the sidewalk.

6c. Encourage the development of mixed-use buildings with apartments over lower story commercial uses.

#### 7. Mechanical Equipment and Service Utilities

7a. Minimize the visual impact of mechanical equipment through screens or recessed/ low-profile equipment.

7b. Do not locate units on a primary façade.

7c. Screen rooftop vents, heating/ cooling units and related utilities with parapet walls or other screens. Consider sound-buffering of the units as part of the design.

7d. Locate utility connections and service boxes on secondary walls.

7e. Reduce the visual impacts of trash storage and service areas by locating them at the rear of a building or off an alley, when possible.

7f. Screen dumpsters from view.

7g. Locate satellite dishes out of public view, where possible.

7h. Allow solar panels and other technological advances on rooftops and other unobtrusive locations. Solar panels should not be considered on the elevations of historic buildings.

#### The Boulevard District:

2a. Design building entrances to be clearly oriented to the street.

2b. Encourage building forms that are complimentary to the mass of adjacent buildings.

2c. Design building elevations to compliment the buildings along the side or back streets when buildings are to face more than one street.

2d. Screen service facilities or incorporate them into the design of new buildings so that they are not obtrusive.

---

## Comments

1. SITE: the building is proposed for a series of adjacent vacant parcels, which have historically been cleared and used as occasional surface parking. Part of the building (the Hill Avenue massing) is zoned DK-G (Grid district), while the south massing is zoned DK-B (Boulevard subdistrict). The block on W. Hill Avenue contains an eclectic mix of significant historic houses, historic multi-family structures, and a contemporary multi-family building. The site is on the edge of downtown, fronting Neyland Drive and the riverfront, with the Maplehurst neighborhood to the west and the City-County Building to the east. The architectural context is varied in time period, detail, and scale. The new building will be significantly larger in scale and massing than the surrounding buildings.

2. PARKING: the application includes a 5-6-story structured parking garage, with access off Front Street and W. Hill Avenue. The primary garage access point is located on W. Hill Avenue, and will feature two separated lanes for vehicle ingress and egress. The current parking count shows 399 spaces, which will generate a significant amount of

vehicle traffic for W. Hill Avenue. Guidelines recommend "consolidating curb-cuts and locating driveways near mid-block, when necessary," and prioritizing pedestrian safety. The access point does meet the guidelines (consolidating the driveways into one curb cut) but the applicants should provide additional information on mitigation of any potential sight distance issues for cars exiting the garage, and pedestrian safety measures on the sidewalk on Hill Avenue.

3. **MASSING AND SCALE:** guidelines generally encourage maintaining a pedestrian-scaled environment from block to block. The guidelines recommend dividing buildings into "modules" similar in scale to traditional downtown buildings with a recognizable base, middle, and top. The north massing fronting Hill Ave is similar in scale to adjacent buildings and other historic buildings downtown, using a largely transparent ground level separated from the residential upper levels. The south section is not pedestrian-scaled, divided into two large massings of a parking garage and a residential building. The Board should discuss the overall scale of the building's south massing in relation to the context of the area.

4. **PEDESTRIAN EXPERIENCE:** guidelines encourage incorporating first-floor uses that are open to pedestrians and draw walk-in traffic. The project includes one café space on the first story of the Hill Avenue massing. Guidelines also recommend using building materials and entries at a human scale to create an engaging pedestrian experience, avoiding blank walls along street-facing elevations, and using a "consistent rhythm of entrances and windows."

The secondary elevations avoid blank walls via a series of windows moving south towards the openings to the garage. There are no additional entries to the building beyond two egress doors on the Locust Street side. Overall, most pedestrian activity in the broader area is directed towards the greenway along the riverfront or further north towards downtown; the southern end of Locust Street (along the building's east side) does not have a sidewalk on either side. The Board should discuss the proposed ground-level design within the neighborhood context.

On Hill Avenue, the elevation addresses the street via a series of full-light storefront windows, but the primary pedestrian entries are recessed underneath the building and do not address the street. The zoning code (Article 5.5, Table 5-4) require building facades abutting public rights-of-way to incorporate building entries no less than once every 50 feet. The project should incorporate an entry facing Hill Avenue to better engage the street and meet the base zoning code's design standards for the DK-G subdistrict.

5. **MATERIALS:** guidelines recommend the use of building materials that "relate to the scale, durability, color, and texture of the predominate building materials in the area." The surrounding area is characterized by a wide array of exterior materials, including contemporary and historic brick masonry, stucco, and wood siding, along with contemporary office buildings and parking structures. Overall, the proposed materials are compatible with the context. The parking garage uses a creative design of canted columns which visually aligns with the nearby Henley Street bridge.

6. **MECHANICAL:** the floor plans indicate mechanical and service utilities to be located on secondary elevations. Any rooftop mechanical fixtures not depicted on plans or elevations should be set back from the roof edge and receive screening to meet the City zoning code.

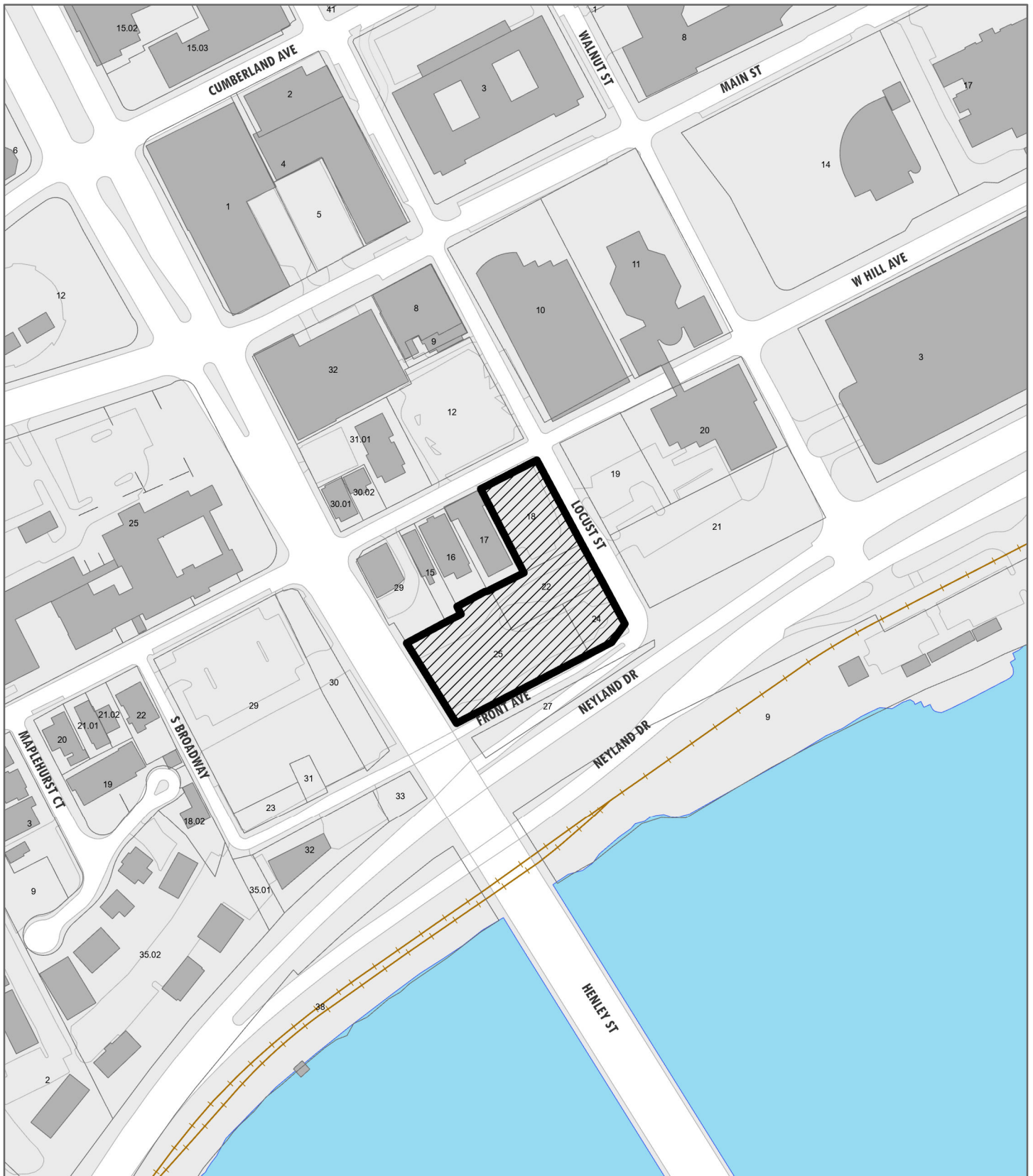
7. **SIGNS:** the signs depicted on the elevation drawings do not contain sufficient information for Board review at this time; a separate signage application should be submitted to the DRB for further review.

---

## Recommendation

The Board should discuss the overall scale of the proposed building (specifically, the south massing fronting the river) in relation to the context. The Board should also discuss the pedestrian-level design within the neighborhood context. Pending Board decision or any additional conditions related to scale and ground-level design, approval should be subject to the following conditions:

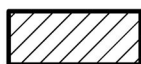
- 1) Applicants to provide further information regarding pedestrian safety measures on the Hill Avenue parking garage entrance;
- 2) Addition of a pedestrian entryway facing W. Hill Avenue to meet the base zoning code and design guidelines;
- 3) Final site plan and parking garage to meet City Engineering standards;
- 4) Final landscaping plan to meet standards of City zoning code and design guidelines;
- 5) Any mechanical equipment or service utilities not shown on plans to be placed on secondary elevations and receive screening as necessary;
- 6) Signage to return to DRB as a separate application.



**4-D-24-DT**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

**DOWNTOWN  
DESIGN  
REVIEW  
BOARD**

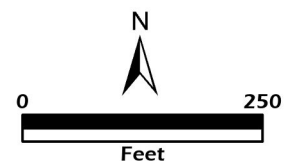


**0 W. Hill Ave.**

**Level 3: Construction of new building/  
structure**

Original Print Date: 4/3/2024  
Revised:  
Knoxville/Knox County Planning · Downtown Design Review Board

Petitioner:





## DESIGN REVIEW REQUEST

☒ DOWNTOWN DESIGN (DK)

☐ HISTORIC ZONING (H)

☐ INFILL HOUSING (IH)

BEN HUDGINS

Applicant

3/29/24

Date Filed

4/17/24

Meeting Date (if applicable)

4-D-24-DT

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☐ Contractor ☐ Engineer ☒ Architect/Landscape Architect

BEN HUDGINS

Name

BROCK HUDGINS ARCHITECTS

Company

530 MEANS STREET, SUITE 105

Address

ATLANTA

City

GA

State

30318

Zip

404-213-5271

Phone

BHUDGINS@BROCKHUDGINS.COM

Email

## CURRENT PROPERTY INFO

HILL & LOCUST PARTNERS, GP

WHELCHER / GILLENWATER TRUST

WHELCHER BARBARA H & ZENITH PROPERTIES LLC

Owner Name (if different from applicant)

109 CIRCLE LN

7723 MICKELSON CT

7723 MICKELSON CT

Owner Address

KNOXVILLE TN 37919

NAPLES FL 34113

NAPLES FL 34113

Owner Phone

0 W. HILL AVE, 1015 LOCUST ST, 0 LOCUST ST, 0 FRONT AVE, 0 W. HILL AVE

Property Address

094MD018, 094MD022, 094MD024, 094MD025, 094ME033, 094ME030

Parcel ID

103

Neighborhood

DK-G, DK-B

Zoning

## AUTHORIZATION

Lindsay Crockett

4.1.24

Staff Signature

Please Print

Date

Applicant Signature

BEN HUDGINS

Please Print

3/29/24

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs    ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☒ Construction of new building/structure    ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: NEW MULTIFAMILY DEVELOPMENT AT THE INTERSECTION OF HILL AVE AND LOCUST ST. THE PROPOSED NEW DEVELOPMENT INCLUDES A STRUCTURED PARKING GARAGE, A HIGHRISE RESIDENTIAL COMPONENT ALONG FRONT AVE, AND A MIDRISE RESIDENTIAL COMPONENT FRONTING HILL AVE. RESIDENTIAL AMENITIES INCLUDE A POOL TERRACE, CLUBROOM, FITNESS, AND LOBBY.

HISTORIC ZONING

Level 1:

- ☐ Signs    ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials    ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure    ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work:

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities    ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street    ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure  
☐ Site built    ☐ Modular    ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work:

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist  
☐ Historic Zoning Design Checklist  
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

250.00

FEE 2:

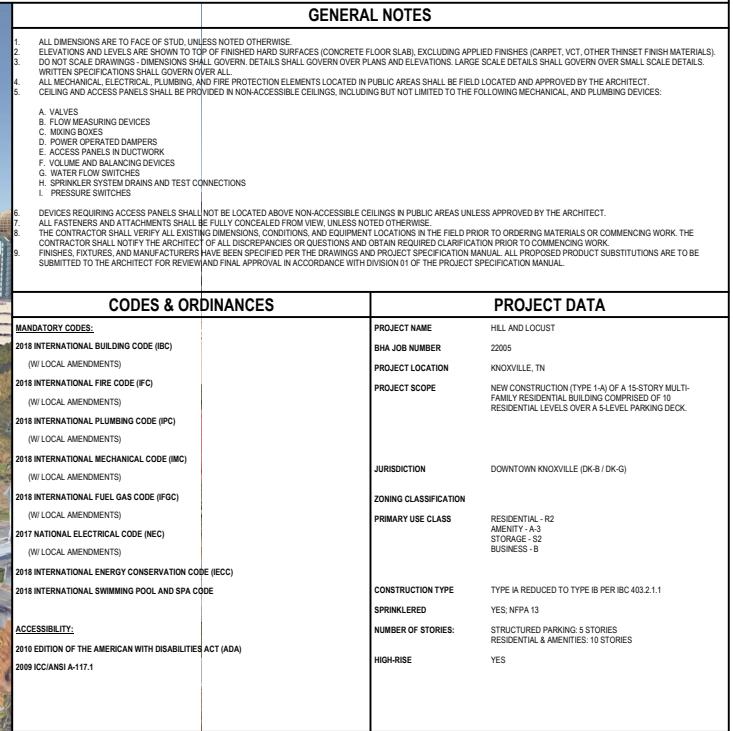
FEE 3:

TOTAL:

250.00



04.17.24

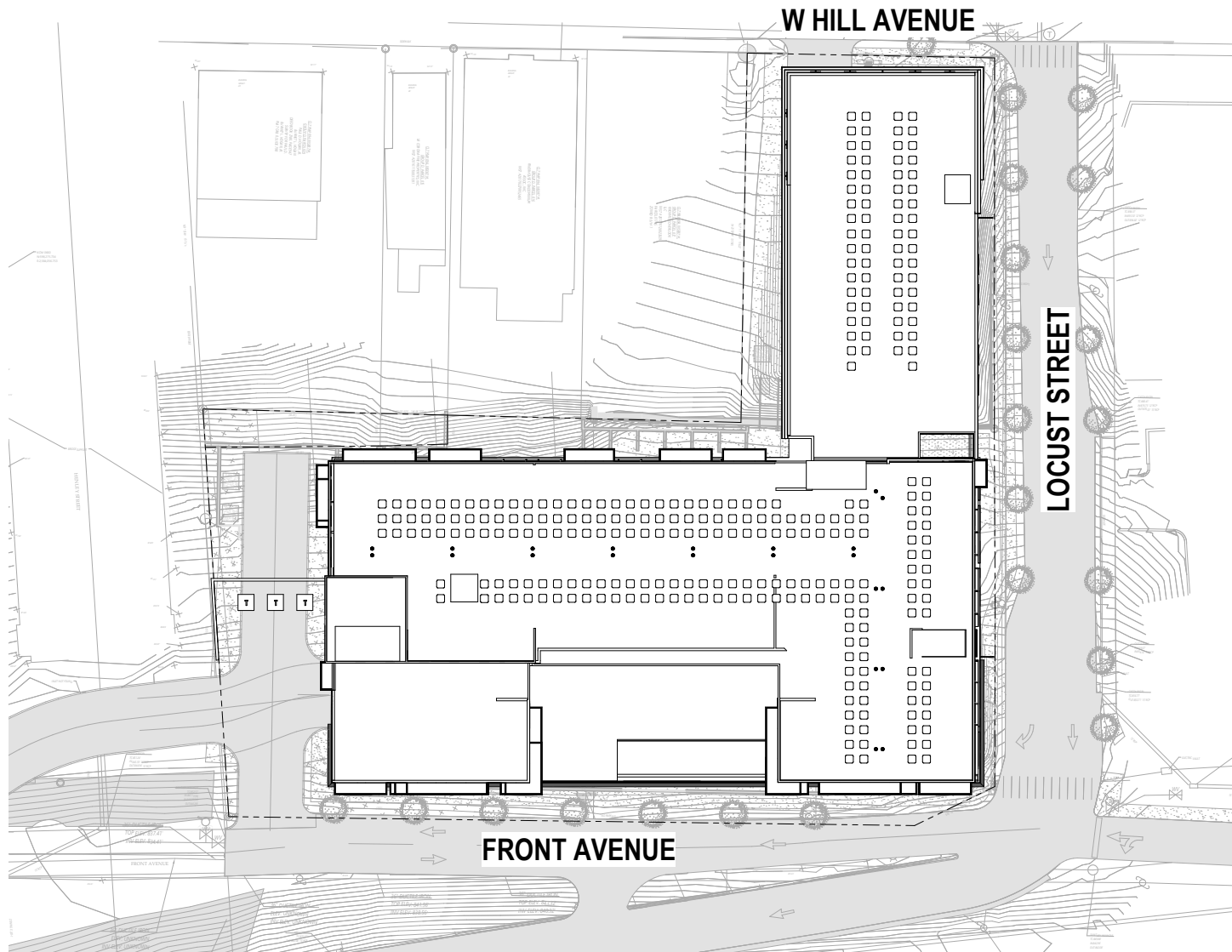


\* (CIVIL), (LANDSCAPE), (ACCESSIBILITY), (ID) - OWNER'S CONSULTANTS - NOT IN BROCK HUGHNS SCOPE OF SERVICES. DRAWINGS ARE NOT BY ARCHITECT AND ARE INCLUDED HEREIN FOR CONVENIENCE ONLY.

| UNIT MATRIX: WOODFIELD DEVELOPMENT - HILL & LOCUST |        |       |           |       |        |       |        |        |       |            |           |                    |           |            |        |       |         |        |
|--|--------|-------|-----------|-------|--------|-------|--------|--------|-------|------------|-----------|--------------------|-----------|------------|--------|-------|---------|--------|
| REVISED: 03/18/2024                                |        |       |           |       |        |       |        |        |       |            |           |                    |           |            |        |       |         |        |
| UNIT   | STUDIO |       | 1-BEDROOM |       |        |       |        |        |       |            | 2-BEDROOM |                    | 3-BEDROOM | PENTHOUSES |        |       |         |        |
|  | S1     | S1-HC | A1        | A1-HC | A1.1   | A1.2  | A1.6   | A1.7   | A7    | A1(JUNIOR) | B2        | B4<br>(INSIDE)+DEN | C1        | P1         | P2     | P3    |         |        |
| LEASABLE AREA (SQ. FT.)                            | 541    | 541   | 722       | 722   | 722    | 722   | 722    | 722    | 927   | 990        | 1,140     | 1,140              | 1,450     | 1,405      | 2,200  | 2,600 |         |        |
| TARGET AREA (SQ.FT)                                | 535    | 535   | 715       | 715   | 715    | 715   | 715    | 715    | 715   | 715        | 1,115     | 1,115              | 1,300     | 2,500      | 2,500  | 2,500 |         |        |
| AVERAGE LEASABLE AREA (SQ. FT.)                    |        |       |           |       |        |       |        |        |       |            |           |                    |           |            |        |       | 813     |        |
| UNIT DISTRIBUTION (BY LEVEL)                       |        |       |           |       |        |       |        |        |       |            |           |                    |           |            |        |       |         |        |
| PARKING LEVEL P1                                   | -      | -     | -         | -     | -      | -     | -      | -      | -     | -          | -         | -                  | -         |            |        |       | -       |        |
| PARKING LEVEL P2                                   | -      | -     | -         | -     | -      | -     | -      | -      | -     | -          | -         | -                  | -         |            |        |       | -       |        |
| PARKING LEVEL P3                                   | -      | -     | -         | -     | -      | -     | -      | -      | -     | -          | -         | -                  | -         |            |        |       | -       |        |
| PARKING LEVEL P4                                   | -      | -     | -         | -     | -      | -     | -      | -      | -     | -          | -         | -                  | -         |            |        |       | -       |        |
| PARKING LEVEL P5                                   | -      | -     | -         | -     | -      | -     | -      | -      | -     | -          | -         | -                  | -         |            |        |       | -       |        |
| LEVEL 01   | -      | -     | -         | -     | -      | -     | -      | -      | -     | -          | -         | -                  | -         |            |        |       | -       |        |
| PODIUM LEVEL 02                                    | 16     | -     | 2         | -     | 2      | 1     | 2      | 2      | -     | 1          | 1         | 1                  | 1         |            |        |       | 29      |        |
| RESI LEVEL 03                                      | 17     | -     | 2         | -     | 2      | 1     | 2      | 2      | 4     | 1          | 1         | 2                  | 2         | 2          |        |       | 36      |        |
| RESI LEVEL 04                                      | 17     | -     | 2         | -     | 2      | 1     | 2      | 4      | 1     | 1          | 1         | 2                  | 2         | 2          |        |       | 36      |        |
| RESI LEVEL 05                                      | 17     | -     | 2         | -     | 2      | 1     | 2      | 4      | 1     | 1          | 1         | 2                  | 2         | 2          |        |       | 36      |        |
| RESI LEVEL 06                                      | 17     | -     | 2         | -     | 2      | 1     | 2      | 4      | 1     | 1          | 1         | 2                  | 2         | 2          |        |       | 36      |        |
| RESI LEVEL 07                                      | 3      | -     | 2         | -     | 2      | 1     | 2      | 4      | 1     | 1          | 1         | 2                  | 2         | 2          |        |       | 22      |        |
| RESI LEVEL 08                                      | 3      | -     | 2         | -     | 2      | 1     | 2      | 4      | 1     | 1          | 1         | 2                  | 2         | 2          |        |       | 22      |        |
| RESI LEVEL 09                                      | 3      | -     | 2         | -     | 2      | 1     | 2      | 4      | 1     | 1          | 1         | 2                  | 2         | 2          |        |       | 22      |        |
| RESI LEVEL 10                                      | 3      | -     | 2         | -     | 2      | 1     | 2      | 4      | 1     | 1          | 1         | 2                  | 2         | 2          |        |       | 22      |        |
| RESI LEVEL 11                                      | 3      | -     | 2         | -     | 2      | 1     | 2      | 4      | 1     | 1          | 1         | 2                  | 2         | 2          |        |       | 22      |        |
| PENTHOUSE LEVEL 12                                 |        |       |           |       |        |       |        |        |       |            |           |                    |           |            | 1      | 5     | 1       | 7      |
| TOTAL UNITS  | 99     | -     | 20        | -     | 20     | 10    | 20     | 38     | 9     | 10         | 19        | 19                 | 19        | 1          | 5      | 1     | 290     |        |
| TOTAL LEASABLE AREA (SQ. FT.)                      | 53,559 | -     | 14,440    | -     | 14,440 | 7,220 | 14,440 | 27,436 | 8,343 | 9,900      | 21,660    | 21,660             | 27,550    | 1,405      | 11,000 | 2,600 | 235,653 |        |
| % OF TOTAL UNITS                                   | 34.1%  |       | 43.8%     |       |        |       |        |        |       |            | 13.1%     |                    | 6.6%      |            | 2.4%   |       |         | 100.0% |
| TOTAL BEDS   | 99     |       | 127       |       |        |       |        |        |       |            | 74        |                    | 54        |            | 21     |       |         | 375    |
| TOTAL PARKING                                      |        |       |           |       |        |       |        |        |       |            |           |                    |           |            |        |       |         | 399    |



C:\Users\hudson\OneDrive\Documents\2020\16 and Locust\02\_FINAL\_162\_Materials\mapset\G-020.dwg  
3/2/2020 12:25:06 PM



1 ARCHITECTURAL SITE PLAN  
1/8" = 1'-0"

**BROCK  
HUDGINS**  
ARCHITECTS

1075 BRADY AVE. NW  
ATLANTA, GA 30318  
Phone (404) 512-9830  
WWW.BROCKHUDGINS.COM

Print Record  
DATE: ISSUE:

NO. DATE: ISSUE:

HILL AND LOCUST

LOCUST STREET AND HILL  
AVE.  
ANDOVER, TN  
Project Number: 0005

ARCHITECTURAL SITE  
PLAN

G-020

NOT FOR CONSTRUCTION







FLOOR PLAN NOTES

1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS NOTICED ON THIS ARE FACE OF STUD. TO CONCRETE WALLS AND/OR TOWER WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUD, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR REVERSED PLANS, SECTIONS OR DETAILS.

WINDOW SYSTEM: REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.

STOREFRONT SYSTEM: REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.

PARKING SCHEDULE

| TYPE                              | LEVEL                             | LENGTH | WIDTH | COUNT |
|-----------------------------------|-----------------------------------|--------|-------|-------|
| PARKING LEVEL 01                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 01                  | 18'-0" | 8'-0" | 5     |
| REGULAR                           | PARKING LEVEL 01                  | 18'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 01                  | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 02                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 02                  | 18'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 02                  | 18'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 02                  | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 03                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 03                  | 18'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 03                  | 18'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 03                  | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 04                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 04                  | 18'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 04                  | 18'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 04                  | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 05                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 05                  | 18'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 05                  | 18'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 05                  | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 06                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 06                  | 18'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 06                  | 18'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 06                  | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 07 - PROSPECT TOWER |                                   |        |       |       |
| REGULAR                           | PARKING LEVEL 07 - PROSPECT TOWER | 18'-0" | 8'-0" | 7     |
| PARKING LEVEL 08 - RIDE SHARE     |                                   |        |       |       |
| REGULAR                           | PARKING LEVEL 08 - RIDE SHARE     | 18'-0" | 8'-0" | 5     |
| PARKING LEVEL 09 - SHORT TERM     |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 09 - SHORT TERM     | 18'-0" | 8'-0" | 5     |
| REGULAR                           | PARKING LEVEL 09 - SHORT TERM     | 18'-0" | 8'-0" | 7     |
| Grand Total: 380                  |                                   |        |       |       |

Print Record

DATE: ISSUE:

NO. DATE: ISSUE:

HILL AND LOCUST

LOCUST STREET AND HILL  
AVE.  
ANDOVERVILLE, TN

Project Number: 00005

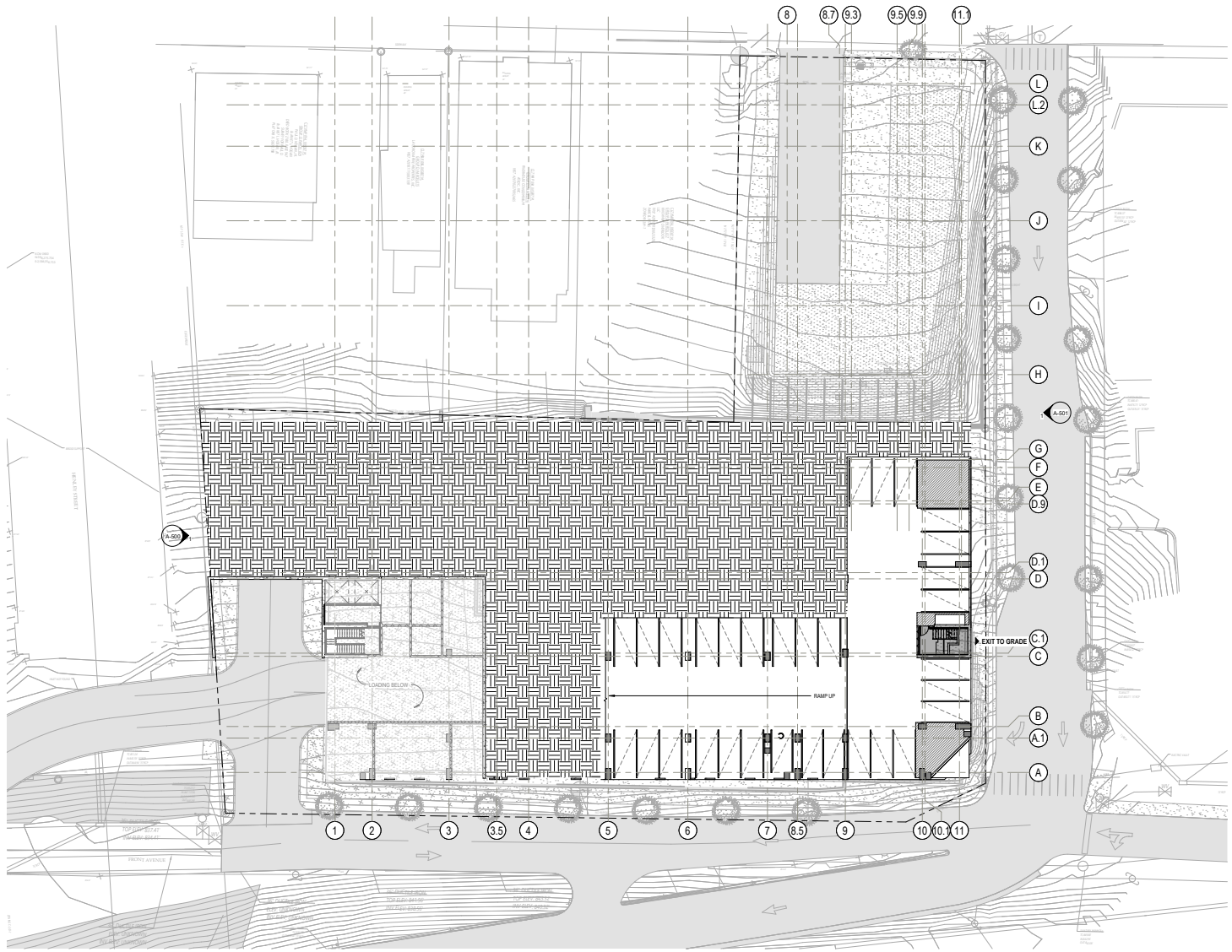
LEVEL P1 - OVERALL  
FLOOR PLAN

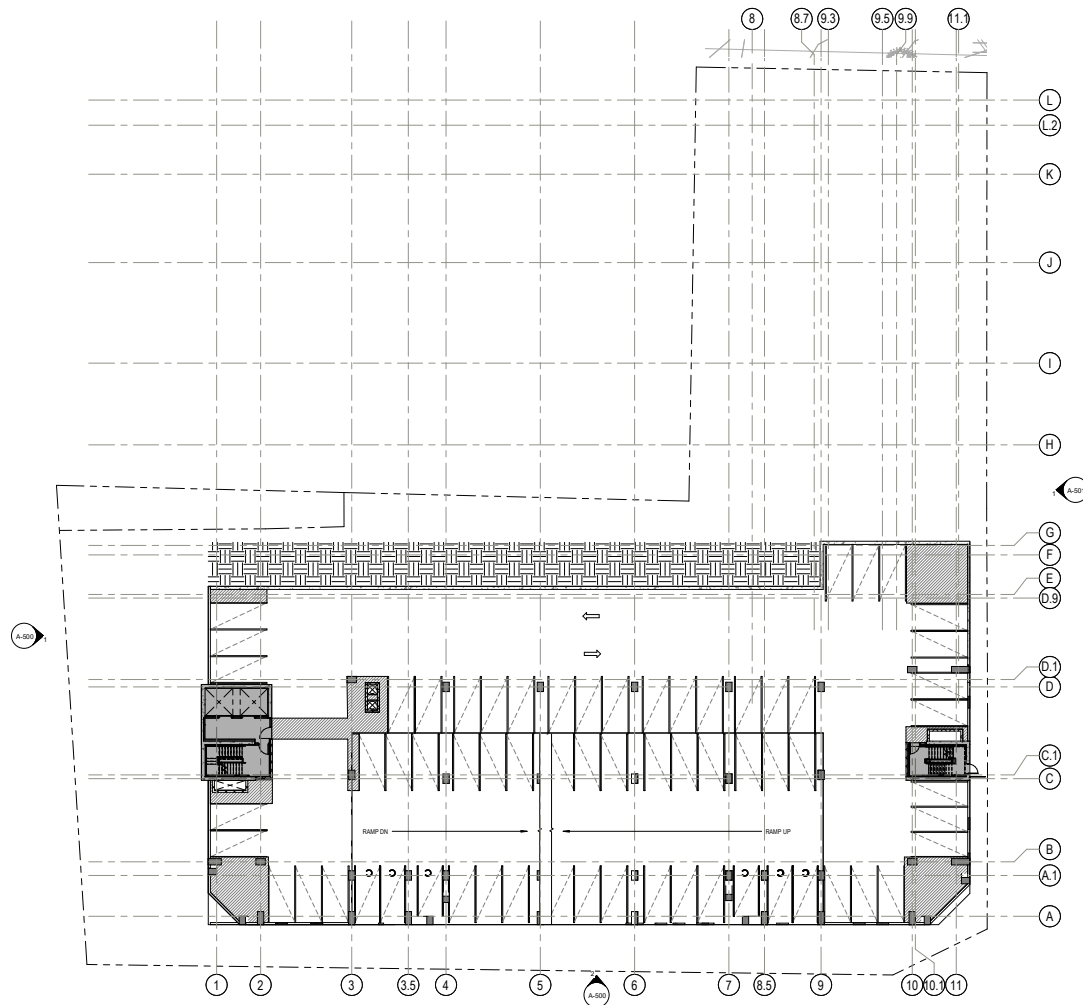
AP-101

NOT FOR CONSTRUCTION



1 LEVEL P1 - OVERALL FLOOR PLAN  
1/8" = 1'-0"





#### FLOOR PLAN NOTES

1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL, AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS INDICATED ON THIS ARE FACE OF STUDL TO CONCRETE WALLS AND/OR TOOKU WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUDL, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR REVERSED PLANS, SECTIONS OR DETAILS.

WINDOW SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.

STOREFRONT SYSTEM. REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.

#### PARKING SCHEDULE

| TYPE                    | LEVEL            | LENGTH | WIDTH | COUNT |
|-------------------------|------------------|--------|-------|-------|
| <b>PARKING LEVEL 01</b> |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 01 | 18'-0" | 8'-0" | 01    |
| COMPACT                 | PARKING LEVEL 01 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 01 | 18'-0" | 8'-0" | 04    |
| <b>05</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 02 | 18'-0" | 8'-0" | 02    |
| COMPACT                 | PARKING LEVEL 02 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 02 | 18'-0" | 8'-0" | 06    |
| <b>09</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 03 | 18'-0" | 8'-0" | 02    |
| COMPACT                 | PARKING LEVEL 03 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 03 | 18'-0" | 8'-0" | 05    |
| REGULAR                 | PARKING LEVEL 03 | 18'-0" | 8'-0" | 09    |
| <b>13</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 04 | 18'-0" | 8'-0" | 02    |
| COMPACT                 | PARKING LEVEL 04 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 04 | 18'-0" | 8'-0" | 05    |
| REGULAR                 | PARKING LEVEL 04 | 18'-0" | 8'-0" | 08    |
| <b>17</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 05 | 18'-0" | 8'-0" | 02    |
| COMPACT                 | PARKING LEVEL 05 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 05 | 18'-0" | 8'-0" | 04    |
| <b>21</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 06 | 18'-0" | 8'-0" | 02    |
| COMPACT                 | PARKING LEVEL 06 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 06 | 18'-0" | 8'-0" | 05    |
| <b>25</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 07 | 18'-0" | 8'-0" | 02    |
| COMPACT                 | PARKING LEVEL 07 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 07 | 18'-0" | 8'-0" | 05    |
| <b>29</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 08 | 18'-0" | 8'-0" | 02    |
| COMPACT                 | PARKING LEVEL 08 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 08 | 18'-0" | 8'-0" | 05    |
| <b>33</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 09 | 18'-0" | 8'-0" | 02    |
| COMPACT                 | PARKING LEVEL 09 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 09 | 18'-0" | 8'-0" | 05    |
| <b>37</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 10 | 18'-0" | 8'-0" | 02    |
| COMPACT                 | PARKING LEVEL 10 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 10 | 18'-0" | 8'-0" | 05    |
| <b>41</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 11 | 18'-0" | 8'-0" | 02    |
| COMPACT                 | PARKING LEVEL 11 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 11 | 18'-0" | 8'-0" | 05    |
| <b>45</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 12 | 18'-0" | 8'-0" | 02    |
| COMPACT                 | PARKING LEVEL 12 | 18'-0" | 8'-0" | 07    |
| REGULAR                 | PARKING LEVEL 12 | 18'-0" | 8'-0" | 05    |

Print Record  
DATE: \_\_\_\_\_  
ISSUE: \_\_\_\_\_

NO. DATE: \_\_\_\_\_  
ISSUE: \_\_\_\_\_

HILL AND LOCUST

LOCUST STREET AND HILL  
AVE.  
ANDOVER, TN  
Project Number: 20005

LEVEL P2 - OVERALL  
FLOOR PLAN

AP-102

NOT FOR CONSTRUCTION



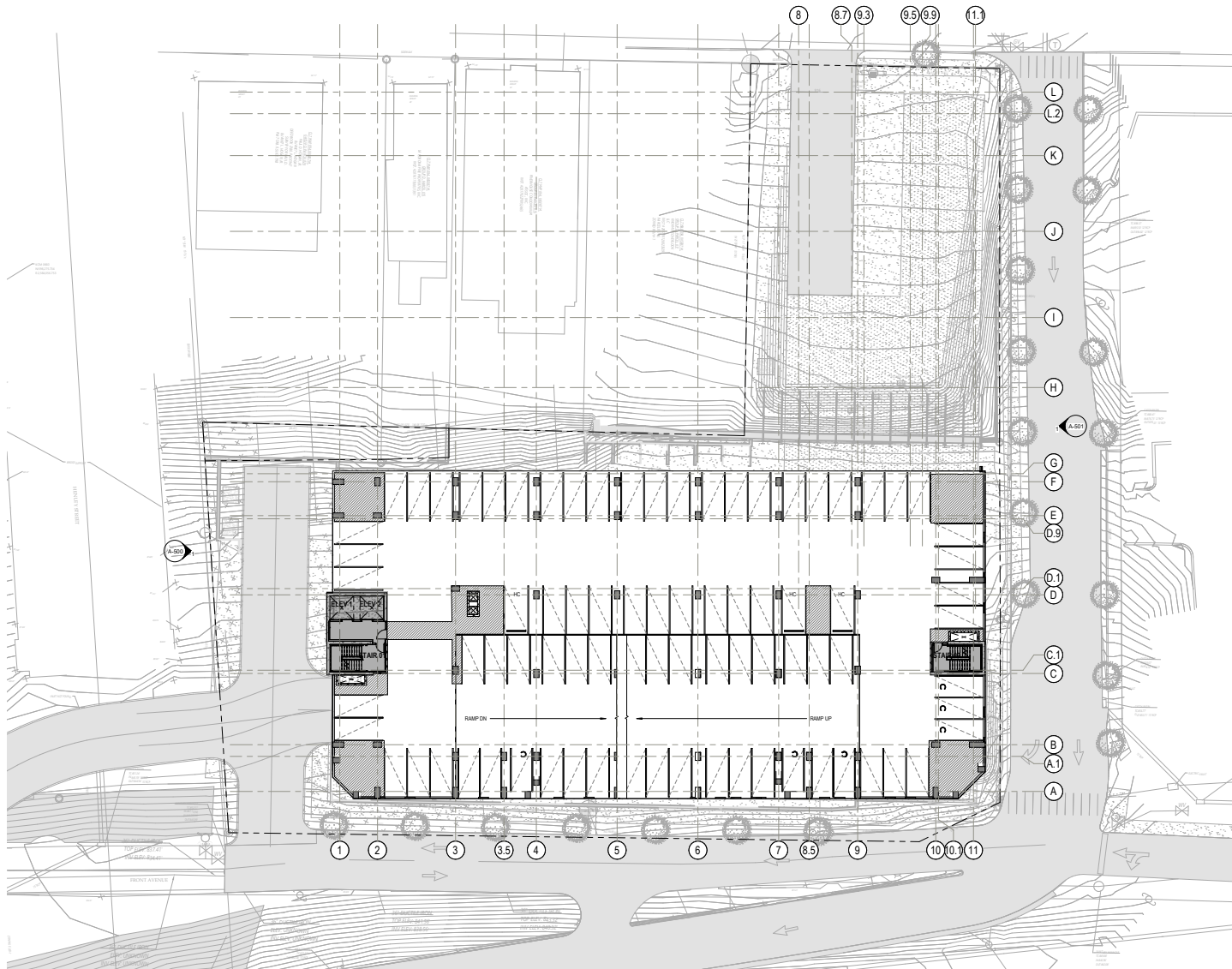
1 LEVEL P2 - OVERALL FLOOR PLAN  
1/8" = 1'-0"

**BROCK  
HUDGINS**  
ARCHITECTS

1075 BRADY AVE. NW  
ATLANTA, GA 30318  
Phone: (404) 512-9800

WWW.BROCKHUDGINS.COM

1075 BRADY AVE. NW, SUITE 200, ATLANTA, GA 30318  
BROCK HUDGINS ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY FIRM.  
ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM BROCK HUDGINS ARCHITECTS, INC.



#### FLOOR PLAN NOTES

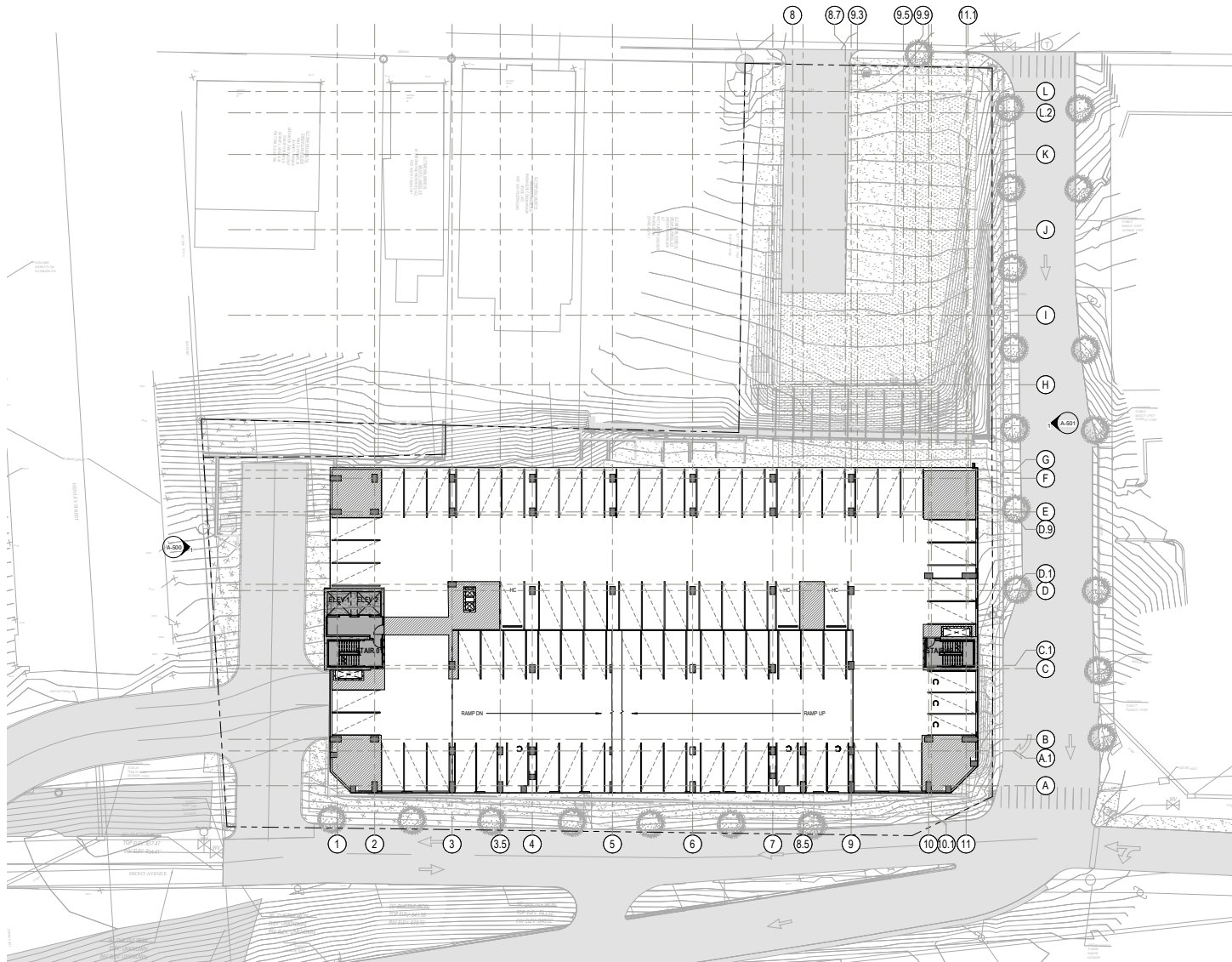
1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS INDICATED ON THIS ARE FACE OF STUDL TO CONCRETE WALLS AND/OR TOOKU WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUDL, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR REVERSED PLANS, SECTIONS OR DETAILS.

WINDOW SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.

STOREFRONT SYSTEM. REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.

#### PARKING SCHEDULE

| TYPE                    | LEVEL            | LENGTH | WIDTH | COUNT |
|-------------------------|------------------|--------|-------|-------|
| <b>PARKING LEVEL 01</b> |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 01 | 18'-0" | 8'-0" | 11    |
| COMPACT                 | PARKING LEVEL 01 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 01 | 18'-0" | 8'-0" | 104   |
| <b>02</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 02 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 02 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 02 | 18'-0" | 8'-0" | 104   |
| <b>03</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 03 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 03 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 03 | 18'-0" | 8'-0" | 104   |
| <b>04</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 04 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 04 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 04 | 18'-0" | 8'-0" | 104   |
| <b>05</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 05 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 05 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 05 | 18'-0" | 8'-0" | 104   |
| <b>06</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 06 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 06 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 06 | 18'-0" | 8'-0" | 104   |
| <b>07</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 07 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 07 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 07 | 18'-0" | 8'-0" | 104   |
| <b>08</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 08 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 08 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 08 | 18'-0" | 8'-0" | 104   |
| <b>09</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 09 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 09 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 09 | 18'-0" | 8'-0" | 104   |
| <b>10</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 10 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 10 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 10 | 18'-0" | 8'-0" | 104   |
| <b>11</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 11 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 11 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 11 | 18'-0" | 8'-0" | 104   |
| <b>12</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 12 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 12 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 12 | 18'-0" | 8'-0" | 104   |
| <b>13</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 13 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 13 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 13 | 18'-0" | 8'-0" | 104   |
| <b>14</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 14 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 14 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 14 | 18'-0" | 8'-0" | 104   |
| <b>15</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 15 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 15 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 15 | 18'-0" | 8'-0" | 104   |
| <b>16</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 16 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 16 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 16 | 18'-0" | 8'-0" | 104   |
| <b>17</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 17 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 17 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 17 | 18'-0" | 8'-0" | 104   |
| <b>18</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 18 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 18 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 18 | 18'-0" | 8'-0" | 104   |
| <b>19</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 19 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 19 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 19 | 18'-0" | 8'-0" | 104   |
| <b>20</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 20 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 20 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 20 | 18'-0" | 8'-0" | 104   |
| <b>21</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 21 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 21 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 21 | 18'-0" | 8'-0" | 104   |
| <b>22</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 22 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 22 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 22 | 18'-0" | 8'-0" | 104   |
| <b>23</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 23 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 23 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 23 | 18'-0" | 8'-0" | 104   |
| <b>24</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 24 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 24 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 24 | 18'-0" | 8'-0" | 104   |
| <b>25</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 25 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 25 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 25 | 18'-0" | 8'-0" | 104   |
| <b>26</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 26 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 26 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 26 | 18'-0" | 8'-0" | 104   |
| <b>27</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 27 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 27 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 27 | 18'-0" | 8'-0" | 104   |
| <b>28</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 28 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 28 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 28 | 18'-0" | 8'-0" | 104   |
| <b>29</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 29 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 29 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 29 | 18'-0" | 8'-0" | 104   |
| <b>30</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 30 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 30 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 30 | 18'-0" | 8'-0" | 104   |
| <b>31</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 31 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 31 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 31 | 18'-0" | 8'-0" | 104   |
| <b>32</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 32 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 32 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 32 | 18'-0" | 8'-0" | 104   |
| <b>33</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 33 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 33 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 33 | 18'-0" | 8'-0" | 104   |
| <b>34</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 34 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 34 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 34 | 18'-0" | 8'-0" | 104   |
| <b>35</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 35 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 35 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 35 | 18'-0" | 8'-0" | 104   |
| <b>36</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 36 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 36 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 36 | 18'-0" | 8'-0" | 104   |
| <b>37</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 37 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 37 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 37 | 18'-0" | 8'-0" | 104   |
| <b>38</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 38 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 38 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 38 | 18'-0" | 8'-0" | 104   |
| <b>39</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 39 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 39 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 39 | 18'-0" | 8'-0" | 104   |
| <b>40</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 40 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 40 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 40 | 18'-0" | 8'-0" | 104   |
| <b>41</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 41 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 41 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 41 | 18'-0" | 8'-0" | 104   |
| <b>42</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 42 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 42 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 42 | 18'-0" | 8'-0" | 104   |
| <b>43</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 43 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 43 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 43 | 18'-0" | 8'-0" | 104   |
| <b>44</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 44 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 44 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 44 | 18'-0" | 8'-0" | 104   |
| <b>45</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 45 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 45 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 45 | 18'-0" | 8'-0" | 104   |
| <b>46</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 46 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 46 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 46 | 18'-0" | 8'-0" | 104   |
| <b>47</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 47 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 47 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 47 | 18'-0" | 8'-0" | 104   |
| <b>48</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 48 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 48 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 48 | 18'-0" | 8'-0" | 104   |
| <b>49</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 49 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 49 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 49 | 18'-0" | 8'-0" | 104   |
| <b>50</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 50 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 50 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 50 | 18'-0" | 8'-0" | 104   |
| <b>51</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 51 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 51 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 51 | 18'-0" | 8'-0" | 104   |
| <b>52</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 52 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 52 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 52 | 18'-0" | 8'-0" | 104   |
| <b>53</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 53 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 53 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 53 | 18'-0" | 8'-0" | 104   |
| <b>54</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 54 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 54 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 54 | 18'-0" | 8'-0" | 104   |
| <b>55</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 55 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 55 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 55 | 18'-0" | 8'-0" | 104   |
| <b>56</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 56 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 56 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 56 | 18'-0" | 8'-0" | 104   |
| <b>57</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 57 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 57 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 57 | 18'-0" | 8'-0" | 104   |
| <b>58</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 58 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 58 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 58 | 18'-0" | 8'-0" | 104   |
| <b>59</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 59 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 59 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 59 | 18'-0" | 8'-0" | 104   |
| <b>60</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 60 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 60 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 60 | 18'-0" | 8'-0" | 104   |
| <b>61</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 61 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 61 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 61 | 18'-0" | 8'-0" | 104   |
| <b>62</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 62 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 62 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 62 | 18'-0" | 8'-0" | 104   |
| <b>63</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 63 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 63 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 63 | 18'-0" | 8'-0" | 104   |
| <b>64</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 64 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 64 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 64 | 18'-0" | 8'-0" | 104   |
| <b>65</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 65 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 65 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 65 | 18'-0" | 8'-0" | 104   |
| <b>66</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 66 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 66 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 66 | 18'-0" | 8'-0" | 104   |
| <b>67</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 67 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 67 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 67 | 18'-0" | 8'-0" | 104   |
| <b>68</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 68 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 68 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 68 | 18'-0" | 8'-0" | 104   |
| <b>69</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 69 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 69 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 69 | 18'-0" | 8'-0" | 104   |
| <b>70</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 70 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 70 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 70 | 18'-0" | 8'-0" | 104   |
| <b>71</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 71 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 71 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 71 | 18'-0" | 8'-0" | 104   |
| <b>72</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 72 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 72 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 72 | 18'-0" | 8'-0" | 104   |
| <b>73</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 73 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 73 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 73 | 18'-0" | 8'-0" | 104   |
| <b>74</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 74 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 74 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 74 | 18'-0" | 8'-0" | 104   |
| <b>75</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 75 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 75 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 75 | 18'-0" | 8'-0" | 104   |
| <b>76</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 76 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 76 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 76 | 18'-0" | 8'-0" | 104   |
| <b>77</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 77 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 77 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 77 | 18'-0" | 8'-0" | 104   |
| <b>78</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 78 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 78 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 78 | 18'-0" | 8'-0" | 104   |
| <b>79</b>               |                  |        |       |       |
| COMPACT                 | PARKING LEVEL 79 | 18'-0" | 8'-0" | 12    |
| COMPACT                 | PARKING LEVEL 79 | 18'-0" | 8'-0" | 7     |
| REGULAR                 | PARKING LEVEL 79 | 18'-0" | 8'-0" | 104   |
| <b>80</b>               |                  |        |       |       |
|                         |                  |        |       |       |



#### FLOOR PLAN NOTES

1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL, AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS NOTICED ON THIS ARE FACE OF STUD, TO CONCRETE WALLS AND/OR TOWER WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUD, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR REVERSED PLANS, SECTIONS OR DETAILS.

WINDOW SYSTEM: REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.

STOREFRONT SYSTEM: REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.

#### PARKING SCHEDULE

| TYPE             | LEVEL            | LENGTH | WIDTH | COUNT |
|------------------|------------------|--------|-------|-------|
| PARKING LEVEL 01 |                  |        |       |       |
| COMPACT          | PARKING LEVEL 01 | 18'-0" | 8'-0" | 11    |
| COMPACT          | PARKING LEVEL 01 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 01 | 18'-0" | 8'-0" | 104   |
| 02               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 02 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 02 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 02 | 18'-0" | 8'-0" | 104   |
| 03               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 03 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 03 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 03 | 18'-0" | 8'-0" | 104   |
| 04               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 04 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 04 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 04 | 18'-0" | 8'-0" | 104   |
| 05               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 05 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 05 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 05 | 18'-0" | 8'-0" | 104   |
| 06               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 06 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 06 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 06 | 18'-0" | 8'-0" | 104   |
| 07               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 07 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 07 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 07 | 18'-0" | 8'-0" | 104   |
| 08               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 08 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 08 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 08 | 18'-0" | 8'-0" | 104   |
| 09               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 09 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 09 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 09 | 18'-0" | 8'-0" | 104   |
| 10               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 10 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 10 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 10 | 18'-0" | 8'-0" | 104   |
| 11               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 11 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 11 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 11 | 18'-0" | 8'-0" | 104   |
| 12               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 12 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 12 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 12 | 18'-0" | 8'-0" | 104   |
| 13               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 13 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 13 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 13 | 18'-0" | 8'-0" | 104   |
| 14               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 14 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 14 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 14 | 18'-0" | 8'-0" | 104   |
| 15               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 15 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 15 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 15 | 18'-0" | 8'-0" | 104   |
| 16               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 16 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 16 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 16 | 18'-0" | 8'-0" | 104   |
| 17               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 17 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 17 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 17 | 18'-0" | 8'-0" | 104   |
| 18               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 18 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 18 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 18 | 18'-0" | 8'-0" | 104   |
| 19               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 19 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 19 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 19 | 18'-0" | 8'-0" | 104   |
| 20               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 20 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 20 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 20 | 18'-0" | 8'-0" | 104   |
| 21               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 21 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 21 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 21 | 18'-0" | 8'-0" | 104   |
| 22               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 22 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 22 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 22 | 18'-0" | 8'-0" | 104   |
| 23               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 23 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 23 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 23 | 18'-0" | 8'-0" | 104   |
| 24               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 24 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 24 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 24 | 18'-0" | 8'-0" | 104   |
| 25               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 25 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 25 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 25 | 18'-0" | 8'-0" | 104   |
| 26               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 26 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 26 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 26 | 18'-0" | 8'-0" | 104   |
| 27               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 27 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 27 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 27 | 18'-0" | 8'-0" | 104   |
| 28               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 28 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 28 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 28 | 18'-0" | 8'-0" | 104   |
| 29               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 29 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 29 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 29 | 18'-0" | 8'-0" | 104   |
| 30               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 30 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 30 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 30 | 18'-0" | 8'-0" | 104   |
| 31               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 31 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 31 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 31 | 18'-0" | 8'-0" | 104   |
| 32               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 32 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 32 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 32 | 18'-0" | 8'-0" | 104   |
| 33               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 33 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 33 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 33 | 18'-0" | 8'-0" | 104   |
| 34               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 34 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 34 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 34 | 18'-0" | 8'-0" | 104   |
| 35               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 35 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 35 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 35 | 18'-0" | 8'-0" | 104   |
| 36               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 36 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 36 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 36 | 18'-0" | 8'-0" | 104   |
| 37               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 37 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 37 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 37 | 18'-0" | 8'-0" | 104   |
| 38               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 38 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 38 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 38 | 18'-0" | 8'-0" | 104   |
| 39               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 39 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 39 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 39 | 18'-0" | 8'-0" | 104   |
| 40               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 40 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 40 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 40 | 18'-0" | 8'-0" | 104   |
| 41               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 41 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 41 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 41 | 18'-0" | 8'-0" | 104   |
| 42               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 42 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 42 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 42 | 18'-0" | 8'-0" | 104   |
| 43               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 43 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 43 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 43 | 18'-0" | 8'-0" | 104   |
| 44               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 44 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 44 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 44 | 18'-0" | 8'-0" | 104   |
| 45               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 45 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 45 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 45 | 18'-0" | 8'-0" | 104   |
| 46               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 46 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 46 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 46 | 18'-0" | 8'-0" | 104   |
| 47               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 47 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 47 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 47 | 18'-0" | 8'-0" | 104   |
| 48               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 48 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 48 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 48 | 18'-0" | 8'-0" | 104   |
| 49               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 49 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 49 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 49 | 18'-0" | 8'-0" | 104   |
| 50               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 50 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 50 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 50 | 18'-0" | 8'-0" | 104   |
| 51               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 51 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 51 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 51 | 18'-0" | 8'-0" | 104   |
| 52               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 52 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 52 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 52 | 18'-0" | 8'-0" | 104   |
| 53               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 53 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 53 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 53 | 18'-0" | 8'-0" | 104   |
| 54               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 54 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 54 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 54 | 18'-0" | 8'-0" | 104   |
| 55               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 55 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 55 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 55 | 18'-0" | 8'-0" | 104   |
| 56               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 56 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 56 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 56 | 18'-0" | 8'-0" | 104   |
| 57               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 57 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 57 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 57 | 18'-0" | 8'-0" | 104   |
| 58               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 58 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 58 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 58 | 18'-0" | 8'-0" | 104   |
| 59               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 59 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 59 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 59 | 18'-0" | 8'-0" | 104   |
| 60               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 60 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 60 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 60 | 18'-0" | 8'-0" | 104   |
| 61               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 61 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 61 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 61 | 18'-0" | 8'-0" | 104   |
| 62               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 62 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 62 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 62 | 18'-0" | 8'-0" | 104   |
| 63               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 63 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 63 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 63 | 18'-0" | 8'-0" | 104   |
| 64               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 64 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 64 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 64 | 18'-0" | 8'-0" | 104   |
| 65               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 65 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 65 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 65 | 18'-0" | 8'-0" | 104   |
| 66               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 66 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 66 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 66 | 18'-0" | 8'-0" | 104   |
| 67               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 67 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 67 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 67 | 18'-0" | 8'-0" | 104   |
| 68               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 68 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 68 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 68 | 18'-0" | 8'-0" | 104   |
| 69               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 69 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 69 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 69 | 18'-0" | 8'-0" | 104   |
| 70               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 70 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 70 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 70 | 18'-0" | 8'-0" | 104   |
| 71               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 71 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 71 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 71 | 18'-0" | 8'-0" | 104   |
| 72               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 72 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 72 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 72 | 18'-0" | 8'-0" | 104   |
| 73               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 73 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 73 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 73 | 18'-0" | 8'-0" | 104   |
| 74               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 74 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 74 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 74 | 18'-0" | 8'-0" | 104   |
| 75               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 75 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 75 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 75 | 18'-0" | 8'-0" | 104   |
| 76               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 76 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 76 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 76 | 18'-0" | 8'-0" | 104   |
| 77               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 77 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 77 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 77 | 18'-0" | 8'-0" | 104   |
| 78               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 78 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 78 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 78 | 18'-0" | 8'-0" | 104   |
| 79               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 79 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 79 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 79 | 18'-0" | 8'-0" | 104   |
| 80               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 80 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 80 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 80 | 18'-0" | 8'-0" | 104   |
| 81               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 81 | 18'-0" | 8'-0" | 12    |
| COMPACT          | PARKING LEVEL 81 | 18'-0" | 8'-0" | 7     |
| REGULAR          | PARKING LEVEL 81 | 18'-0" | 8'-0" | 104   |
| 82               |                  |        |       |       |
| COMPACT          | PARKING LEVEL 82 |        |       |       |



FLOOR PLAN NOTES

1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL, AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS INDICATED ON THIS ARE FACE OF STUD. TO CONCRETE WALLS AND/OR TOWER WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUD, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL, OR REVERSED PLANS, SECTIONS OR DETAILS.

WINDOW SYSTEM: REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.

STOREFRONT SYSTEM: REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.

PARKING SCHEDULE

| TYPE                              | LEVEL                             | LENGTH | WIDTH | COUNT |
|-----------------------------------|-----------------------------------|--------|-------|-------|
| PARKING LEVEL 01                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 01                  | 10'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 01                  | 10'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 01                  | 10'-0" | 8'-0" | 14    |
| PARKING LEVEL 02                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 02                  | 10'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 02                  | 10'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 02                  | 10'-0" | 8'-0" | 14    |
| PARKING LEVEL 03                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 03                  | 10'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 03                  | 10'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 03                  | 10'-0" | 8'-0" | 14    |
| PARKING LEVEL 04                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 04                  | 10'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 04                  | 10'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 04                  | 10'-0" | 8'-0" | 14    |
| PARKING LEVEL 05                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 05                  | 10'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 05                  | 10'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 05                  | 10'-0" | 8'-0" | 14    |
| PARKING LEVEL 06                  |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 06                  | 10'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 06                  | 10'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 06                  | 10'-0" | 8'-0" | 14    |
| PARKING LEVEL 07 - PROSPECT TOWER |                                   |        |       |       |
| REGULAR                           | PARKING LEVEL 07 - PROSPECT TOWER | 10'-0" | 8'-0" | 7     |
| PARKING LEVEL 08 - RIDE SHARE     |                                   |        |       |       |
| REGULAR                           | PARKING LEVEL 08 - RIDE SHARE     | 10'-0" | 8'-0" | 5     |
| PARKING LEVEL 09 - SHORT TERM     |                                   |        |       |       |
| COMPACT                           | PARKING LEVEL 09 - SHORT TERM     | 10'-0" | 8'-0" | 5     |
| COMPACT                           | PARKING LEVEL 09 - SHORT TERM     | 10'-0" | 8'-0" | 7     |
| REGULAR                           | PARKING LEVEL 09 - SHORT TERM     | 10'-0" | 8'-0" | 14    |
| Grand Total: 380                  |                                   |        |       |       |

Print Record

DATE: ISSUE:

NO: DATE: ISSUE:

HILL AND LOCUST

LOCUST STREET AND HILL  
AVE.  
ANDOVERVILLE, TN  
Project Number: 20005

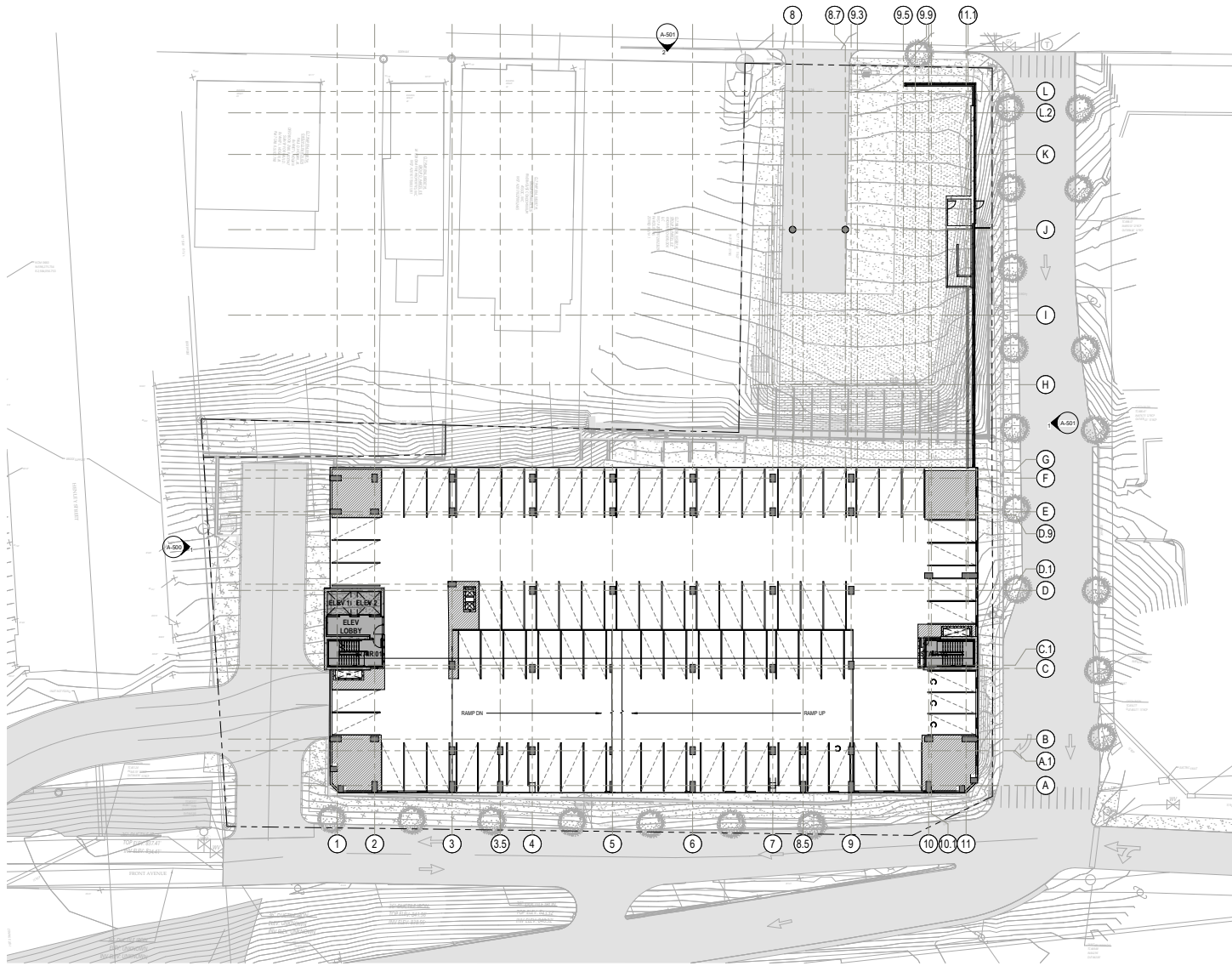
LEVEL P5 - OVERALL  
FLOOR PLAN

AP-105

NOT FOR CONSTRUCTION



1 LEVEL P5 - OVERALL FLOOR PLAN  
1/8" = 1'-0"





FLOOR PLAN NOTES

1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS NOTICED ON THIS ARE FACE OF STUDIOS TO CONCRETE WALLS AND/OR TOWER WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUDIOS, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR REVERSED PLANS, SECTIONS OR DETAILS.

WINDOW SYSTEM: REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.

STOREFRONT SYSTEM: REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.

PARKING SCHEDULE

| TYPE                               | LEVEL                              | LENGTH | WIDTH | COUNT |
|------------------------------------|------------------------------------|--------|-------|-------|
| PARKING LEVEL 01                   |                                    |        |       |       |
| COMPACT                            | PARKING LEVEL 01                   | 18'-0" | 8'-0" | 5     |
| COMPACT                            | PARKING LEVEL 01                   | 18'-0" | 8'-0" | 7     |
| REGULAR                            | PARKING LEVEL 01                   | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 02                   |                                    |        |       |       |
| COMPACT                            | PARKING LEVEL 02                   | 18'-0" | 8'-0" | 5     |
| COMPACT                            | PARKING LEVEL 02                   | 18'-0" | 8'-0" | 7     |
| REGULAR                            | PARKING LEVEL 02                   | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 03                   |                                    |        |       |       |
| COMPACT                            | PARKING LEVEL 03                   | 18'-0" | 8'-0" | 5     |
| COMPACT                            | PARKING LEVEL 03                   | 18'-0" | 8'-0" | 7     |
| REGULAR                            | PARKING LEVEL 03                   | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 04                   |                                    |        |       |       |
| COMPACT                            | PARKING LEVEL 04                   | 18'-0" | 8'-0" | 5     |
| COMPACT                            | PARKING LEVEL 04                   | 18'-0" | 8'-0" | 7     |
| REGULAR                            | PARKING LEVEL 04                   | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 05                   |                                    |        |       |       |
| COMPACT                            | PARKING LEVEL 05                   | 18'-0" | 8'-0" | 5     |
| COMPACT                            | PARKING LEVEL 05                   | 18'-0" | 8'-0" | 7     |
| REGULAR                            | PARKING LEVEL 05                   | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 06                   |                                    |        |       |       |
| COMPACT                            | PARKING LEVEL 06                   | 18'-0" | 8'-0" | 5     |
| COMPACT                            | PARKING LEVEL 06                   | 18'-0" | 8'-0" | 7     |
| REGULAR                            | PARKING LEVEL 06                   | 18'-0" | 8'-0" | 14    |
| PARKING LEVEL 07 - PROSPECT TENANT |                                    |        |       |       |
| REGULAR                            | PARKING LEVEL 07 - PROSPECT TENANT | 18'-0" | 8'-0" | 7     |
| PARKING LEVEL 08 - RIDE SHARE      |                                    |        |       |       |
| REGULAR                            | PARKING LEVEL 08 - RIDE SHARE      | 18'-0" | 8'-0" | 5     |
| PARKING LEVEL 09 - SHORT TERM      |                                    |        |       |       |
| COMPACT                            | PARKING LEVEL 09 - SHORT TERM      | 18'-0" | 8'-0" | 5     |
| REGULAR                            | PARKING LEVEL 09 - SHORT TERM      | 18'-0" | 8'-0" | 7     |
| Grand Total: 389                   |                                    |        |       |       |

Print Record

DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

HILL AND LOCUST

LOCUST STREET AND HILL  
AVENUE  
ANDOVERVILLE, TN

Project Number: 20005

LEVEL 1 OVERALL FLOOR  
PLAN

A-101

NOT FOR CONSTRUCTION



1 LEVEL 01 - OVERALL FLOOR PLAN  
1/8" = 1'-0"

FLOOR PLAN NOTES

1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS INDICATED ON PLANS ARE FACE OF STUDS. TO CONCRETE WALLS AND/OR TOWER WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUD, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR REVERSED PLANS, SECTIONS OR DETAILS.

FLOOR PLAN LEGEND



- ◻ WINDOW SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.
- STOREFRONT SYSTEM. REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.

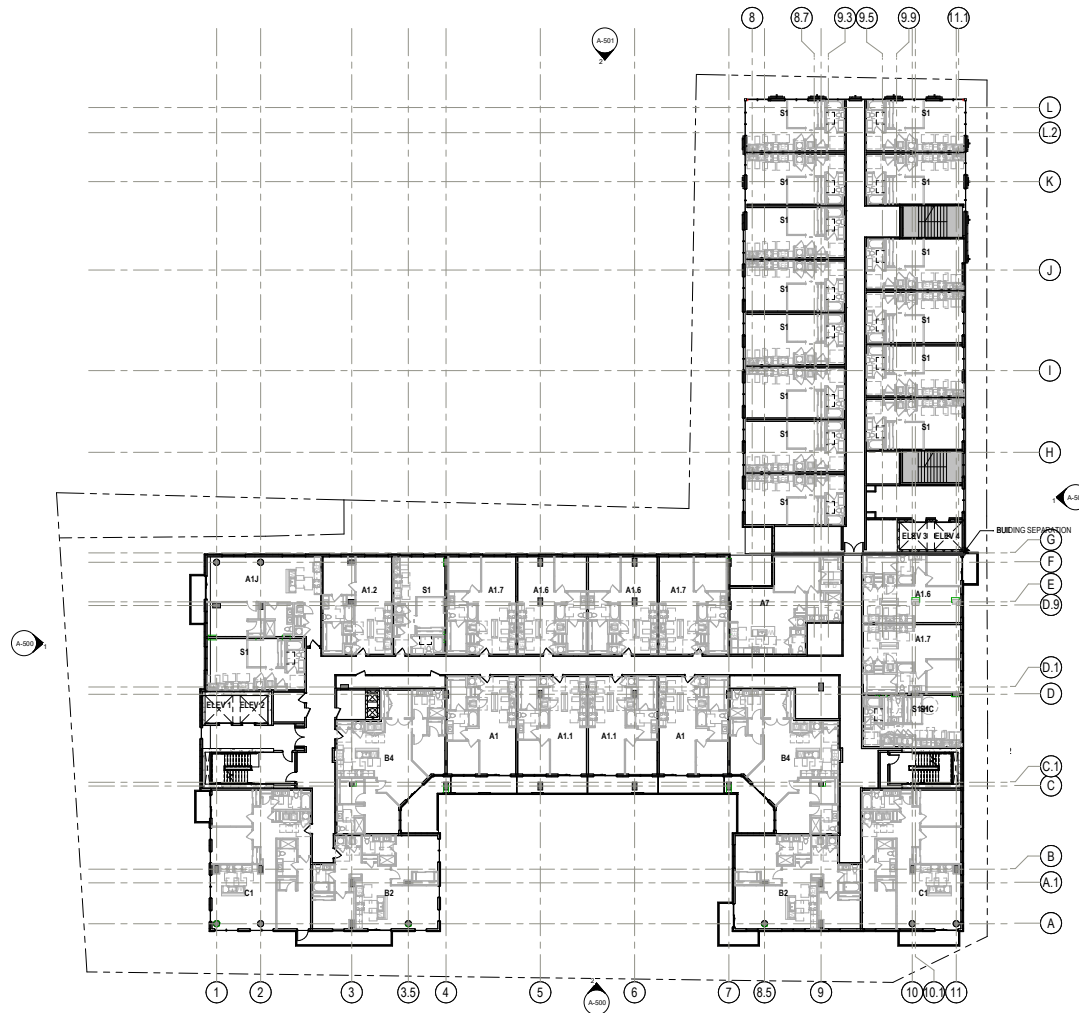


|                  |
|------------------|
| FLOOR PLAN NOTES |
|------------------|

1. VERIFY DIMENSIONS, GROUNDS, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY UNDISCOVERED TO ARCHITECT
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TOPIC, DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FUTURES INDICATED ON TOPICS, PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR STRUCTURAL OR FINISH DETAILS NOT SHOWN ON TOPICS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT GATES AND WALLS AS PER MECHANICAL, PLUMBING, ELECTRICAL, AND SPRINKLER DRAWINGS. ACCESS PANELS HAVE SAME RATINGS AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD RAIL HAND RAILS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE AND LOCAL CODES. GUARD RAIL SHALL BE 42" HIGH AND FACE OF STUDY. TO CONCRETE WALLS AND/OR TOWER WALLS UNLESS OTHERWISE NOTED.
7. EXTERIOR DIMENSIONS ARE GIVEN TOPICALLY TO OUTSIDE FACE OF STIFFENMENT, STUDY, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FUTURES SHOWN ON TOPICS, PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR STRUCTURAL OR REVERSED PLANS, SECTIONS OR DETAILS.

**FLOOR PLAN LEGEND**

-  WINDOW SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.
-  STOREFRONT SYSTEM. REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.



---

Print Record

---

DATE:            ISSUE:

---

NO:      DATE:      ISSUE:

---

HILL AND LOCUST

LOCUST STREET AND HILL  
AVE  
KNOXVILLE, TN

---

Project Number: 22005

LEVEL 3 OVERALL FLOOR  
PLAN

A-103

NOT FOR CONSTRUCTION



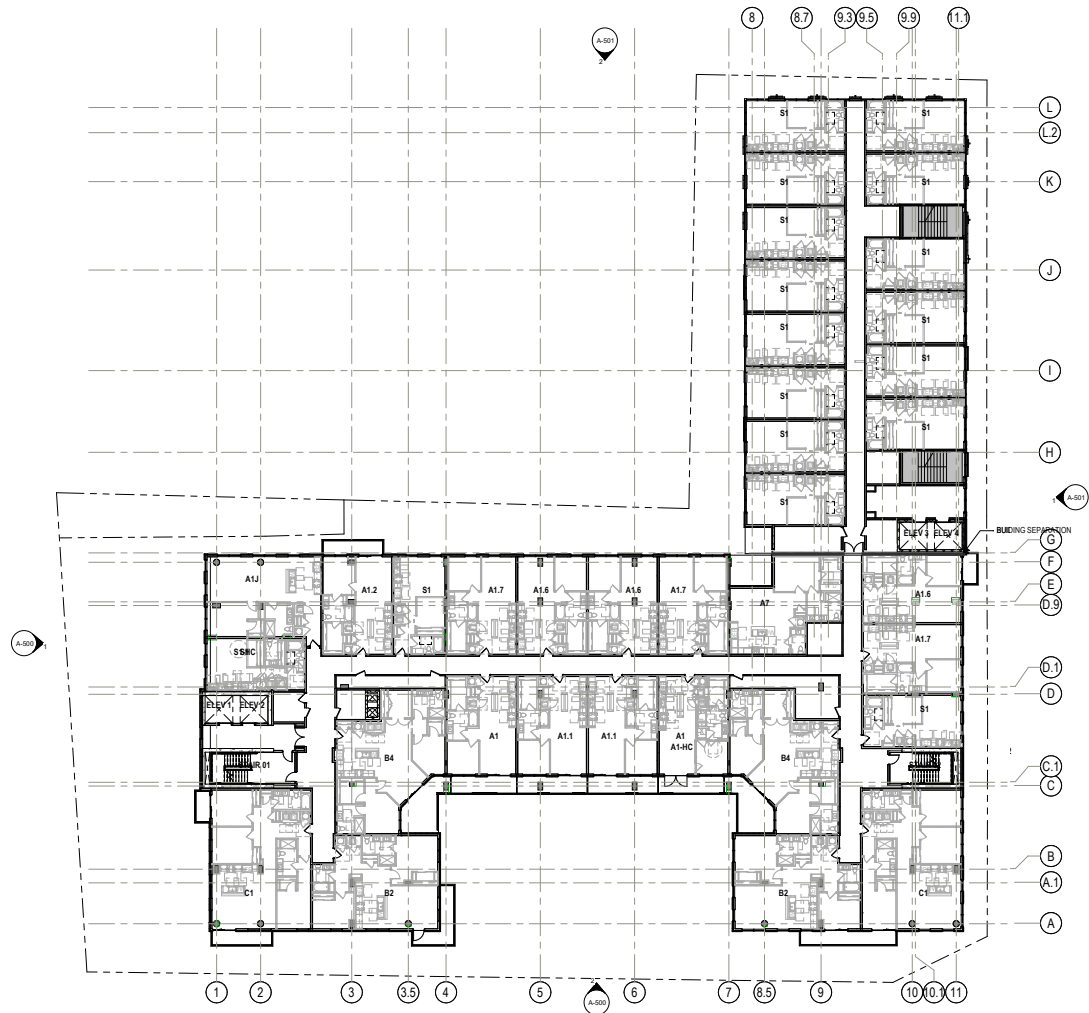


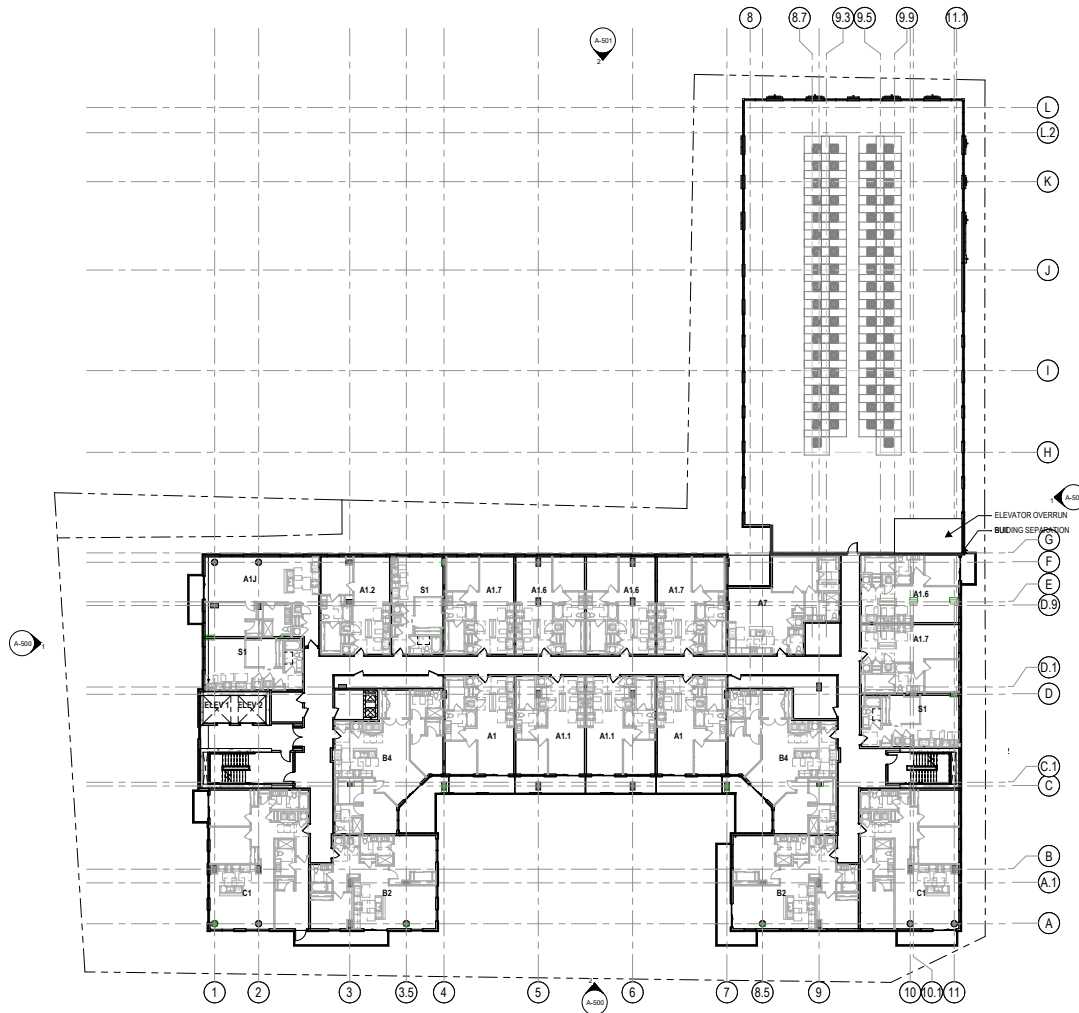
FLOOR PLAN NOTES

1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL, AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS INDICATED ON PLANS ARE FACE OF STUDS. TO CONCRETE WALLS AND/OR TOOKU WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUD, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR REVERSED PLANS, SECTIONS OR DETAILS.

FLOOR PLAN LEGEND

- WINDOW SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.
- STOREFRONT SYSTEM. REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.





#### FLOOR PLAN NOTES

1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL, AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS INDICATED ON PLANS ARE FACE OF STUDS. TO CONCRETE WALLS AND/OR TOWER WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUD, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR REVERSED PLANS, SECTIONS OR DETAILS.

#### FLOOR PLAN LEGEND

- WINDOW SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.
- STOREFRONT SYSTEM. REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.

Print Record

DATE: ISSUE:

NO: DATE: ISSUE:

HILL AND LOCUST

LOCUST STREET AND HILL

ATLANTA, GA 30318

Project Number: 20005

LEVEL 7 OVERALL FLOOR

PLAN

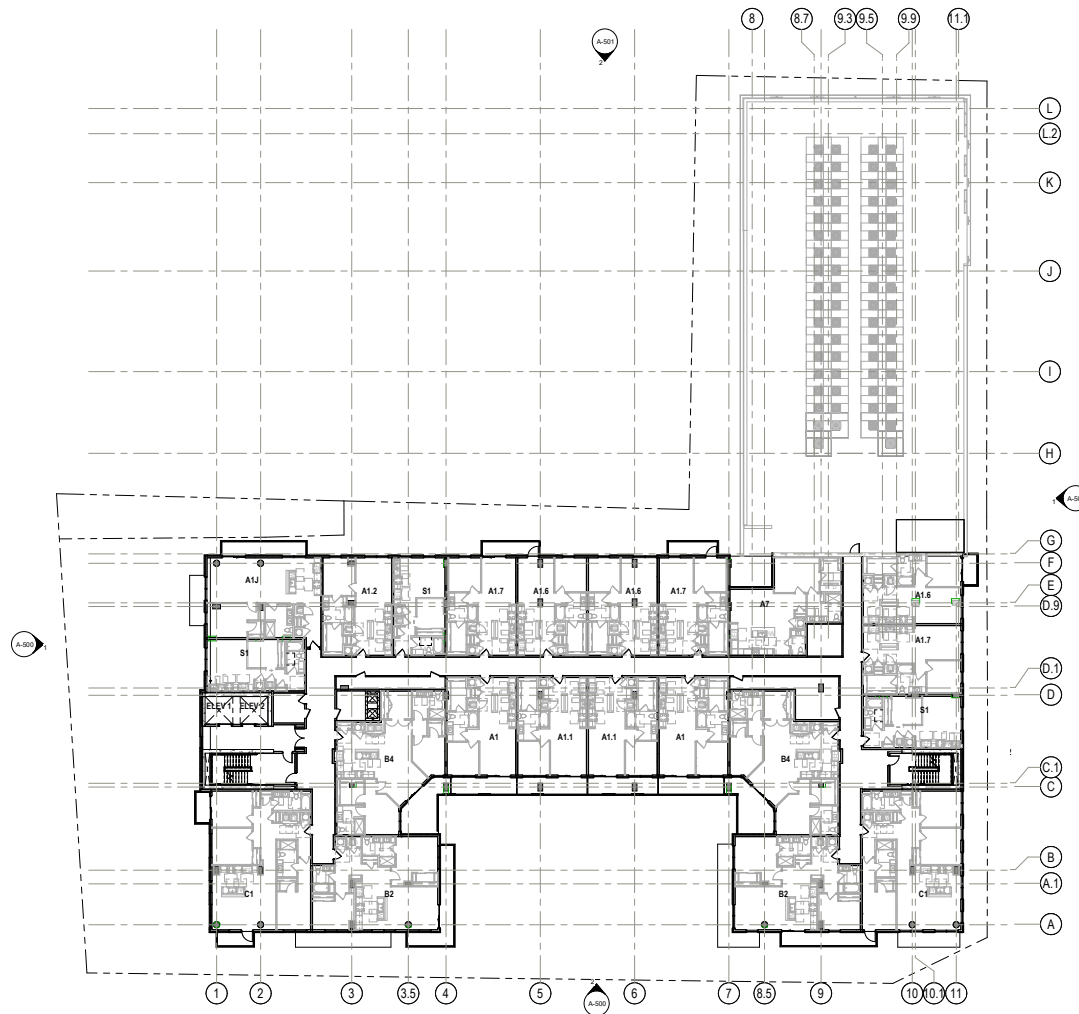
A-107

NOT FOR CONSTRUCTION



1 LEVEL 07 - OVERALL FLOOR PLAN

1/8" = 1'-0"



#### FLOOR PLAN NOTES

1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL, AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS INDICATED ON PLANS ARE FACE OF STUDS, TO CONCRETE WALLS AND/OR TOWER WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUD, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR REVERSED PLANS, SECTIONS OR DETAILS.

#### FLOOR PLAN LEGEND

- ◻ WINDOW SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.
- STOREFRONT SYSTEM. REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.

**BROCK  
HUDGINS**  
ARCHITECTS

1075 BRADY AVE. NW  
ATLANTA, GA 30318  
Phone: (404) 512-9600

WWW.BROCKHUDGINS.COM

1075 BRADY AVE. NW, SUITE 200, ATLANTA, GA 30318  
1075 BRADY AVE. NW, SUITE 200, ATLANTA, GA 30318  
1075 BRADY AVE. NW, SUITE 200, ATLANTA, GA 30318

Print Record

DATE: ISSUE:

NO. DATE: ISSUE:

HILL AND LOCUST

LOCUST STREET AND HILL  
AVE.  
KNOXVILLE, TN

Project Number: 20005

LEVEL 08 OVERALL FLOOR  
PLAN

A-108

NOT FOR CONSTRUCTION



1 LEVEL 08 - OVERALL FLOOR PLAN  
1/8" = 1'-0"

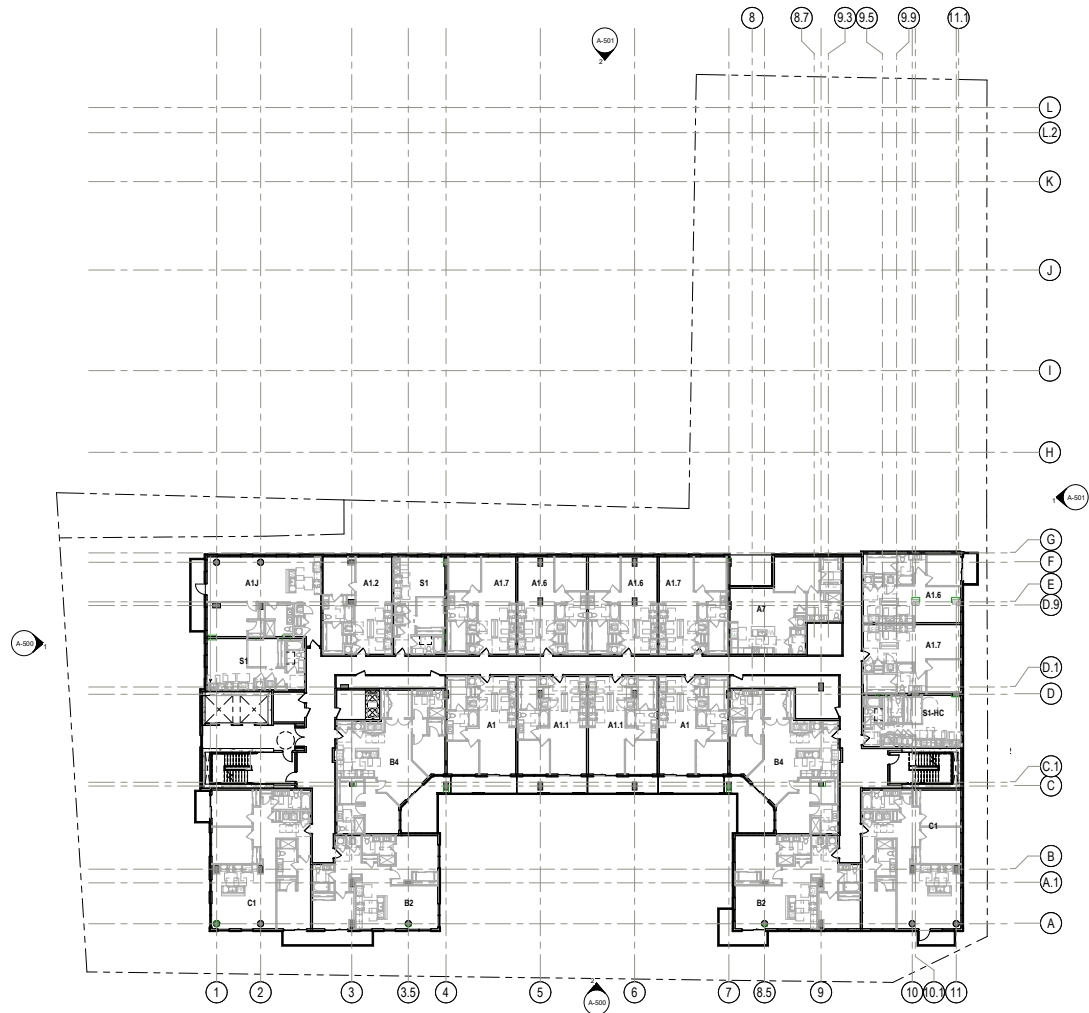


**FLOOR PLAN NOTES**

1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS INDICATED ON PLANS ARE FACE OF STUDS. TO CONCRETE WALLS AND/OR TOWER WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUD, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR REVERSED PLANS, SECTIONS OR DETAILS.

**FLOOR PLAN LEGEND**

- ◻ WINDOW SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.
- STOREFRONT SYSTEM. REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.

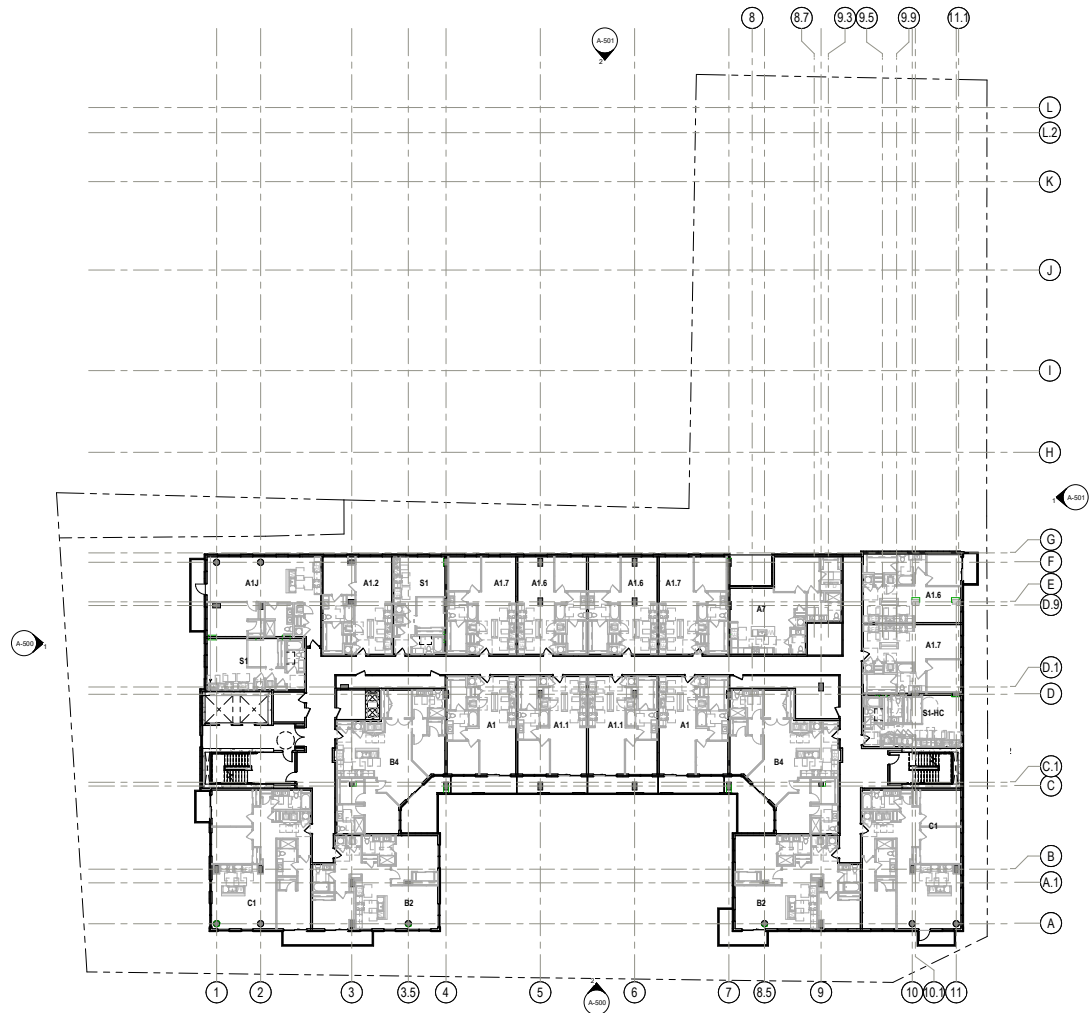


FLOOR PLAN NOTES

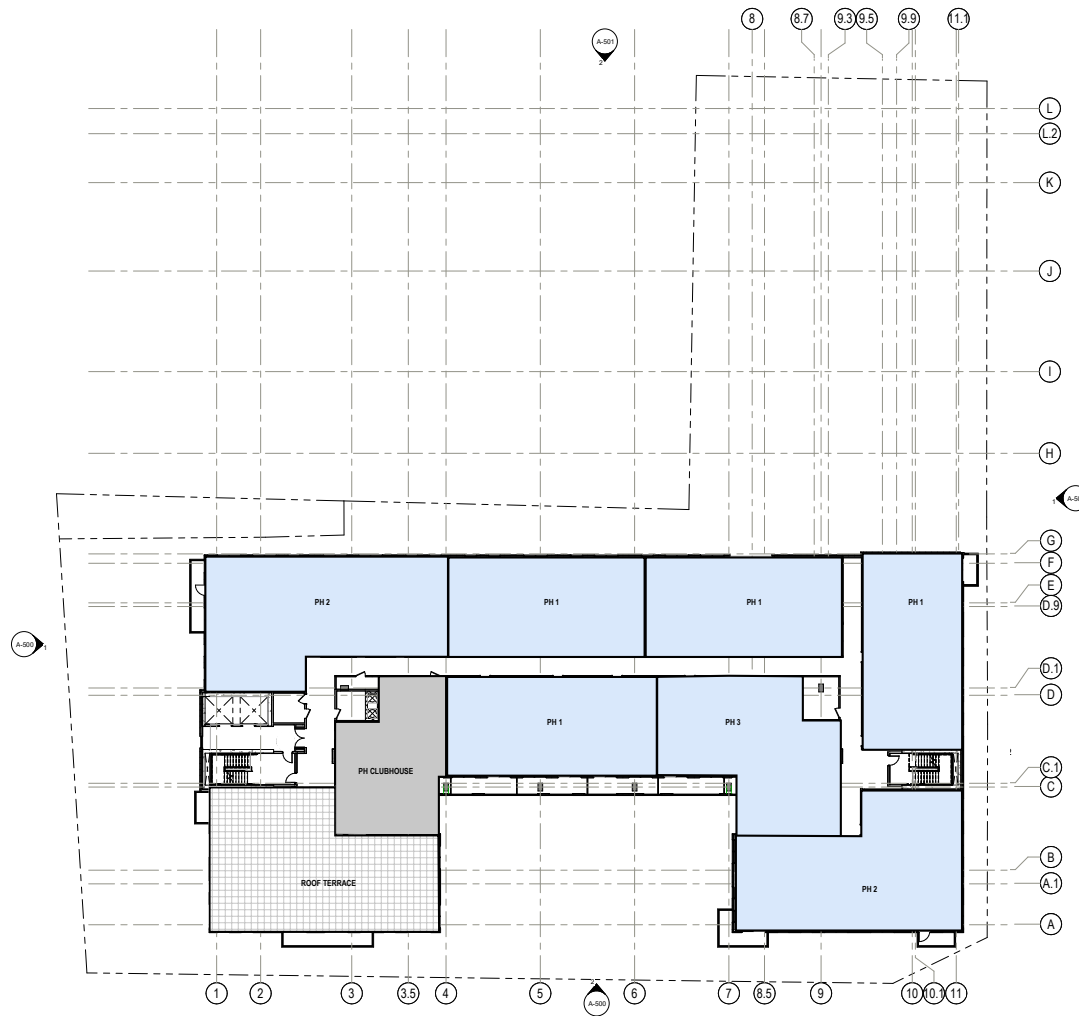
1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL, AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS INDICATED ON PLANS ARE FACE OF STUDS, TO CONCRETE WALLS AND/OR TOWER WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUD, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR REVERSED PLANS, SECTIONS OR DETAILS.

FLOOR PLAN LEGEND

- WINDOW SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.
- STOREFRONT SYSTEM. REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.







#### FLOOR PLAN NOTES

1. VERIFY DIMENSIONS, GRADES, BOUNDARIES AND CONSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION. IMMEDIATELY REPORT ANY DISCREPANCIES TO ARCHITECT.
2. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
3. TYPICAL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL OR OPPOSITE PLANS, SECTIONS OR DETAILS.
4. MATERIALS AND WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. VERIFY THAT SUBSTITUTIONS COMPLY WITH APPLICABLE CODES AND REGULATIONS.
5. PROVIDE ACCESS PANELS AT CEILING AND WALLS AS PER MECHANICAL, PLUMBING/ELECTRICAL, AND SPRINKLER DRAWINGS. ACCESS PANELS SHALL HAVE SAME RATING AS WALL OR CEILING IN WHICH THEY ARE LOCATED.
6. GUARD AND RAIL HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. DIMENSIONS INDICATED ON PLANS ARE FACE OF STUDS, TO CONCRETE WALLS AND/OR TOWER WALLS UNLESS NOTED OTHERWISE.
7. EXTERIOR DIMENSIONS ARE GIVEN TYPICALLY TO OUTSIDE FACE OF STOREFRONT, STUD, CONCRETE, OR MASONRY UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS, NOTES, FINISHES, AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR REVERSED PLANS, SECTIONS OR DETAILS.

#### FLOOR PLAN LEGEND

- ◻ WINDOW SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.
- STOREFRONT SYSTEM. REFER TO STOREFRONT SCHEDULE SHEET FOR SPECIFICATION.

**BROCK  
HUDGINS**  
ARCHITECTS

1075 BRADY AVE. NW  
ATLANTA, GA 30318  
Phone: (404) 512-9600

WWW.BROCKHUDGINS.COM

1075 BRADY AVE. NW, SUITE 1000, ATLANTA, GA 30318  
1075 BRADY AVE. NW, SUITE 1000, ATLANTA, GA 30318  
1075 BRADY AVE. NW, SUITE 1000, ATLANTA, GA 30318

Print Record

DATE: ISSUE:

NO: DATE: ISSUE:

HILL AND LOCUST

LOCUST STREET AND HILL  
AVE.  
KNOXVILLE, TN

Project Number: 20005

PENTHOUSE LEVEL 12 -  
OVERALL FLOOR PLAN

A-112

NOT FOR CONSTRUCTION



1 PENTHOUSE LEVEL 12 - OVERALL FLOOR PLAN  
1/8" = 1'-0"

ELEVATION NOTES

1. ALL METAL CAPS, COPING, FLASHING, SCUPPERS, FLASHING, AND OTHER RELATED ROOF ITEMS SHALL BE INSTALLED PER THE LATEST BRANCA REGULATION.
2. REFER TO PROJECT MANUAL FOR SPECIFICATIONS.
3. COORDINATE BUILDING FINISH LOCATIONS AND REQUIREMENTS WITH OWNER AND ELECTRICAL PRIOR TO FABRICATION.
4. REFER TO RCP FOR SPECIFICATION OF EXTERIOR LIGHTING.
5. MATERIAL, MANUFACTURERS AND COLORS INDICATED ON DRAWINGS ARE SUBJECT TO CHANGE DURING THE CONSTRUCTION PROCESS. ANY DEVIATIONS FROM APPROVED PLANS SHALL FOLLOW ESTABLISHED ADMINISTRATIVE PROCEDURES FOR APPROVAL.

ELEVATION LEGEND



WINDOW EGRESS SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.



MASONRY CONTROL JOINT. FINISH TO MATCH MORTAR.

EXTERIOR MATERIAL LEGEND



FIB-1  
FIBER CEMENT - BOARD & BATTEN  
EXPOSURE  
STANDARD OF DESIGN  
COLOR:



FIB-2  
FIBER CEMENT - LAP SIDING  
EXPOSURE  
STANDARD OF DESIGN  
COLOR:



C-1  
CAST IN PLACE CONCRETE - RUBBED FINISH  
EXPOSURE  
STANDARD OF DESIGN  
COLOR:



C-2  
CAST IN PLACE CONCRETE - BOARD FORMED  
EXPOSURE  
STANDARD OF DESIGN  
COLOR:



BB-1  
BRICK VENEER  
STANDARD OF DESIGN  
COLOR:



MTL-1  
PREFINISHED ALUMINUM (GUTTER - DOWNSPOUT)  
STANDARD OF DESIGN  
COLOR:



MTL-2  
PREFINISHED ALUMINUM STOREFRONT  
STANDARD OF DESIGN  
COLOR:



MTL-3  
PREFINISHED METAL PANEL - SMOOTH  
STANDARD OF DESIGN  
COLOR:



MTL-4  
PREFINISHED METAL PANEL - VERTICAL RIBBED  
STANDARD OF DESIGN  
COLOR:

Print Record

DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

NO. DATE: ISSUE:

ELEVATION NOTES

1. ALL METAL CAPS, COPING, FLASHING, SCUPPERS, FLASHING, AND OTHER RELATED ROOF ITEMS SHALL BE INSTALLED PER THE LATEST BRANCA REGULATION.
2. REFER TO PROJECT MANUAL FOR SPECIFICATIONS.
3. COORDINATE BUILDING SIGNAGE LOCATIONS AND REQUIREMENTS WITH OWNER AND ELECTRICAL PRIOR TO FABRICATION.
4. REFER TO RCP FOR SPECIFICATION OF EXTERIOR LIGHTING.
5. MATERIAL, MANUFACTURERS AND COLORS INDICATED ON DRAWINGS ARE SUBJECT TO CHANGE DURING THE CONSTRUCTION PROCESS. ANY DEVIATIONS FROM APPROVED PLANS SHALL FOLLOW ESTABLISHED ADMINISTRATIVE PROCEDURES FOR APPROVAL.

ELEVATION LEGEND



WINDOW/DOOR/FRONT SYSTEM. REFER TO WINDOW SCHEDULE SHEET FOR SPECIFICATION.



MASONRY CONTROL JOINT. FINISH TO MATCH MORTAR.

EXTERIOR MATERIAL LEGEND



EIFS 1  
FIBER CEMENT - BOARD & BATTEN  
EXPOSURE  
STANDARD OF DESIGN  
COLOR:



EIFS 2  
FIBER CEMENT - LAP SIDING  
EXPOSURE  
STANDARD OF DESIGN  
COLOR:



C-1  
CAST IN PLACE CONCRETE - RUBBED FINISH  
EXPOSURE  
STANDARD OF DESIGN  
COLOR:



C-2  
CAST IN PLACE CONCRETE - BOARD FORMED  
EXPOSURE  
STANDARD OF DESIGN  
COLOR:



BB-1  
BRICK VENEER  
STANDARD OF DESIGN  
COLOR:



MTL-1  
PREFINISHED ALUMINUM (GUTTER - DOWNSPOUT)  
STANDARD OF DESIGN  
COLOR:



MTL-2  
PREFINISHED ALUMINUM STOREFRONT  
STANDARD OF DESIGN  
COLOR:



MTL-3  
PREFINISHED METAL PANEL - SMOOTH  
STANDARD OF DESIGN  
COLOR:



MTL-4  
PREFINISHED METAL PANEL - VERTICAL RIBBED  
STANDARD OF DESIGN  
COLOR:

Print Record

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

DATE: ISSUE:

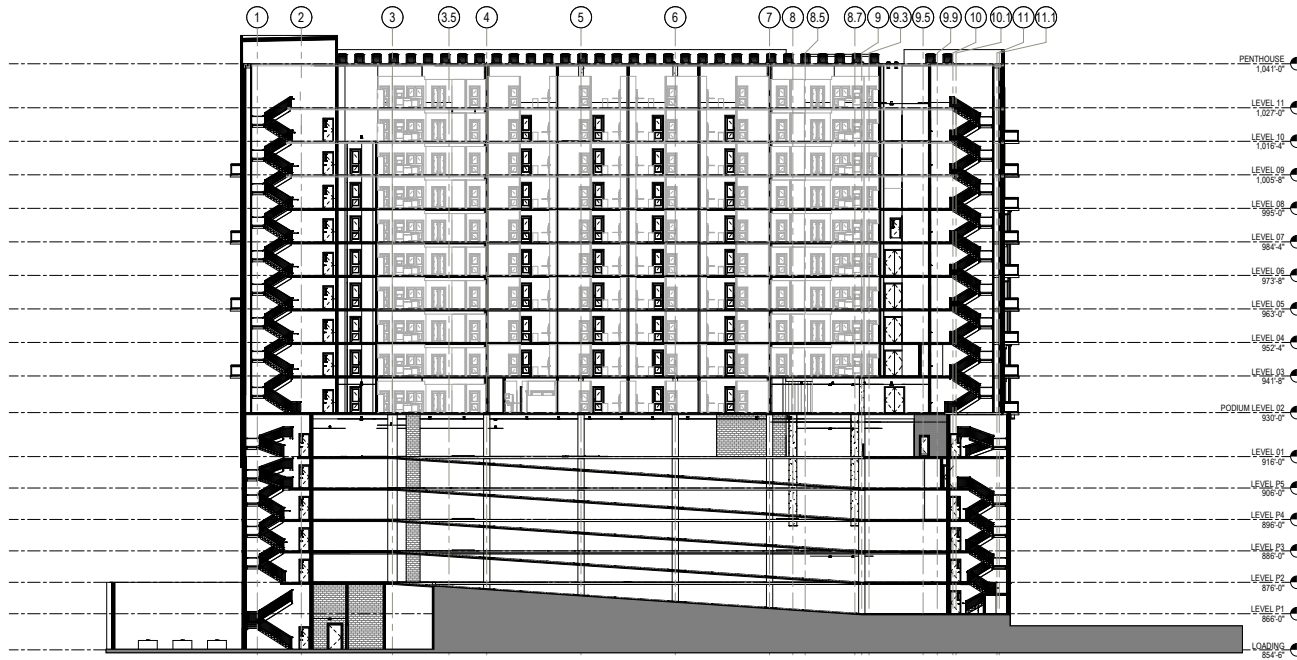
DATE: ISSUE:

DATE: ISSUE:

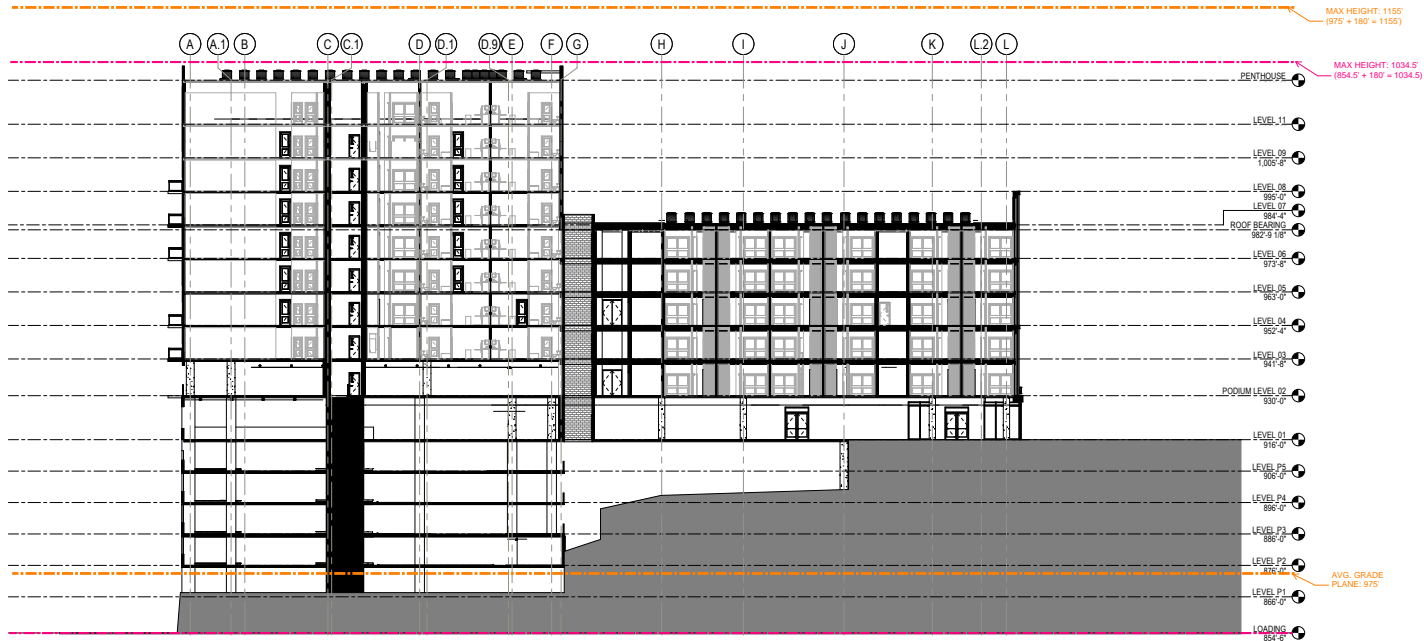
DATE: ISSUE:

2 NORTH ELEVATION  
1/16" = 1'-0"

1 EAST ELEVATION  
1/16" = 1'-0"



**2 BUILDING SECTION**  
1/8" = 1'-0"



**1 BUILDING SECTION**  
1/8" = 1'-0"

Print Record  
DATE: ISSUE:

NO. DATE: ISSUE:

HILL AND LOCUST

LOCUST STREET AND HILL  
AVE.  
ANNVILLE, TN  
Project Number: 2005

BUILDING SECTIONS

A-600

NOT FOR CONSTRUCTION





Google Earth















