



# Staff Report

## Infill Housing Design Review Committee

File Number: 9-A-23-IH

**Meeting:** 9/20/2023  
**Applicant:** Josh Braden Braden Family Properties, LLC  
**Owner:** Braden Family Properties, LLC

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### Property Information

**Location:** 3317 Johnston St. **Parcel ID** 81 H C 043  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**District:** Lonsdale Infill Housing Overlay District

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### Description of Work

Level III New Primary Structure

New duplex fronting Johnston Street. Two story, front-gable roof residence measures 36' wide by 34' long, with a hipped-roof porch projecting approximately 6.5' and extending the length of the facade. The structure is proposed to be set 49' from the front property line. Parking is proposed to be a 1,444 square foot asphalt parking lot located in the front of the structure and accessed via Johnston St.

The structure features a 6/12 pitch gable roof clad in three-dimensional shingles. The exterior will be clad in vinyl siding. The structure will rest on a concrete foundation and will feature 1/1 double hung vinyl windows.

On the façade (east), the hipped-roof porch will feature a roof to be clad in dimensional shingles, supported by two 6" wooden posts. The porch will be divided by a centrally located wall, flanked by a door and two 1/1 double-hung windows on each side. The second story of the façade features two smaller 1/1 double hung windows. The left and right elevations (south and north, respectively) feature four windows on the first story and two windows on the second story. The first floor of the rear elevation (west) features two secondary access doors, each flanked by a small 1/1 double-hung window, that open to stairs leading down to a concrete patio. The second story of the rear elevation features two pairs of 1/1 double-hung windows.

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### Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

#### 1. Front Yards:

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

#### 2. House Orientation and Side Yards:

- New housing should be proportional to the dimensions of the lot and other houses on the block.
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- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.
- On lots greater than 50' in width, consider re-creating the original lot size.

### 3. Alleys, Parking, and Services

- Parking should not be in front yards.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front facade.

### 4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

### 5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.

### 6. Windows and Doors:

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as picture windows should not be used in pre-World War II neighborhoods.

### 7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

### 8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

### 11. Landscape and Other Considerations:

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.

## Comments

1. The house is proposed to be set 49' from the front property line. The average front setback of the block is 37'. The house should be moved towards the front property line to maintain a consistent streetscape pattern, which would also allow space for a parking area in the rear. The site plan should include a walkway to the street.
2. The block to receive new construction is characterized by contemporary infill construction, modified Queen Anne cottages, and modified Minimal Traditionals. The two-story duplex is larger than other single-family houses on the block, but is proportional to the dimensions of the lot.
3. As proposed, the parking does not meet Infill Housing design guidelines. The parking area should be moved to the rear of the building, which would allow for a single driveway alongside the house and a turnaround area in the rear. Final revisions to the site plan will be necessary to meet City Engineering standards.
4. The two-story, six-bay façade is wider in scale than the context; however, the building is a duplex and not a single-family house. As depicted, the foundation height is compatible with original houses in the neighborhood.
5. The site plan includes a 6.5' deep front porch; guidelines recommend at least an 8' deep front porch so residents can comfortably use the porch. The front porch should be increased in depth. Porch posts should be increased to at least 8 by 8s to be proportionate to the building. Four posts instead of two would also add detail to the house.
6. Guidelines recommend window and door styles be similar, with similar proportions and ratio of solid to void, to historic houses on the block. Overall, the design includes sufficient windows on each elevation. Revisions should be made to the second-story windows on the façade; the windows should be increased in size to match the second story, and centered above the interior windows. Two additional windows may also benefit the large swath of siding without transparency.
7. The proposed 6/12 pitch roof meets the Infill Housing design guidelines.
8. The application does not include information on siding or roofing materials. If vinyl siding is used, the siding should feature an overlap instead of Dutch lap or flush panel siding. The CMU foundation should be clad in stucco or brick. Additional siding details on the second story may benefit the wide mass of the house.
9. The final site plan should include one new native or naturalized shade tree to be planted in the front and rear yards.
10. As a duplex in the RN-2 zone, the project is subject to a Special Use review with the Planning Commission. Final revisions may be necessary to ensure the project meets the principal use standards for two-family dwellings.

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## Recommendation

Staff recommends approval of Certificate 9-A-23-IH, subject to the following conditions: 1) front setback to be revised to reflect existing streetscape pattern; 2) parking placement to be revised, placed in the rear of the lot; 3) final site plan to meet City Engineering standards; 4) front porch to be increased in depth to at least 8' and be supported by 8 by 8 posts; 5) revision to second-story façade windows; 6) duplex to receive special use approval by Planning Commission and meet the principal use standards for two-family dwellings.



**9-A-23-IH**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

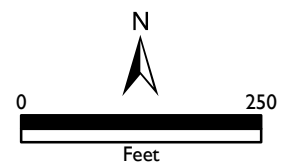


3317 Johnston St.  
Lonsdale Infill Housing Overlay District

Original Print Date: 9/8/2023  
Revised:  
Knoxville/Knox County Planning - Infill Housing Design Review Committee

Applicant: Josh Braden Braden Family  
Properties, LLC

**INFILL  
HOUSING  
REVIEW  
BOARD**







## DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)  
☐ HISTORIC ZONING (H)  
☒ INFILL HOUSING (IH)

Josh Braden

Applicant

08/11/2023

9/20/2023

9-A-23-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

### CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☒ Owner ☐ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Josh Braden

Braden Family Properties, LLC.

Name

Company

303 Bob Smith Lane

Knoxville

TN

37924

Address

City

State

Zip

865.696.7343

joshuabradens4@gmail.com

Phone

Email

### CURRENT PROPERTY INFO

Braden Family Properties, LLC.

303 Bob Smith Lane, Knoxville, TN 37924

865.696.7343

Owner Name (if different from applicant)

Owner Address

Owner Phone

3317&3319 Johnston Street, Knoxville, TN 37921

081HC043

Property Address

Parcel ID

FORREST PARK ADD RESUB

Neighborhood

Zoning

### AUTHORIZATION

*Lindsay Crockett*

Lindsay Crockett

8.11.23

Staff Signature

Please Print

Date

*J. Braden*

Josh Braden

08/11/23

Applicant Signature

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

### Level 1:

- ☐ Signs   ☐ Alteration of an existing building/structure

### Level 2:

- ☐ Addition to an existing building/structure

### Level 3:

- ☐ Construction of new building/structure   ☐ Site design, parking, plazas, landscape

*See required Downtown Design attachment for more details.*

- ☐ Brief description of work: \_\_\_\_\_

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## HISTORIC ZONING

### Level 1:

- ☐ Signs   ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

### Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials   ☐ Additions and accessory structures

### Level 3:

- ☐ Construction of a new primary building

### Level 4:

- ☐ Relocation of a contributing structure   ☐ Demolition of a contributing structure

*See required Historic Zoning attachment for more details.*

- ☐ Brief description of work: \_\_\_\_\_

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## INFILL HOUSING

### Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities   ☐ Subdivisions

### Level 2:

- ☐ Additions visible from the primary street   ☐ Changes to porches visible from the primary street

### Level 3:

- ☐ New primary structure  
☒ Site built   ☐ Modular   ☐ Multi-Sectional

*See required Infill Housing attachment for more details.*

- ☐ Brief description of work: \_\_\_\_\_

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## STAFF USE ONLY

### ATTACHMENTS

- ☐ Downtown Design Checklist  
☐ Historic Zoning Design Checklist  
☒ Infill Housing Design Checklist

### ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

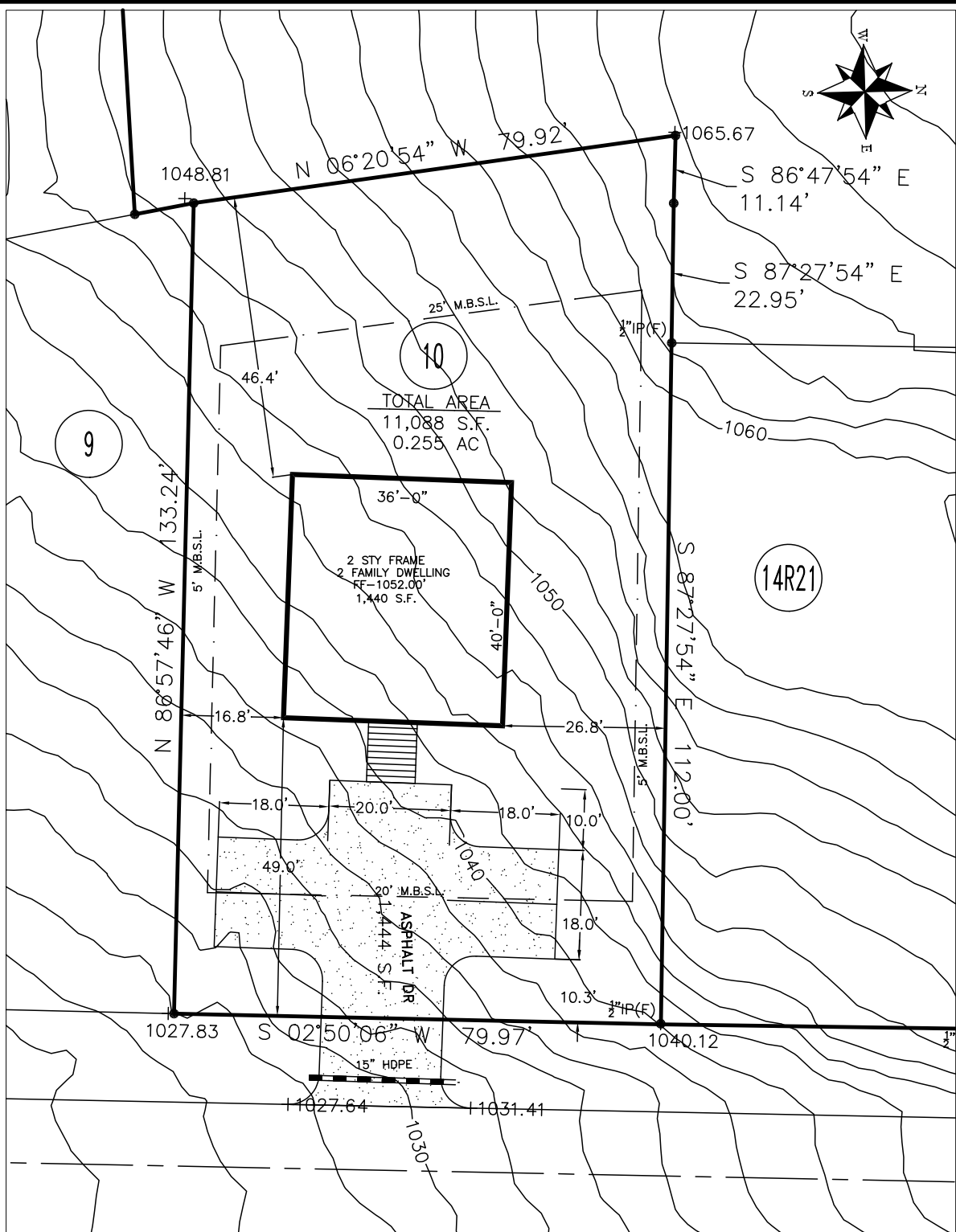
250.00

FEE 2:

FEE 3:

TOTAL:

250.00



DATE: 2/1/23

## SITE PLAN

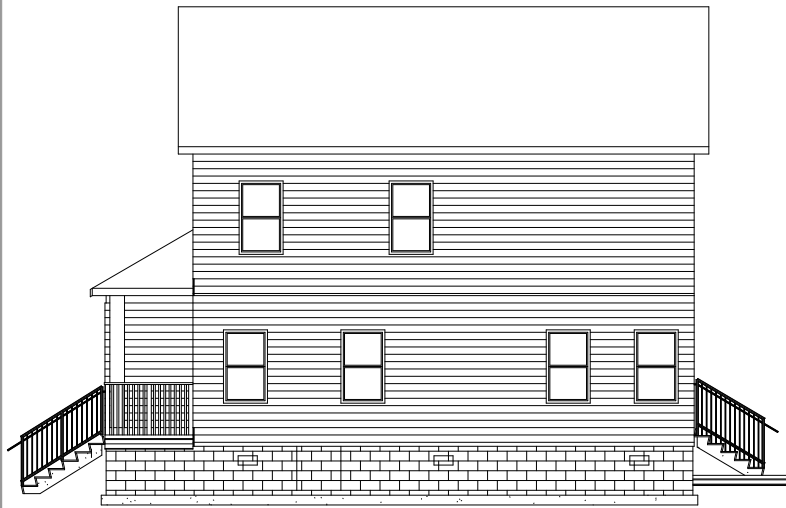
DRAWING NUMBER 368123

FOR **Braden Family Properties LLC**  
 ADDRESS **Johnston Street** SCALE 1" = 30'  
 DISTRICT **5th** COUNTY **KNOX** CITY **KNOXVILLE** STATE **TN** ZIP **37912**  
 LOT NO. **10-13 Forrest Park Add S/D**  
 WARD **19th** CITY BLOCK **19321** DRAWN BY **SWA**  
 MAP CAB. **P.B. 7, PG 5**  
 TAX MAP **081H** GROUP **C** PARCEL **043.00**  
 WARRANTY DEED BK. **202104060081983**  
 MORTGAGE CO.  
 TITLE CO.

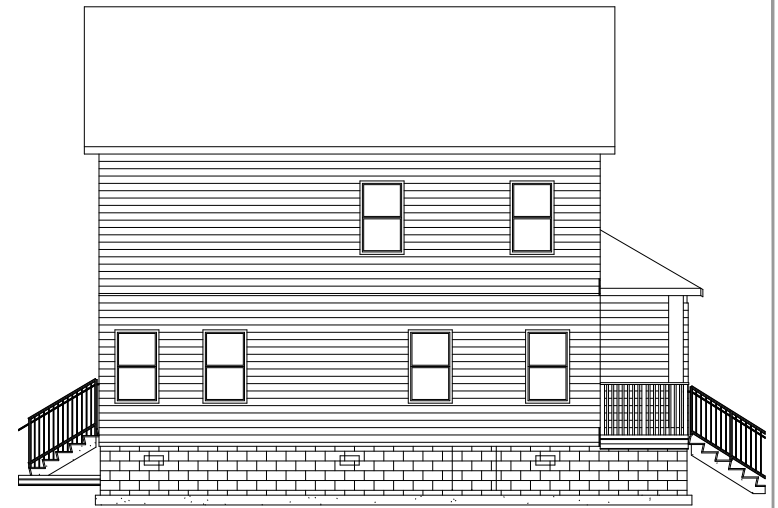
**ABBOTT LAND SURVEYING LLC**  
**STEVEN W. ABBOTT JR., RLS**  
 1109 E. WOODSHIRE DRIVE  
 KNOXVILLE, TN 37922  
 OFFICE: (865) 671-1149  
 EMAIL: survmap@tds.net



THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE. THIS IS TO CERTIFY THAT ON THE DATE SHOWN, I MADE AN ACCURATE SURVEY OF THE PREMISES SHOWN HEREON USING THE LATEST RECORDED DEED AND OTHER INFORMATION FURNISHED TO ME, THAT THERE ARE NO EASEMENTS, ENCROACHMENTS OR PROJECTIONS EVIDENT OTHER THAN THOSE SHOWN. THE SURVEY WAS DONE UNDER THE AUTHORITY OF TCA 62-18-126; AND THE SURVEY IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-07. THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE DESCRIBED NOT TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA.



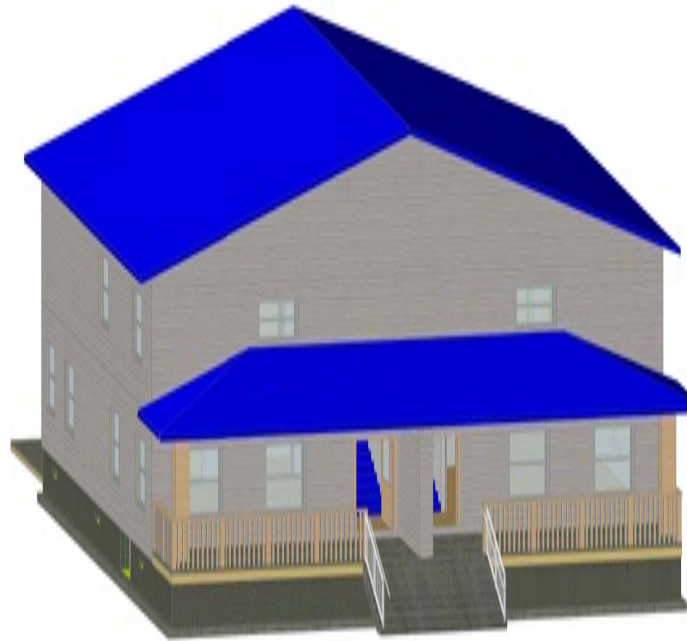
Right Exterior Elevation  
Scale:  $\frac{1}{2}" = 1'-0"$



Left Exterior Elevation  
Scale:  $\frac{1}{2}" = 1'-0"$



Front Exterior Elevation  
Scale:  $\frac{1}{2}" = 1'-0"$

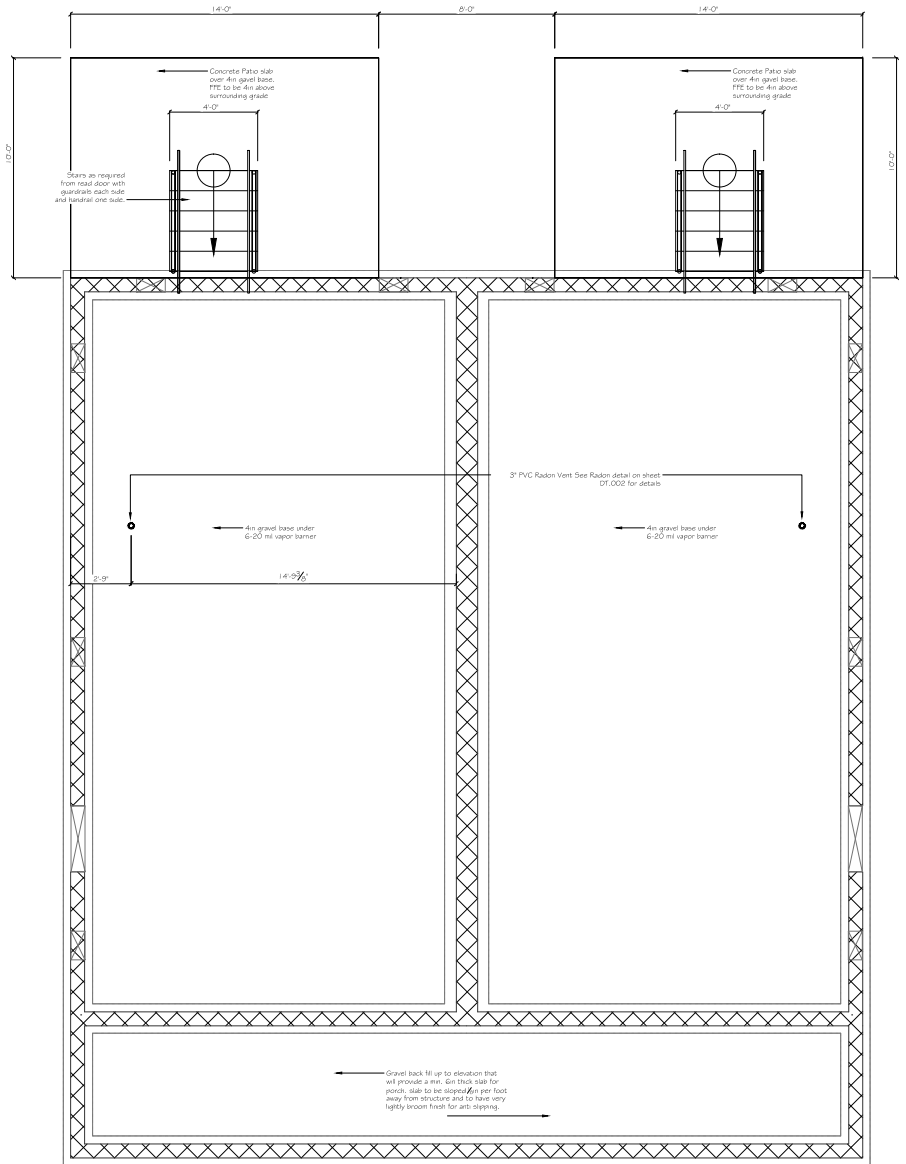


Front Left ISO View  
Scale: NTS

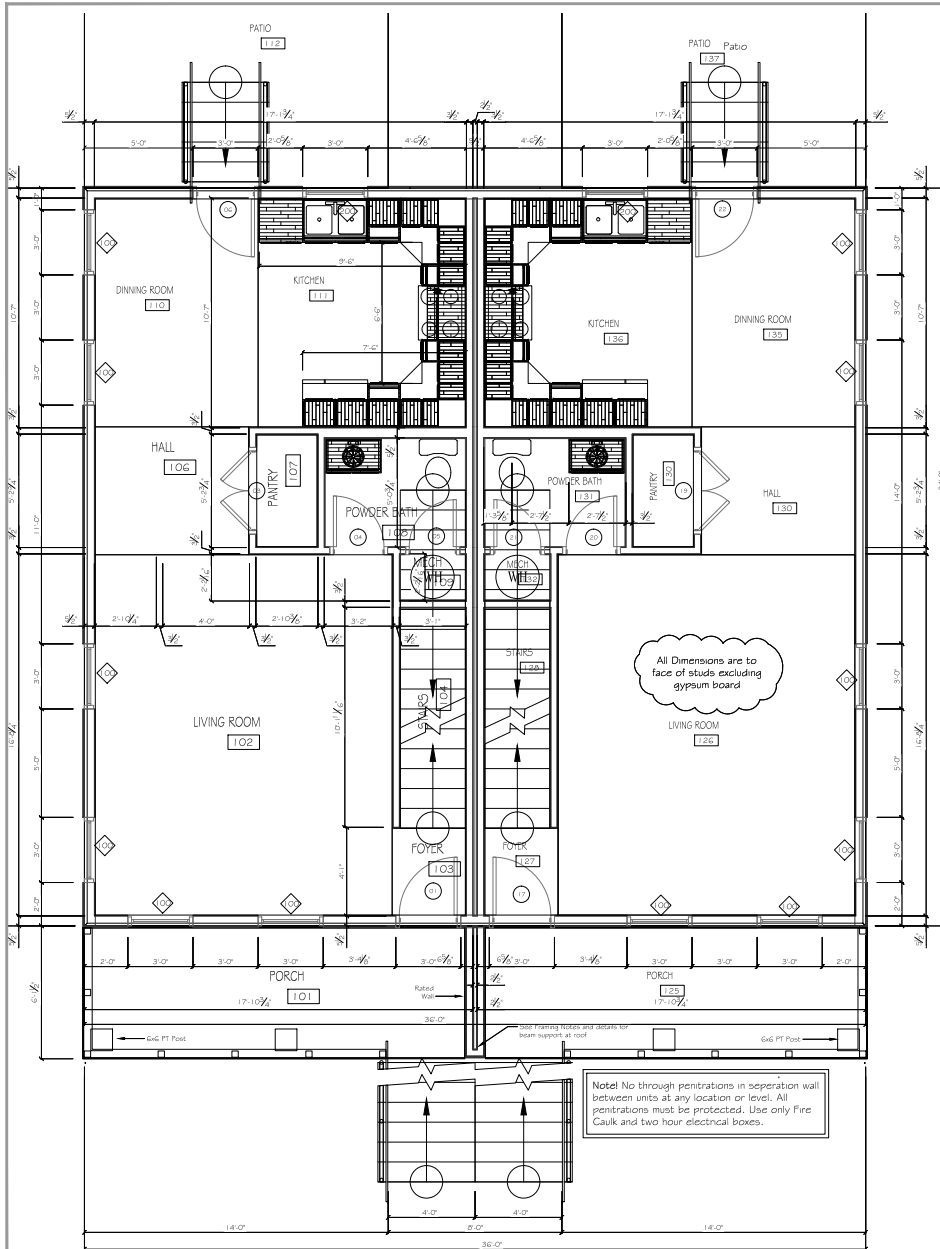


Rear Exterior Elevation  
Scale:  $\frac{1}{2}" = 1'-0"$

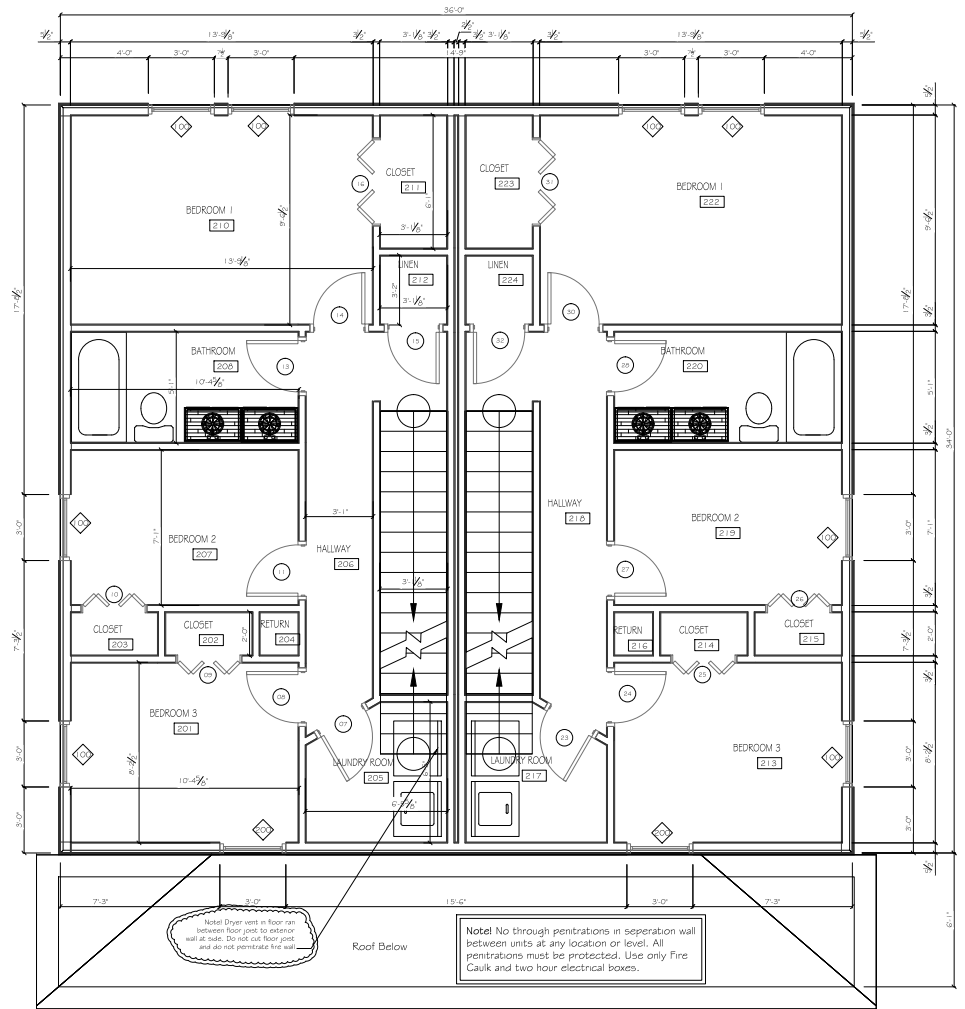
Project Name and Address	Project Number
Two Story Duplex 1000 N. 10th	CP.001
Drawing Date	September 23, 2022
Client	
Contractor	Shawn Neuber
Architect Arch Studios Architects, Inc. 1000 N. 10th, Suite 100 Orem, UT 84057 Office: (801) 471-5000	
Drawn By: ADOF GPS	



Project Name and Address	Project Number
Two Story Duplex 188 1.5 Bath	20222-0023
	Drawing Date
	September 21, 2022
Contractor	Scale:
Josh Braden Bradens Family Properties, LLC Cell: (865) 686-7843 Office: (865) 471-0070	See Drawing Layout
Drawn by: ASDG GDS	Sheet Number
	<b>AR.001</b>



First Floor Plan  
Scale:  $\frac{1}{8}'' = 1'-0''$



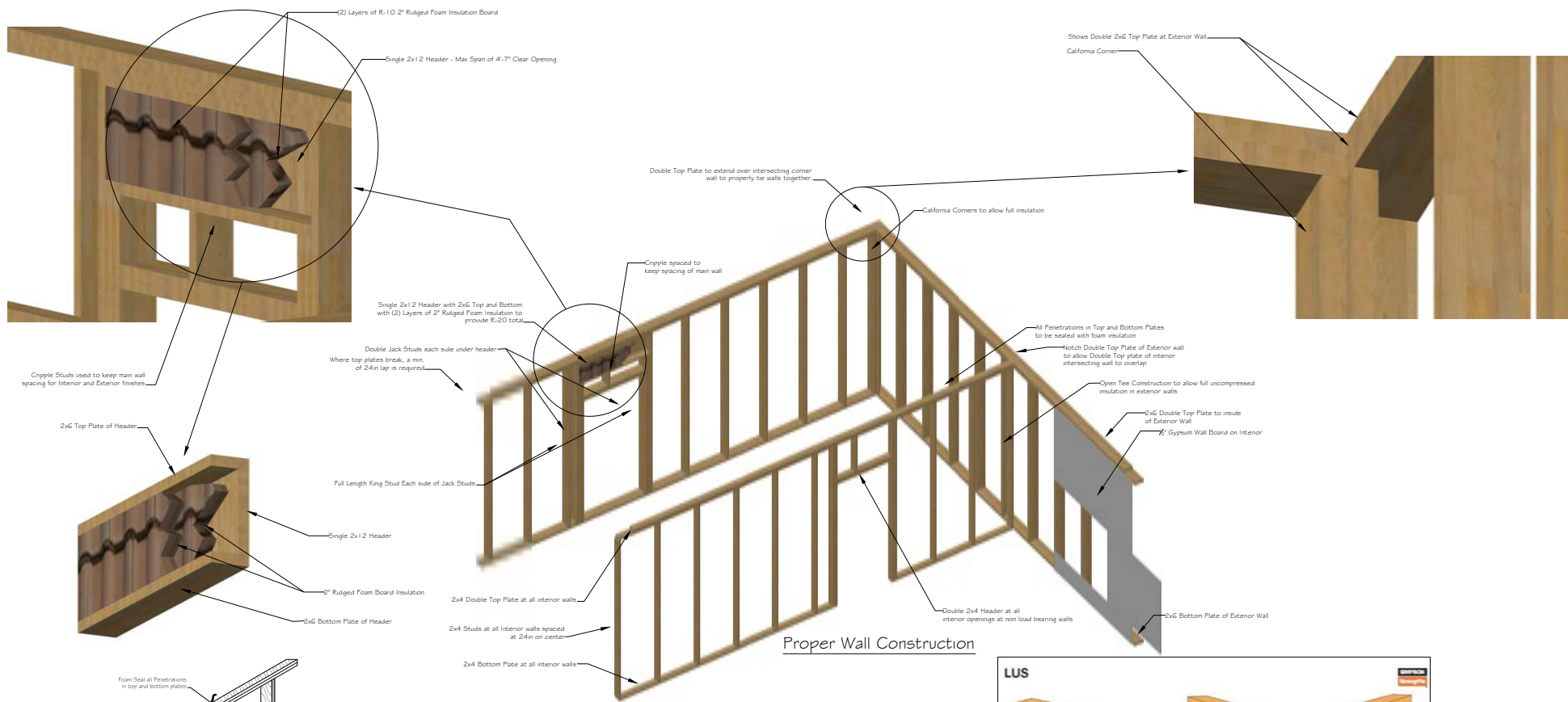
Second Floor Plan  
Scale:  $\frac{1}{8}'' = 1'-0''$

Project Name and Address	Project Number
Two Story Duplex 1001 N. 1st St.	1001-1-00
Drawing Date	September 21, 2022
Client	See Drawing Cover
Contractor	Shawn Neuberger
Architect	AR.002
Drawn By: ACDF GPS	

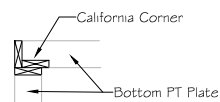
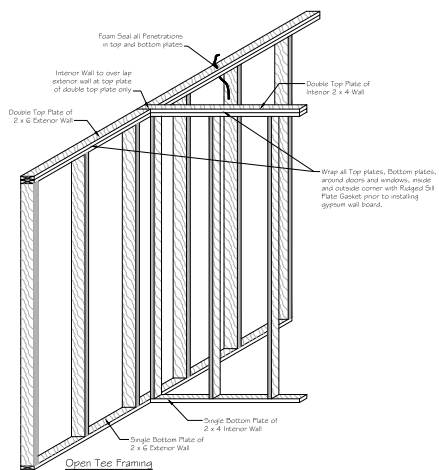


Project Name and Address	Project Number
Two Story Duplex 3 BR 1.5 Bath	2022-0023
	Drawing Date
	September 21, 2022
	Scale:
Contractor	See Drawing Layer
Josh Braden Braden Family Properties, LLC Cell: (866) 986-7343 Office: (866) 471-0070	Sheet Number <b>AR.00</b>

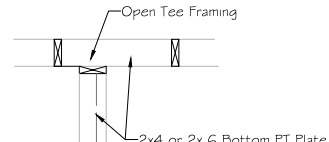




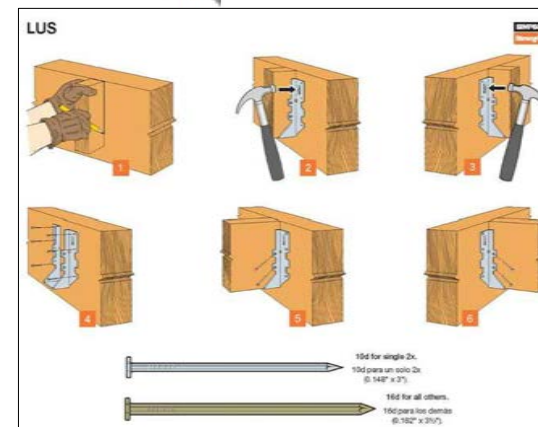
Proper Wall Construction



Detail  
Scale: 1" = 1'-0"



Alternative - Open Tee Framing

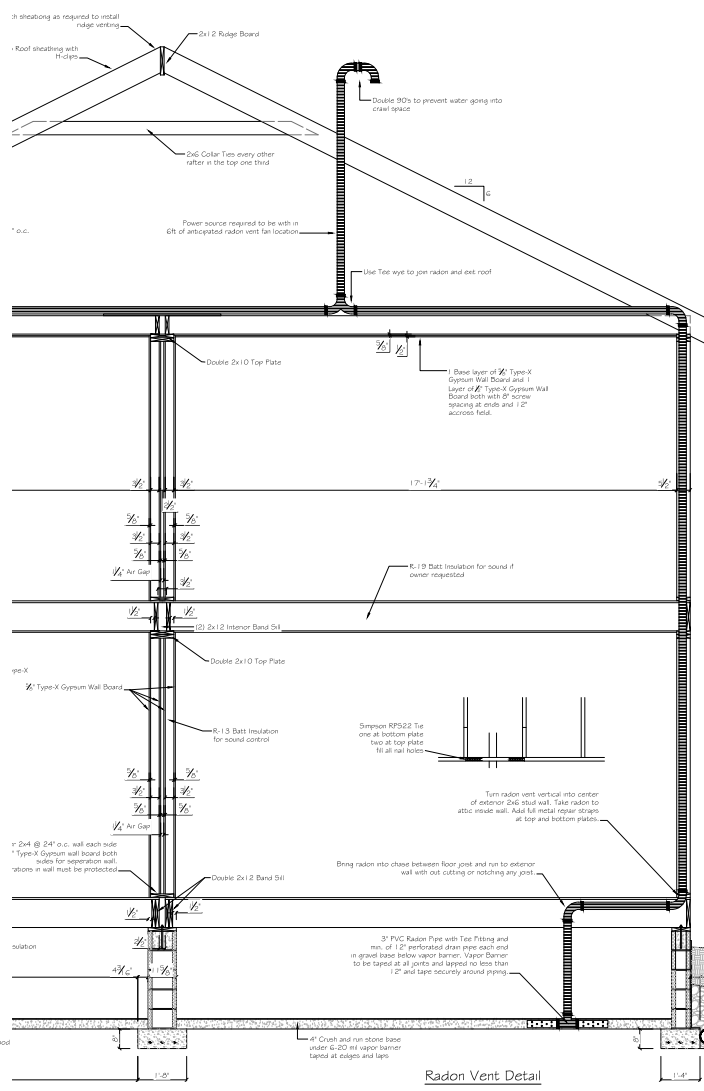
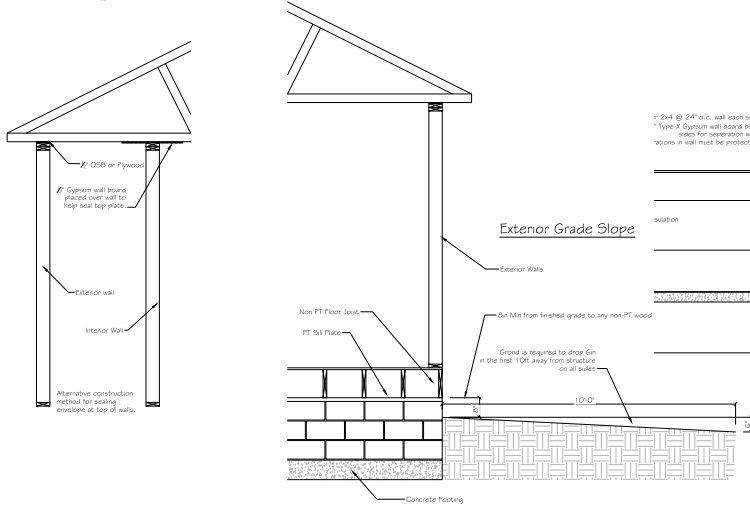
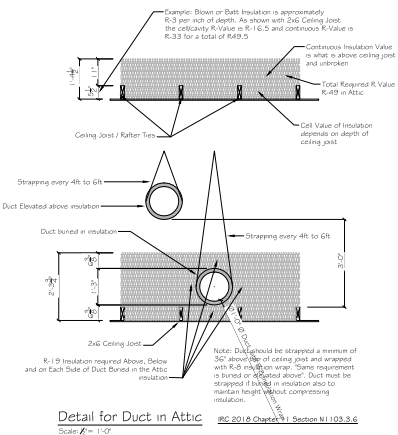
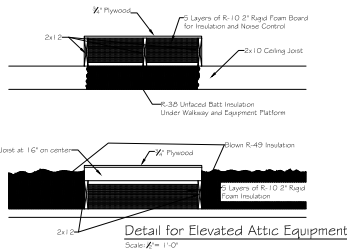


Simpson Joist Hanger Requirements

Scale: 1" = 1'-0" (Note: Data Taken on Construction Schedules are not affected by other 1" = 1'-0" Hangers - Only Schedules Applicable)

Project Name and Address	Project Number
Two Story Duplex 1401 S. 1st St.	1401 S. 1st St.
Drawing Date	September 21, 2022
Client	Client
Designing Company	Designing Company
Contractor	Sheet Number
John Menden Boulder County, Colorado, LLC Cell: (303) 441-1111 Office: (303) 471-6000	DT.001
Drawn By: AGD/OPS	





IRC 2018 Code Requirements to be aware of during construction:

**R403.1 General.** All exterior walls shall be supported on continuous solid or fully grouted masonry or concrete footings, crushed stone footings, wood foundations, or other approved structural systems that shall be of sufficient design to accommodate all loads according to Section R301 and to transmit the resulting loads to the soil within the limitations as determined from the character of the soil. Footings shall be supported on undisturbed natural soils or engineered fill. Concrete footings shall be designed and constructed in accordance with the provisions of Section R403 or in accordance with ACI 302. "Footings shall be continuous across garage doors".

**R403.1.4 Minimum depth.** Exterior footings shall be placed not less than 12 inches (305 mm) below the undisturbed ground surface. Where applicable, the depth of footings shall also conform to Sections R403.1.4.1 through R403.1.4.2.

Wood sole plates at all exterior walls on monolithic slabs, wood sole plates of braced wall panels at building interiors on monolithic slabs and all wood sill plates shall be anchored to the foundation with minimum 1/2-inch-diameter (12.7 mm) anchor bolts spaced not greater than 6 feet (1829 mm) on center or approved anchors or anchor straps spaced as required to provide equivalent anchorage to 1/2-inch-diameter (12.7 mm) anchor bolts. Bolts shall extend not less than 7 inches (178 mm) into concrete or grouted cells of concrete masonry units. The bolts shall be located in the middle third of the width of the plate. A nut and washer shall be tightened on each anchor bolt. There shall be not fewer than two bolts per plate section with one bolt located not more than 12 inches (305 mm) or less than seven bolt diameters from each end of the plate section. Interior bearing wall panels on monolithic slab foundation that are not part of a braced wall panel shall be positively anchored with approved fasteners. Sill plates and sole plates shall be protected against decay and termites where required by Sections R317 and R318.

**R317.1 Location required.** Protection of wood and wood-based products from decay shall be provided in the following locations by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U-1:

1. Wood joists or the bottom of a wood structural floor where closer than 18 inches (457 mm) or wood girders where closer than 12 inches (305 mm) to the exposed ground in crawl spaces or unexcavated areas located within the periphery of the building foundation.
2. Wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches (203 mm) from the exposed ground.
3. Sills and sleepers on a concrete or masonry slab that is in direct contact with the ground unless separated from such slab by an impervious moisture barrier.
4. The ends of wood girders entering exterior masonry or concrete walls having clearances of less than 1/2 inch (12.7 mm) on tops, sides and ends.
5. Wood siding, sheathing and wall framing on the exterior of a building having a clearance of less than 6 inches (152 mm) from the ground or less than 2 inches (51 mm) measured vertically from concrete steps, porch slabs, patio slabs and similar horizontal surfaces exposed to the weather.
6. Wood structural members supporting moisture-permeable floors or roofs that are exposed to the weather, such as concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier.
7. Wood framing strips or other wood framing members attached directly to the interior of exterior masonry walls or concrete walls below grade except where an approved vapor retarder is applied between the wall and the framing strips or framing members.

**R302.5.1 Opening protection.** Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 13/8 inches (35 mm) in thickness, solid or honeycomb-core steel doors not less than 13/8 inches (35 mm) thick, or 20-minute fire-rated doors, equipped with a self-closing or automatic-closing device.

**R302.1.3 Fire protection of floors.** Floor assemblies that are not required elsewhere in this code to be fire-resistance rated, shall be provided with a 1/2-inch (12.7 mm) gypsum wall-board membrane, 5/8-inch (16 mm) wood structural panel membrane, or equivalent on the underside of the floor framing member. Penetrations or openings for ducts, vents, electric outlets, lighting, devices, luminaires, wires, speakers, drainage, piping and similar openings or penetrations shall be permitted.

**Exceptions:**

1. Floor assemblies located directly over a space protected by an automatic sprinkler system in accordance with Section R2904, NFPA 13D, or other approved equivalent sprinkler system.
2. Floor assemblies located directly over a crawl space not intended for storage or for the installation of fuel-fired or electric-powered heating appliances.
3. Wood floor assemblies using dimension lumber or structural composite lumber equal to or greater than 2-inch by 10-inch (50.8 mm by 254 mm) nominal dimension, or other approved floor assemblies demonstrating equivalent fire performance.

**Key Sections in R311 Means of Egress:**

R311.1 Means of Egress  
R311.2 Floors and landings at exterior doors  
R311.7 Stairways  
R311.7.2 Headroom  
R311.7.5 Stair treads and risers  
R311.7.6 Landings for stairways  
R311.7.8 Handrails  
R311.7.9 Height  
R311.7.10 Projection  
R311.7.11 Continuity  
R311.7.12 Grip Size

**Key Sections in R312 Guards and Window Fall Protection:**

R312.1 Guards  
R312.1.1 Where Required  
R312.2 Window fall protection

**TABLE N1102.4.1 AIR BARRIER AND INSULATION INSTALLATION - Approved Air Barrier required between Tub/Shower and Exterior wall studs when tub/shower is located on an exterior wall.**

**N1103.4 Mechanical system piping insulation (Mandatory).** Mechanical system piping capable of carrying fluids greater than 105°F (41°C) or less than 55°F (13°C) shall be insulated to an R-value of not less than R-3.

**N1103.4.1 Protection of piping insulation.** Piping insulation exposed to weather shall be protected from damage, including that caused by sunlight, moisture, equipment maintenance and wind. The protection shall provide shielding from solar radiation that can cause degradation of the material. Adhesive tape shall be prohibited.

**2603.5 Freezing.** Localities having a winter design temperature of 32°F (0°C) or lower as shown in Table R301.2(1) of this code, a water, soil or waste pipe shall not be installed outside of a building, in exterior walls, in attics or crawl spaces, or in any other place subjected to freezing temperature unless adequate provision is made to protect it from freezing by insulation or heat or both. Water service pipe shall be installed not less than 12 inches (305 mm) deep and not less than 6 inches (152 mm) below the frost line. Knowlville, TN, meets and requires the water supply lines to be insulated however waste and soil piping are currently excluded. Knowlville, TN frost line is 12" below undisturbed earth.

**N1103.5.3 (R403.5.3) Hot water pipe insulation (Pre-scriptive).** Insulation for hot water piping with a thermal resistance, R-value, of not less than R-3 shall be applied to the following:

1. Piping 3/4 inch (19 mm) and larger in nominal diameter.
2. Piping serving more than one dwelling unit.
3. Piping located outside the conditioned space.
4. Piping from the water heater to a distribution manifold.
5. Piping located under a floor slab.
6. Buried piping.
7. Supply and return piping in recirculation systems other than demand recirculation systems.

**Note:** It is the general contractor and each sub-trade contractors responsibility to know, construct and install as required by the required code adopted by the jurisdiction and any amendments adopted where construction is to be performed. Do not go solely on construction drawings.

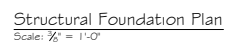
Project Name and Address	Project Number
Two Story Duplex 1401 S. 14th St.	1401 S. 14th St.
Drawn Date	Drawn Date
September 21, 2022	September 21, 2022
Drawn By	Drawn By
Joe Dunningham	Joe Dunningham
Contractor	Sheet Number
Joe Dunningham Joe Dunningham Properties, LLC 1401 S. 14th St. Office (941) 474-4009	DT.002
Drawn By: ADOF DKS	



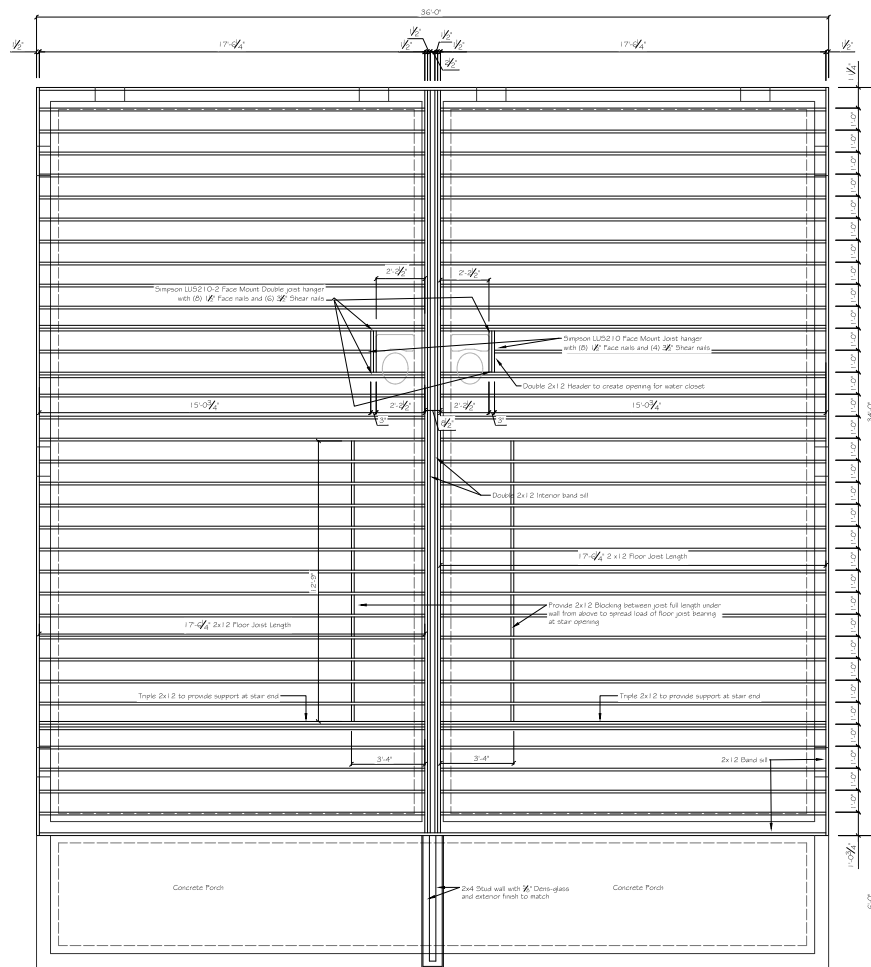
Exterior Finish Details  
Scale: NTS

Project Name and Address	Project Number
Two Story Duplex 1001 N. 1st St.	2002-0003
Drawing Date	Drawing Title
September 21, 2022	Exterior Finish Details
Drawn By	Check By
ADG	ADG
Contractor	Sheet Number
Jack Bruden Bruden Family Properties, LLC Cell: (509) 446-1166 Office: (509) 474-6009	DT.003
Drawn By: ADG DPS	

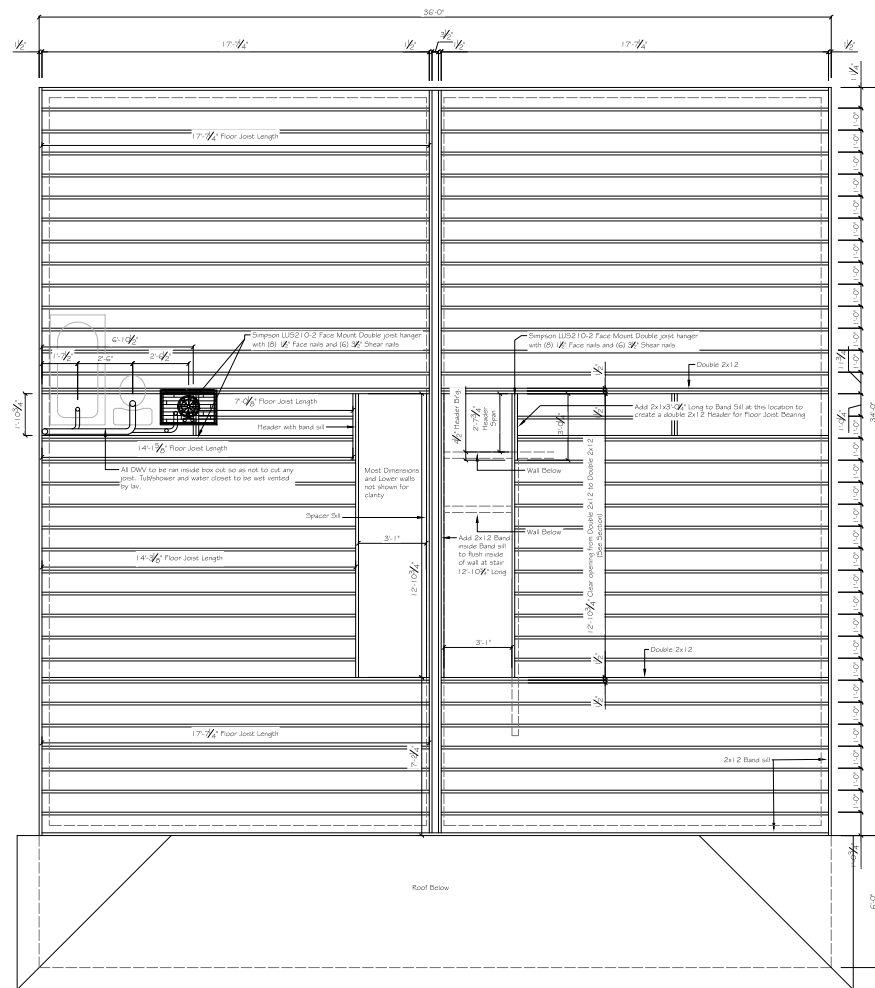




Project Name and Address	Project Number
Two Story Duplex 3 BR 1.5 Bath	2022-0023
	Drawing Date
	September 21, 2022
	Scale:
Contractor	See Drawing Layout
Josh Braden Braden Family Properties, LLC Cell: (860) 686-7383 Office: (860) 471-0040	Sheet Number
	<b>SP-002</b>
Drawn By: ASOF GPS	

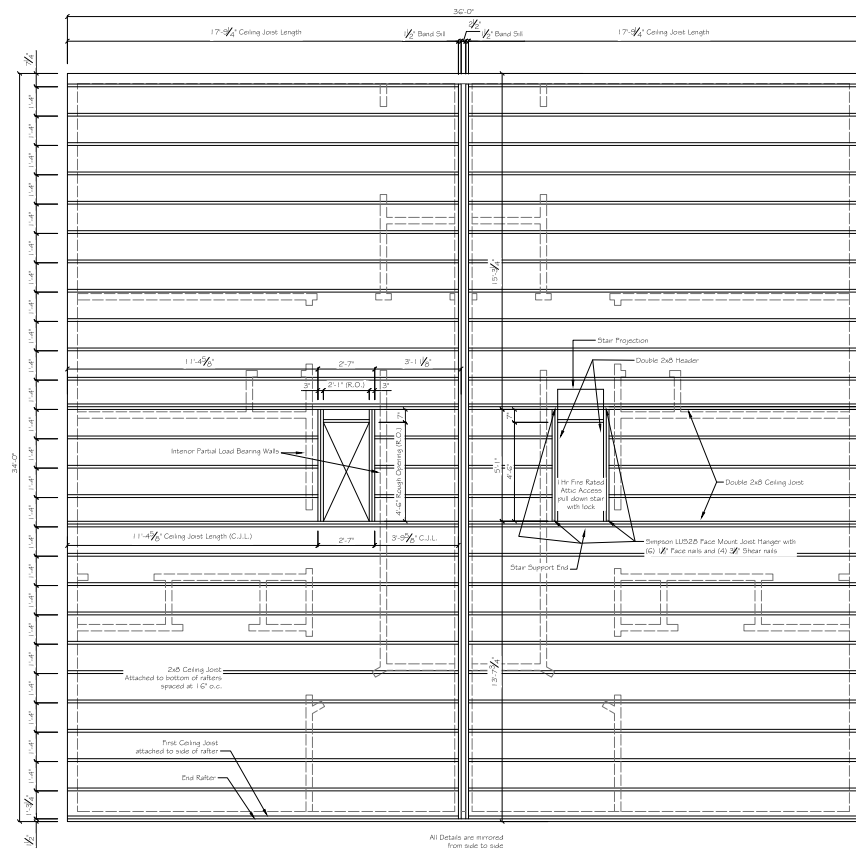


First Floor Framing Plan  
Scale:  $\frac{1}{8}" = 1'-0"$

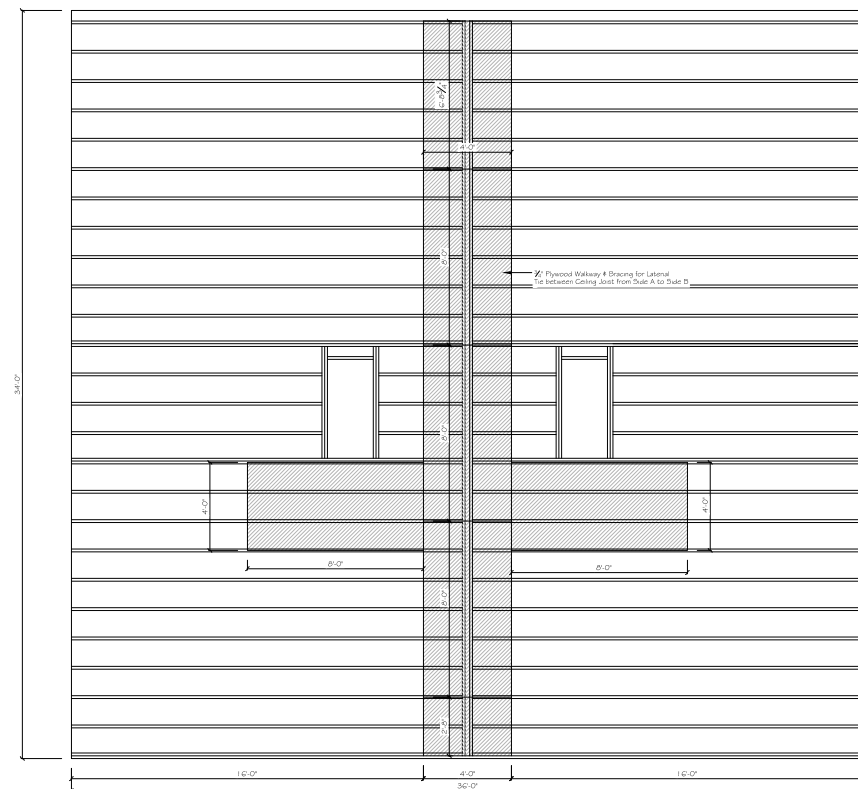


Second Floor Framing Plan  
Scale:  $\frac{1}{8}" = 1'-0"$

Project Name and Address	Project Number
Two Story Duplex 1001 N. 10th	SP-003
Drawn By	Drawn Date
ADP	September 21, 2022
Checked By	Checked Date
ADP	September 21, 2022
Contractor	Sheet Number
Josh Braden Braden Family Properties, LLC 3001 28th Ave S.E. Office (940) 474-6009	SP-003
Drawn By: ADP GDS	



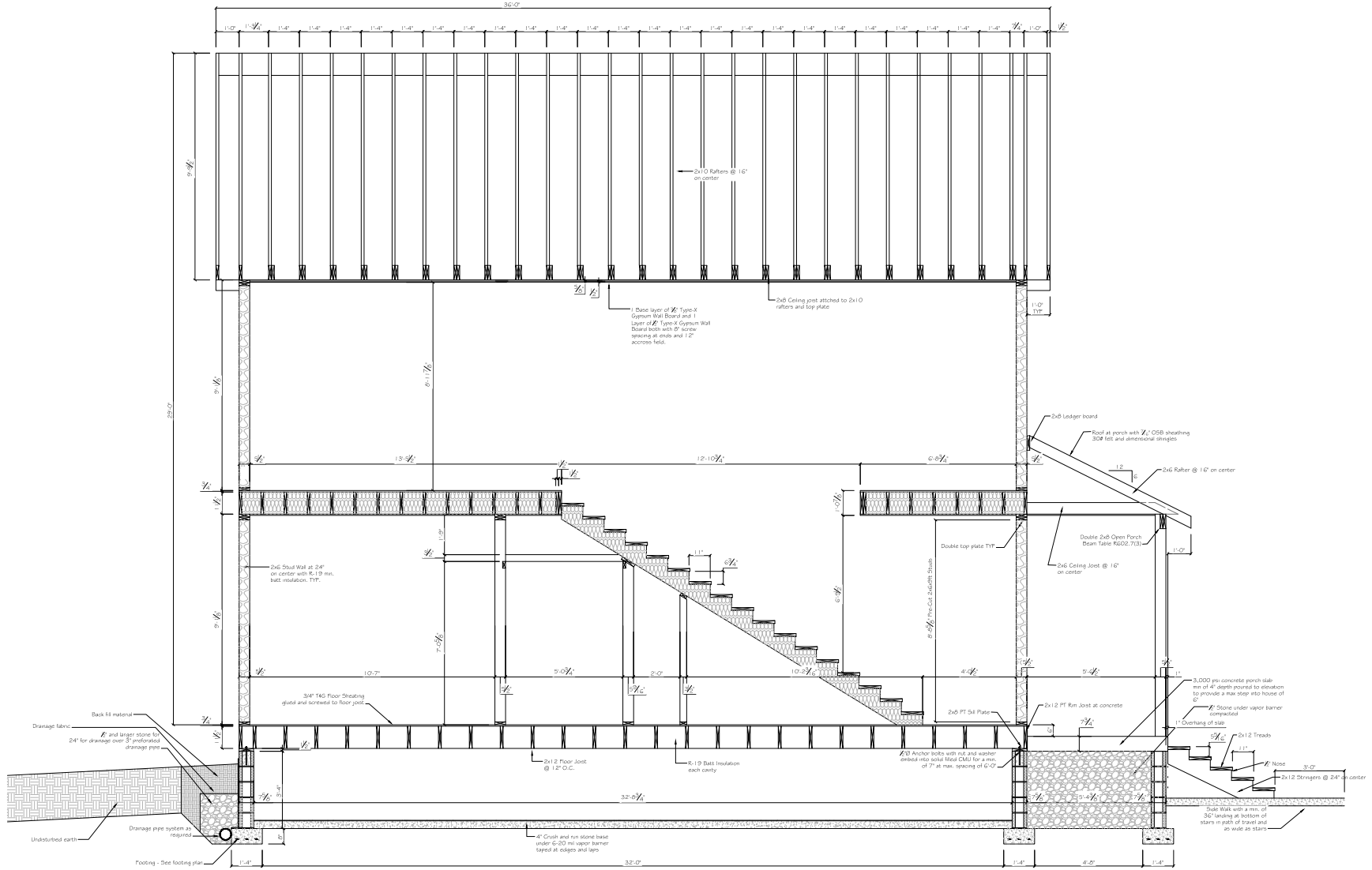
Ceiling Joist Framing Plan  
Scale:  $\frac{3}{8}" = 1'-0"$



Attic Framing Plan  
Scale:  $\frac{3}{8}'' = 1'-0''$

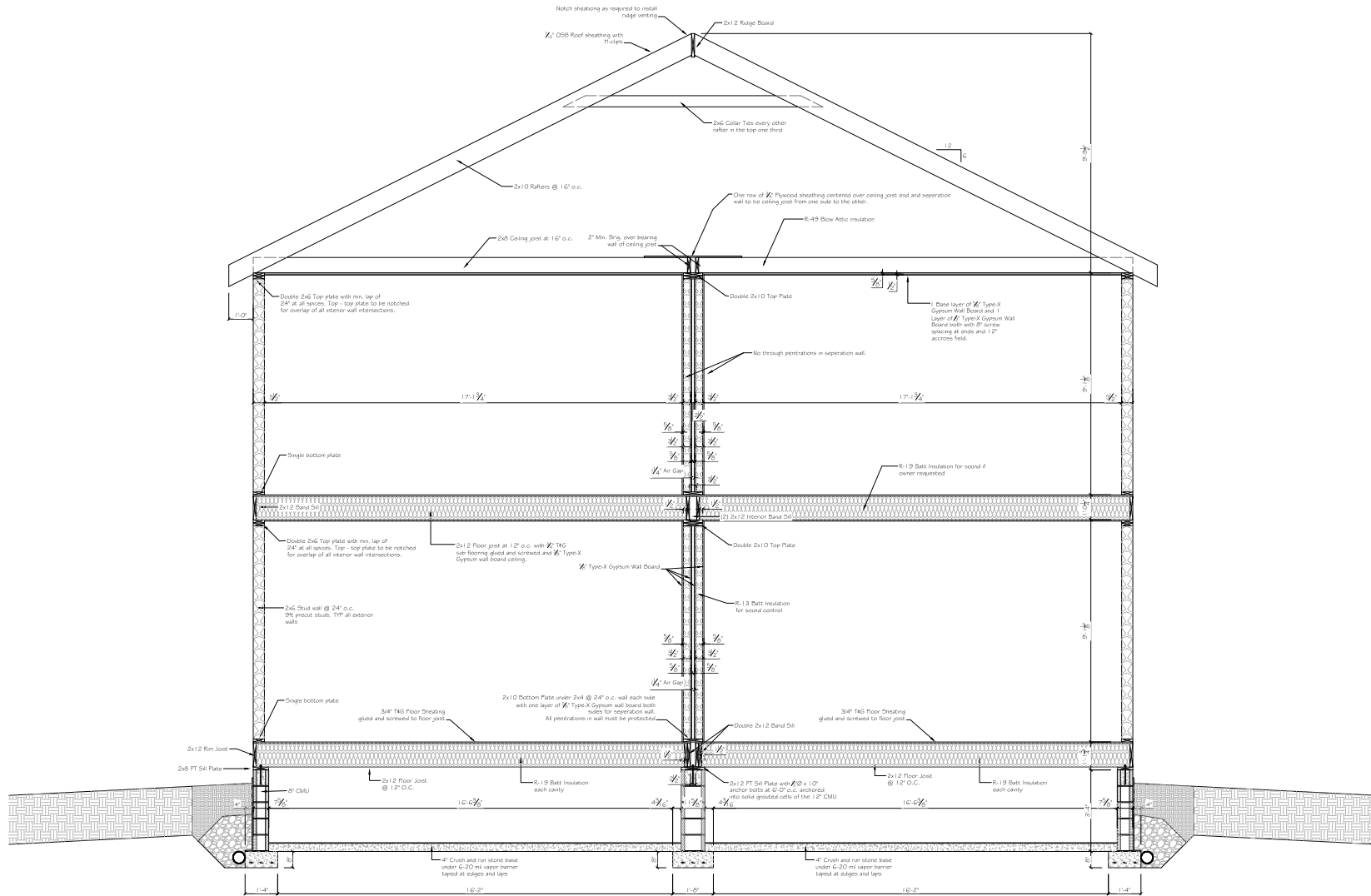
Project Name and Address	Project Number
Two Story Duplex 188 S. 1st Bath	2022-0023
	Drawing Date
	September 21, 2022
	Scale:
Contractor	See Drawing Layout
Josh Braden Braden Family Properties, LLC Cell: (866) 486-7343 Office: (866) 471-0070	Sheet Number
	<b>SP-004</b>
Drawn By: ASOF GPS	

Project Number
2022-P023
Drawing Date
September 21, 2022
Scale:
See Drawing Layout
Sheet Number
<b>SP-004</b>



Building Section Front to Back  
Scale: 1/4" = 1'-0"

Project Name and Address	Project Number
Two-story duplex 1441 S. 4th St.	1441-1443
Drawing Date	September 21, 2022
Client	Owner
Architect	Architect
Contractor	Contractor
Drawn By: ACP/SPS	Sheet Number SE-001



Building Section Left to Right  
Scale: 1/8" = 1'-0"

Project Name and Address	Project Number
Two Story Duplex 1401 S. 1st St.	1401 S. 1st St.
Drawing Date	September 21, 2022
Drawn By	SE-002
Contractor	Shawn Nusscher
Architect	Shawn Nusscher
City	Shawn Nusscher
State	Shawn Nusscher
Zip	Shawn Nusscher
Phone	Shawn Nusscher
Office	Shawn Nusscher
Drawn By	ADDF GPS