

**Meeting:** 10/18/2023  
**Project:** New Hotel  
**Applicant:** Tate Wright Elevate Architecture Studio

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## Property Information

**Location:** 427 Walnut St. **Parcel ID** 94 H L 01901  
**Zoning:** DK (Downtown Knoxville)  
**Description:**

New construction, 7-story hotel building, constructed of metal framing over a concrete podium. Property has frontage on both 427 Walnut Street and 416 Locust Street.

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## Description of Work

Level III Construction of a New Building/Structure

**SUMMARY:** Proposed new 7-story hotel building, proposed for an irregular rectangular site on the 400 blocks of Locust Street and Walnut Street. The site currently features a surface parking lot. The proposed building has frontage on both Locust and Walnut Streets.

**SITE LAYOUT AND ACCESS:** No on-site parking is provided within the proposed structure. A vehicular entrance is located on the right side of the Walnut Street elevation, providing access to an internal vehicular drive occupying the ground floor. The entrance measures approximately 26' wide and accesses a round drop-off/valet area with three parking spaces and one accessible space. One public pedestrian access point on Walnut Street is located to the left side of the elevation, accessing a space currently marked retail," with a second recessed door entering the enclosed car area. Only a secondary/service entrance is located on the Locust Street elevation; this entrance would not be accessible to the public or hotel guests.

### DESIGN ELEMENTS:

The flat roof building is clad in fiber reinforced siding of a faux-wood finish, composite metal panels in light grey, and composite metal panels in black, with a two-story brick cladding section fronting Locust Street (the west elevation).

**Walnut Street elevation:** The east elevation has a faux-wood fiber cement panel siding which extends from the ground level to the roofline on the right side and a section of metal panels on the left side. Half of the ground floor on this elevation features an automobile entry drive, with the left half as aluminum storefront windows and a full-light pedestrian entrance to the "office/retail" space within. Windows are irregularly sized, single-light, aluminum fixed windows.

**Locust Street elevation:** The west elevation features two stories of brick veneer on the bottom floors, followed by a swath of grey metal panel siding, and the upper level clad in the faux-wood fiber cement panels. The ground level features a service entrance, an overhead garage door, and a series of aluminum storefront windows. Upper level windows are irregularly sized, single-light, aluminum fixed windows, with an upper level of adjoining single-light windows. The upper two stories are recessed from the primary elevation.

Walnut Street elevation: On the east elevation, pedestrians will have to enter through the vehicular entrance and walk through the rounded drive to access a "guest entrance" at the center of the building, or enter a recessed access door and walk through the car area. The "office/retail" entrance is adjacent to the automobile access and does not connect to the rest of the hotel. Pedestrians will not be able to access the hotel on Locust Street.

South elevation: the bottom two levels are clad in brick veneer, with composite metal panels on the middle stories and faux-wood fiber reinforced siding on the upper levels. Windows are irregularly spaced, fixed aluminum.

North elevation: the bottom levels are clad in brick veneer, with composite metal panels on the middle stories and faux-wood fiber reinforced siding closer to Walnut Street and on the upper levels. Windows are irregularly spaced, fixed aluminum, with the section closest to the Langley parking garage having no fenestrations.

Revisions submitted for the October meeting include: a series of irregularly spaced, single light windows of various sizes along the ground-floor level on the south elevation; a stepback incorporated on the upper two stories of the Walnut Street elevation; an access gate added to the automobile entry on the Walnut Street elevation; one pedestrian door added to the Walnut Street elevation's retail space, and one pedestrian door added to the employee breakroom area on the Locust Street elevation.

Revisions also include signs. Signs include: on the Walnut Street elevation, an 8' by 8' (64 sq. ft.) wall sign along the roofline, and a 1'0" tall by 22'-11" name sign on the entry canopy. On the Locust Street elevation, a 1'-4" tall by 9'-11" wide wall sign is located above the second level. A blade sign is called out but location is not clarified.

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## Applicable Design Guidelines

### Downtown Design Guidelines

#### A. Public Realm

##### 1. Pedestrian and Bicycle Safety

1g. Consolidate curb-cuts and locate driveways near mid-block, when necessary; alley access should be provided for service and parking, if feasible.

##### 3. Parking Facilities

3a. Create parking garages that do not contain blank walls. Allow for future commercial uses that may not be feasible at the time of construction.

3b. Locate parking garages under structures, or provide for retail, residential or office uses that line the garage. Corner locations are preferable for commercial uses.

3g. Access to parking garages should not limit options for future development of contiguous or adjoining space, especially on corners.

##### 4. Downtown Beautification

4a. Foster downtown beautification with landscaping and plantings, public art, and public open space.

4c. Plant street trees where possible. Choose tree planting locations that will not significantly alter the setting of or harm the materials of historic buildings.

#### B. Private Realm

##### 1. Building Mass, Scale and Form

1a. Maintain a pedestrian-scaled environment from block to block.

1b. Foster air circulation and sunlight penetration around new buildings. Buildings may be designed with open space, as allowed under existing DK zoning; or buildings may be 'stepped back' on upper floors with lower floors meeting the sidewalk edge.

- 1c. Use building materials, cornice lines, signs, and awnings of a human scale in order to reduce the mass of buildings as experienced at the street level.
- 1d. Divide larger buildings into 'modules' that are similar in scale to traditional downtown buildings. Buildings should be designed with a recognizable base, middle, and top on all exposed elevations.
- 1e. Avoid blank walls along street-facing elevations.

## 2. Building Location

- 2a. Set buildings back five feet in order to provide wider sidewalk space when new construction in non-historic areas is to be more than half the length of the block.
- 2b. Consider using landscape elements to define the sidewalk edge where a building is to be set back from the sidewalk.
- 2d. Limit grade separations above or below the sidewalk, generally no more than 3 feet. Allow for clear sightlines into and out of buildings and plazas.

## 3. Building Materials

- 3a. Use complimentary materials and elements, especially next to historic buildings.

## 4. Architectural Character

- 4a. Encourage first floor uses that draw walk-in traffic; businesses that do not require pedestrian traffic should be located on other floors.
- 4b. Enhance pedestrian interest in commercial and office buildings by creating a largely transparent and consistent rhythm of entrances and windows.
- 4c. Scale first floor signs to pedestrians.
- 4d. Differentiate the architectural features of ground floors from upper floors with traditional considerations such as show-windows, transoms, friezes, and sign boards.
- 4e. Design top floors to enhance the skyline of the block through cornices and details that are harmonious with adjacent architecture.
- 4f. Encourage the use of 'green roofs' and other sustainable practices, while minimizing the visual impact from the street.

## 5. Ground Floor Doors and Windows

- 5a. Use consistent rhythm of openings, windows, doorways, and entries.
- 5b. Orient primary front entrances to the main street; secondary entrances should be clearly defined and oriented to streets or alleys, as appropriate.
- 5c. Design entrances according to the proportions of the building's height and width.
- 5d. Consider corner entrances at the ends of blocks.
- 5e. All windows at the pedestrian level should be clear
- 5f. Recess ground floor window frames and doors from the exterior building face to provide depth to the facade.

## 7. Mechanical Equipment and Service Utilities

- 7a. Minimize the visual impact of mechanical equipment through screens or recessed/ low-profile equipment.
- 7b. Do not locate units on a primary façade.
- 7c. Screen rooftop vents, heating/ cooling units and related utilities with parapet walls or other screens. Consider sound-buffering of the units as part of the design.
- 7d. Locate utility connections and service boxes on secondary walls.
- 7e. Reduce the visual impacts of trash storage and service areas by locating them at the rear of a building or off an alley, when possible.
- 7f. Screen dumpsters from view.
- 7g. Locate satellite dishes out of public view, where possible.
- 7h. Allow solar panels and other technological advances on rooftops and other unobtrusive locations. Solar panels

should not be considered on the elevations of historic buildings.

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## Comments

1. The staff recommendation and Board action in the August 2023 meeting was to postpone Certificate 8-C-23-DT, to encourage the applicant to 1) revise the ground-level elevations fronting both Locust Street and Walnut Street to meet the design guidelines and create pedestrian-oriented environments at street level; 2) meet with City Plans Review and Inspections to identify any access or zoning issues; and 3) address the potential height stepback requirement; along with any additional design comments identified by the Board. The applicant has addressed access issues on Walnut Street and incorporated a stepback. No revisions have been made to align the Locust Street entrance with the design guidelines which encourage pedestrian engagement; the Walnut Street elevation remains primarily oriented towards automobiles and drivers.
2. The building is proposed for a narrow parking lot, adjacent to the historic Daylight Building to the south and the Langley parking garage to the north. Other than the historic Daylight Building and the Pembroke Building across Union Avenue, the Walnut Street block is characterized by new construction residences and parking garages. On Locust Street, the building will adjoin the Langley garage and a surface parking garage, across the street the from historic Kendrick Place rowhouses. The blocks feature less pedestrian activity than the busiest corridors of downtown, but many users park in the various garages to access other downtown locations.
3. The application does not include on-site parking. However, almost all of the ground floor fronting Walnut Street is dedicated to automobiles, via a drive-through drop-off for hotel guests. Of the approximately 56' wide façade, half will be devoted to automobile entry and exit. Users of the hotel will either enter through a full-light pedestrian door on the left side of the façade and walk through the "covered outdoor waiting area," or walk on the auto access drive, to an entry vestibule recessed in the center of the building. Design guidelines encourage maintaining pedestrian-scaled environments from block-to-block, creating building materials and entries at a human scale to create an engaging pedestrian experience, using first-floor uses to draw walk-in traffic, and creating a transparent and consistent rhythm of entrances and windows at ground-level. The ground-level façade design fronting Walnut Street is primarily devoted to automobiles and does not meet the design guidelines.
4. City Engineering has not evaluated the driveway entry on Walnut Street, which will be approximately 125' from the entry to the Langley garage. There may be sight distance issues for cars exiting onto Walnut Street, and pedestrian safety issues crossing the sidewalk.
5. A small space marked "retail" is located on the left half of the façade, previously noted as a "rideshare drop-off" location in the June DRB workshop. Revisions include a note "ownership to engage SVN Wood Properties to identify highest and best use of space." The space is 459 sq. ft. Revisions to the retail space include one pedestrian door that opens to the street.
6. There are no public spaces on the Locust Street elevation. The elevation includes a service entry (a door with no transparency), a roll-up garage door, and a series of storefront windows opening to the employee break room. Hotel users or visitors will not be able to enter the hotel from this door. Revisions to the employee break room now incorporate a full-light storefront door to an outdoor seating area. The employee break room will not have heavy use. The ground floor elevation on Locust Street does not meet the design guidelines, as it does not contribute to the pedestrian experience, draw walk-in users, and lacks the transparency recommended to engage the street.
7. The south elevation will adjoin the residences on the rear elevation of the Walnut Building, including the basement-level residences which are currently separated from the surface parking lot by a fence and landscaping. The application lacks information on how the new hotel will engage the basement level residences. The light grey metal panel siding may have an adverse visual effect on the adjacent residences when in direct sunlight.
8. Per the DK dimensional standards (5.5.B.3.), buildings over 85' are required to incorporate a stepback a minimum

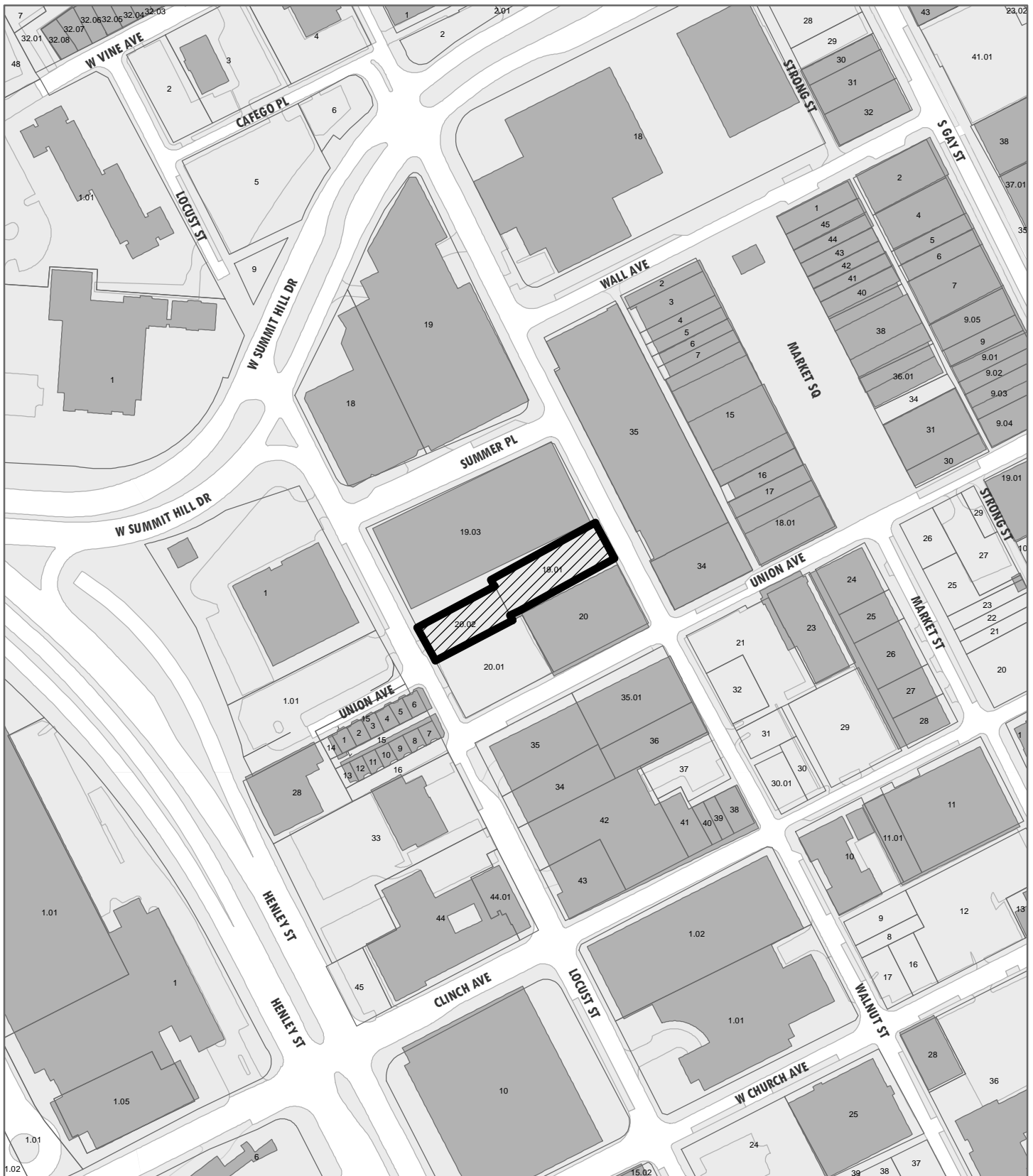
of 10' from the street-facing façade plane, which must occur above the third story and below the seventh. The revised application has addressed this element.

9. The buildings' proposed materials are common for new commercial or multi-family construction. The guidelines encourage using "complimentary materials and elements, especially next to historic buildings." The Board should discuss whether metal panels and faux-wood fiber cement are complimentary to the nearby brick masonry structures such as the Daylight Building, the Pembroke, and the Kendrick Place rowhouses. In the opinion of staff, faux-wood fiber cement is an inappropriate material within the guidelines.

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## **Recommendation**

The Board should discuss if the site conditions and the project's goals are significant enough to warrant major deviations from the design guidelines, which emphasize human-oriented design and pedestrian engagement at ground level. Pending Board decision based on the design guidelines, any approval should also be subject to the following conditions: 1) final site plan to meet City Engineering standards; 2) applicant to resubmit a substitute exterior finish material in place of the faux-wood fiber cement product; and 3) applicant to provide details on sign lighting; any internal illumination to be limited to push-through letters and logos.



**8-C-23-DT**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

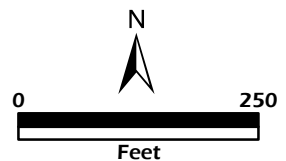
Petitioner: Tate Wright Elevate  
Architecture Studio

**DOWNTOWN  
DESIGN  
REVIEW  
BOARD**



427 Walnut St.  
Level 3: Construction of new  
building/structure

Original Print Date: 8/7/2023  
Revised:  
Knoxville/Knox County Planning · Downtown Design Review Board





# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

AC Hotel Knoxville

Applicant

July 28, 2023

August 16, 2023

8-C-23-DT

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Tate Wright

Elevate Architecture Studio

Name

Company

1775 The Exchange SE, Suite 530

Atlanta

GA

30339

Address

City

State

Zip

404.301.9592

twright@elevatearchitect.com

Phone

Email

## CURRENT PROPERTY INFO

Vector Hospitality

125 Townpark Dr NW, Ste 300, Kennesaw, GA 30144 678.852.5846

Owner Name (if different from applicant)

Owner Address

Owner Phone

416 Locust Street & 427 Walnut Street

094LH02002 & 094LH01901

Property Address

Parcel ID

Downtown Knoxville, Fire District Overlay

DK-G

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*  
Staff Signature

Lindsay Crockett

7.28.23

Please Print

Date

L Tate Wright

July 28, 2023

Applicant Signature

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: Project includes a 162 guestroom AC Hotel by Marriott on a site facing Walnut Street & Locust Street in Downtown Knoxville. The hotel will be a 7 story structure constructed out of cold-formed metal framing and precast concrete hollow core plank over a cast in place concrete podium. Parking will be valet service, off-site. Public spaces include a lobby, rooftop lounge and exterior terrace, meeting spaces, and fitness room.

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
      Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>		<b>TOTAL:</b>
250.00		
<b>FEE 2:</b>		
		250.00
<b>FEE 3:</b>		





\*\* ABOVE RENDERING IS FOR ILLUSTRATION PURPOSES ONLY

# AC HOTEL BY MARRIOTT

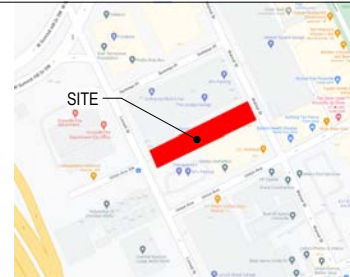
## KNOXVILLE, TN 37902

A DEVELOPMENT FOR  
**VECTOR HOSPITALITY**

DRB SUBMITTAL  
OCTOBER 18, 2023

DRAWING LIST		
NUMBER	NAME	REV/ISSUE DATE
<b>GENERAL</b>		
CS-00	COVER SHEET	•
CS-01	ARCHITECTURAL SITE PLAN	•
CS-01	SITE CONTEXT	•
<b>CIVIL</b>		
CS-02	SITE DEMOLITION PLAN	•
CS-03	OVERALL SITE LAYOUT PLAN	•
CS-03	ENLARGED SITE PLAN	•
CS-01	SITE DETAILS	•
<b>ARCHITECTURAL</b>		
A1-00	OVERALL PLAN - LEVEL 01	•
A1-01	OVERALL PLAN - LEVEL 01	•
A1-02	OVERALL PLAN - LEVELS 02-05	•
A1-03	OVERALL PLAN - LEVEL 07	•
A2-01	BUILDING ELEVATIONS	•
A2-02	BUILDING ELEVATIONS	•
A2-03	BUILDING ELEVATIONS	•
A2-04	BUILDING ELEVATIONS - ENLARGED	•
A2-10	ARCH RENDERINGS - WALNUT STREET	•
A2-11	ARCH RENDERINGS - LOCUST STREET	•
A2-01	BUILDING SECTION	•

### VICINITY MAP



### PROJECT INFORMATION

**PROJECT DESCRIPTION:**  
THIS PROJECT INCLUDES A 152 HOTEL ON A SITE LOCATED IN DOWNTOWN KNOXVILLE, TENNESSEE. FACING WALNUT STREET & LOCUST STREET, BETWEEN SUMMER PLACE AND UNION AVENUE, THE HOTEL WILL BE A 7 STORY STRUCTURE CONSTRUCTED OUT OF COLD-FORMED METAL FRAMING AND PRECAST CONCRETE HOLLOW CORE PLANK PARKING WILL BE VALET SERVICE. OFFICE, PUBLIC SPACES INCLUDE LOBBY, ROOFTOP LOUNGE & EXTERIOR TERRACE, MEETING SPACE, AND FITNESS ROOM.

THE DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF ELEVATE ARCHITECTURE STUDIO. COPIES OF THE DRAWINGS MAY BE USED ONLY BY THE OWNER TO CONSTRUCT AND OCCUPY THIS PROJECT. NEITHER THE DRAWINGS NOR THE DESIGN INDICATED ON THE DRAWINGS MAY BE REPRODUCED NOR USED FOR ANY OTHER PROJECT OR PURPOSE. ELEVATE ARCHITECTURE STUDIO ACCEPTS RESPONSIBILITY ONLY FOR THOSE DRAWINGS WHICH HAVE AN ORIGINAL SEAL, SIGNATURE, CONSTRUCTION ISSUE DATE AND DATE OF FINAL REVISIONS.

### APPLICABLE CODES

THIS PROJECT SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES (INCLUDING LOCAL AMENDMENTS):

- 2018 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL ELECTRICAL CODE
- 2017 NATIONAL ELECTRIC CODE WITH LOCAL AMENDMENTS
- 2009 ICC ANS/A117.1 ACCESSIBILITY CODE

### TEAM MEMBERS

<b>CLIENT</b> VECTOR HOSPITALITY 125 TOWNPARK DRIVE NW SUITE 300 KENNESAW, GA 30144 AMAN PATEL apatel@vectorhotels.com	<b>MEP</b> MORRISON HERSHFIELD 1455 LINCOLN PARKWAY SUITE 500 ATLANTA, GA 30346 D: 770.379.8500 SEN HECKERT (M) bheckert@morrisonhershfield.com BRIAN ELESON (E) beleson@morrisonhershfield.com CHRIS HORNBER (P) chornber@morrisonhershfield.com	<b>VOICE</b> CANNON & CANNON 8550 KINGSTON PIKE KNOXVILLE, TN 37919 D: 865.770.4013 JASON HUNT jhunt@cannon-cannon.com
<b>ARCHITECT</b> ELEVATE ARCHITECTURE STUDIO 1775 THE EXCHANGE SE SUITE 530 ATLANTA, GA 30339 D: 770.820.3953 HITESH PATEL hpatel@elevatearchitect.com	<b>INTERIORS</b> DESIGN ONE STUDIO 358 ROSWELL STREET SUITE 1250 MARIETTA, GA 30060 D: 404.266.0604 LELA RICHARDSON lela@designone-studio.com	
<b>STRUCTURAL</b> DEL VALLE + MICHEL 6265 ROSWELL ROAD SUITE 970 ATLANTA, GA 30328 D: 678.944.7274 TITO DEL VALLE tdelvalle@delvallestructural.com		

\* INDICATES CONSULTANT IS NOT UNDER CONTRACT WITH ELEVATE

REAL: \_\_\_\_\_

NOT ISSUED FOR CONSTRUCTION

ARCHITECT:  
ELEVATE ARCHITECTURE STUDIO  
1775 THE EXCHANGE SE - SUITE 530 | ATLANTA, GEORGIA 30339  
PHONE: 404.391.8882  
WWW.ELEVATEARCHITECT.COM

DEVELOPMENT:  
AC HOTELS MARRIOTT  
KNOXVILLE, TN 37902

OWNER:  
VECTOR HOSPITALITY  
125 TOWNPARK DRIVE NW SUITE 300  
KENNESAW, GA 30144

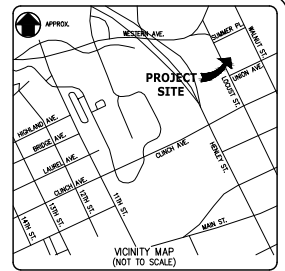
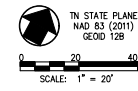
CONSULTANT:

ISSUANCES:

DATE	DESCRIPTION	BY
08/19/23	SCHEMATIC DESIGN	
08/19/23	DRB	
07/28/23	DRB	

ELEVATE PROJECT NUMBER: 22-1301  
SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:  
**CS-00**



**CONTROL POINT DATA**

CONTROL PT# 1 SET MAGNETIC NAIL N 600165.17 E 2583434.95 EL. 910.57	EXISTING BRICK NAIL N 600270.56 E 260836.12 EL. 919.63
CONTROL PT# 3 SET IOD NAIL N 600153.05 E 2583469.65 EL. 913.52	CONTROL PT# 5 SET MAGNETIC NAIL N 600154.26 E 2583829.78 EL. 927.76
CONTROL PT# 4	CONTROL PT# 4 (NOT TO SCALE)

- NOTES CONT'D:**
1. DUE TO EXISTING UTILITIES IN THE PROXIMITY TO TEMPORARY SHORING WALL, NO SOIL ANCHORING SYSTEM (I.E. SOIL NAILING) IS ALLOWED. CONTRACTOR TO REFER TO SHORING PLANS FOR TE-DOWN LOCATIONS AND SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO SHORING WALL INSTALLATION.
  2. ALL TEMPORARY SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER TO EXTEND TO THE DEPTHS NECESSARY TO PROVIDE ALL EXCAVATIONS WITH AN APPROPRIATE FACTOR OF SAFETY.
  3. EXCAVATIONS FROM DEMOLITION ARE TO BE BACKFILLED WITH SOIL OR ENGINEERED FILL IN ACCORDANCE WITH THE GEOTECHNICAL RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE A PLAN FOR DEMATERING OF EXCAVATION AREAS AND SUBMIT TO THE ARCHITECT OR ENGINEER FOR APPROVAL.
  4. TRAFFIC CONTROL PLANS REQUIRED FOR CONSTRUCTION STAGING TO BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF KNOXVILLE FOR APPROVAL.
  5. COORDINATE SIDEWALKS WITH THE CITY OF KNOXVILLE. APPROVAL REQUIRED BEFORE DEMOLITION OF EXISTING SIDEWALKS ALONG LOCUST STREET AND WALNUT STREET.
  6. CONTRACTOR SHALL ENSURE THAT LANES LOCATED IN THE CITY OF KNOXVILLE RIGHT OF WAY SHALL REMAIN OPENED AND MAY NOT BE CLOSED FOR CONSTRUCTION.

**LEGEND**

[Symbol]	EXISTING ASPHALT PAVEMENT (TO BE REMOVED)
[Symbol]	EXISTING SIDEWALK (TO BE REMOVED)
[Symbol]	EXISTING CONCRETE (TO BE REMOVED)
[Symbol]	EXIST. R.O.W.
[Symbol]	EXIST. EASEMENT LINE
[Symbol]	STORM SEWER LINE
[Symbol]	STORM SEWER LINE (TO BE REMOVED)
[Symbol]	SANITARY SEWER LINE
[Symbol]	OVERHEAD UTILITIES
[Symbol]	OVERHEAD UTILITIES (TO BE REMOVED)
[Symbol]	WATER LINE
[Symbol]	UNDERGROUND POWER
[Symbol]	UNDERGROUND TELEPHONE
[Symbol]	FENCE LINE
[Symbol]	FENCE LINE (TO BE REMOVED)
[Symbol]	UNDERGROUND GAS LINE
[Symbol]	CATCH BASIN
[Symbol]	ANCHOR WIRE (TO BE REMOVED)
[Symbol]	POWER POLE
[Symbol]	POWER POLE (TO BE REMOVED)
[Symbol]	LIGHT POLE
[Symbol]	LIGHT POLE (TO BE REMOVED)
[Symbol]	POWER EQUIPMENT
[Symbol]	POWER MANHOLE
[Symbol]	TELEPHONE MANHOLE
[Symbol]	TELEPHONE LINE RISER
[Symbol]	TELEPHONE LINE MARKER
[Symbol]	WATER VALVE
[Symbol]	FIRE HYDRANT
[Symbol]	WATER METER
[Symbol]	WELL
[Symbol]	WATER MANHOLE
[Symbol]	GAS METER
[Symbol]	GAS LINE MARKER
[Symbol]	SANITARY MANHOLE
[Symbol]	SANITARY CLEAN OUT
[Symbol]	SON
[Symbol]	MALIBOX
[Symbol]	PARKING METER
[Symbol]	EXISTING SHRUB
[Symbol]	EXISTING TREE

- NOTES:**
1. THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON AND CANNON, INC. DATED JULY 26TH, 2022.
  2. THE DISTURBED AREA IS APPROXIMATELY 0.42± ACRES. THE TOTAL SITE AREA IS APPROXIMATELY 0.39± ACRES.
  3. ABOVE GROUND AND UNDERGROUND UTILITIES AS SHOWN WERE LOCATED FROM VISIBLE FIELD EVIDENCE, UTILITY MARKINGS AND/OR DRAWINGS BY OTHERS. VERIFICATION AS TO EXISTENCE, LOCATION, SIZE, MATERIAL AND DEPTH SHOULD BE PURSUED PRIOR TO ANY DECISIONS BEING MADE RELATIVE TO UTILITIES. TO AVOID CONFLICTS AND/OR HAZARDS, NOTIFY TENNESSEE ONE CALL AT 1-800-351-1111 PRIOR TO ANY EXCAVATION OR GRADING ACTIVITIES.
  4. DURING DEMOLITION CONTRACTOR SHALL PROTECT AREA WITH CITY APPROVED SIGNAGE AND CONSTRUCTION CHAIN LINK FENCING FOR THE LIMITS OF DISTURBANCE FROM PEDESTRIAN ACCESS (REFER TO DETAILS FOR TEMPORARY CONSTRUCTION FENCING). AFTER DEMOLITION HAS BEEN COMPLETED, CONTRACTOR SHALL BACKFILL DISTURBED AREA WITH TEMPORARY STONE AND FILLING ANY HOLES.
  5. CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS REQUIRED TO PERFORM DEMOLITION WORK.
  6. CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITY PRIOR TO DEMOLITION OF EXISTING SITE UTILITIES. TERMINATION OF UTILITIES SHALL BE IN ACCORDANCE WITH THE UTILITY REQUIREMENTS. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING FIELD CONDITIONS WITH THE APPROPRIATE UTILITY.
  7. CONTRACTOR SHALL REMOVE EXISTING UTILITY SERVICES AS SHOWN. CONTRACTOR TO ENSURE ALL EXISTING CUSTOMERS IN PROJECT AREA HAVE RELOCATED AND THAT ALL TERMINATIONS SERVICES HAVE BEEN APPROVED BY THE UTILITY PROVIDERS.
  8. THE WATER AND SANITARY SEWER SERVICES SHOWN ARE BASED ON THE AVAILABLE INFORMATION PROVIDED. ADDITIONAL SERVICE LINES, WHICH ARE NOT SHOWN, MAY BE ENCOUNTERED DURING DEMOLITION. ALL SERVICES SHALL BE TERMINATED OR CAPPED IN ACCORDANCE WITH UTILITY PROVIDER GUIDELINES.
  9. CONTRACTOR SHALL REMOVE EXISTING TREES AND LANDSCAPING WITHIN LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.
  10. CONTRACTOR SHALL REMOVE ALL EXISTING ASPHALT, CONCRETE PAVING, SITE WALLS, FENCING, RAILINGS, CURBS, FOOTINGS, BOLLARDS, SIGNS, STAIRS, STAIR WALLS, AND CONCRETE SIDEWALKS WITHIN LIMITS OF DEMOLITION.
  11. CONTRACTOR SHALL PROPERLY DISPOSE OF DEMOLITION MATERIAL OFFSITE.
  12. PERMISSION TO USE TEMPORARY SHORING SHALL BE OBTAINED FROM ADJACENT PROPERTY OWNERS AND ALL SHORING SHALL BE TEMPORARY WHEN PLACED ON ADJACENT PROPERTIES.

REVISIONS	DATE

CLIENT: **VECTOR HOSPITALITY**  
800 BATTERY AVENUE, SUITE 100  
ATLANTA, GA 30339

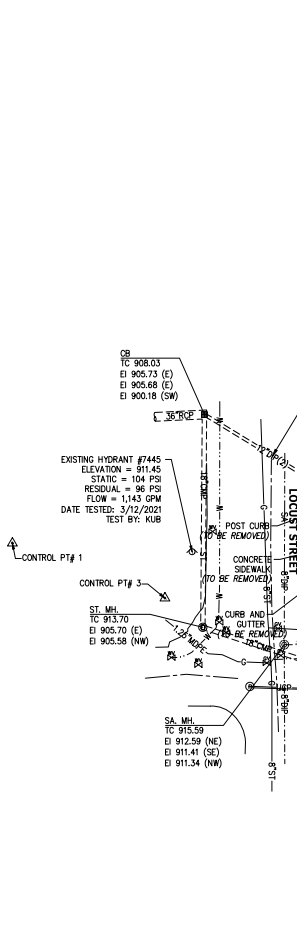
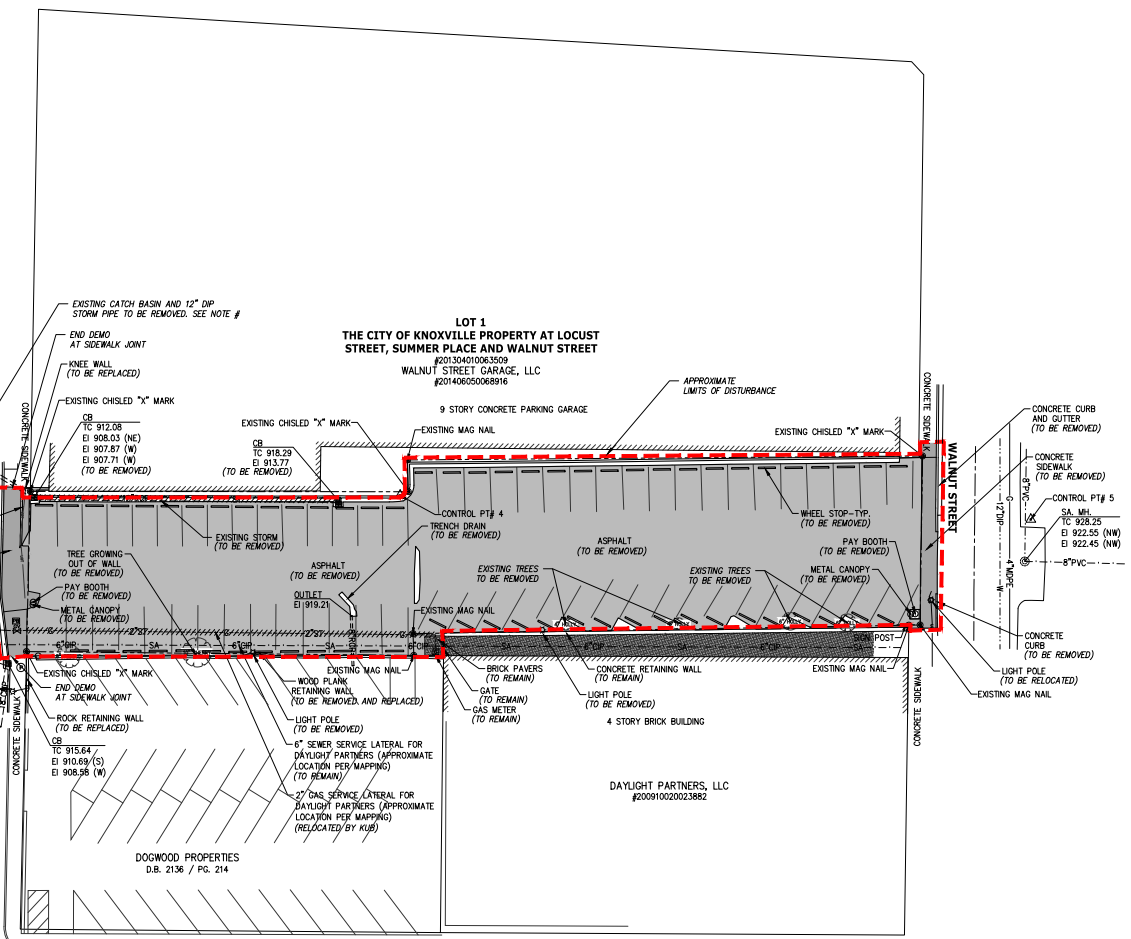
PROJECT: **AC HOTELS - MARRIOTT**  
427 WALNUT ST / 416 LOCUST ST  
KNOXVILLE, TN 37902

**SITE DEMOLITION PLAN**

CD PROJECT NO.	01703-0000
DRAWING DATE	SEPTEMBER 27, 2023
PN	JRH
PC	HED
DRAWN	JRH
CHECKED	-

DESIGN REVIEW BOARD MEETING  
10/18/2023

**C002**



**LOT 1**  
THE CITY OF KNOXVILLE PROPERTY AT LOCUST STREET, SUMMER PLACE AND WALNUT STREET  
WALNUT STREET GARAGE, LLC  
#20140603006916

9 STORY CONCRETE PARKING GARAGE

WALNUT STREET

LOCUST STREET

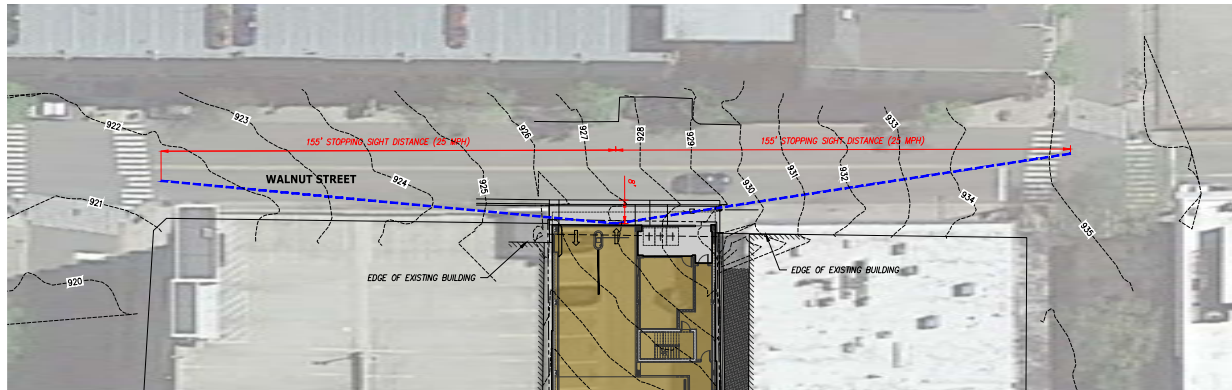
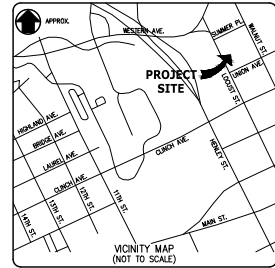
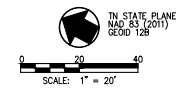
DOGWOOD PROPERTIES  
D.B. 2136 / PG. 214

DAYLIGHT PARTNERS, LLC  
#200910020023882

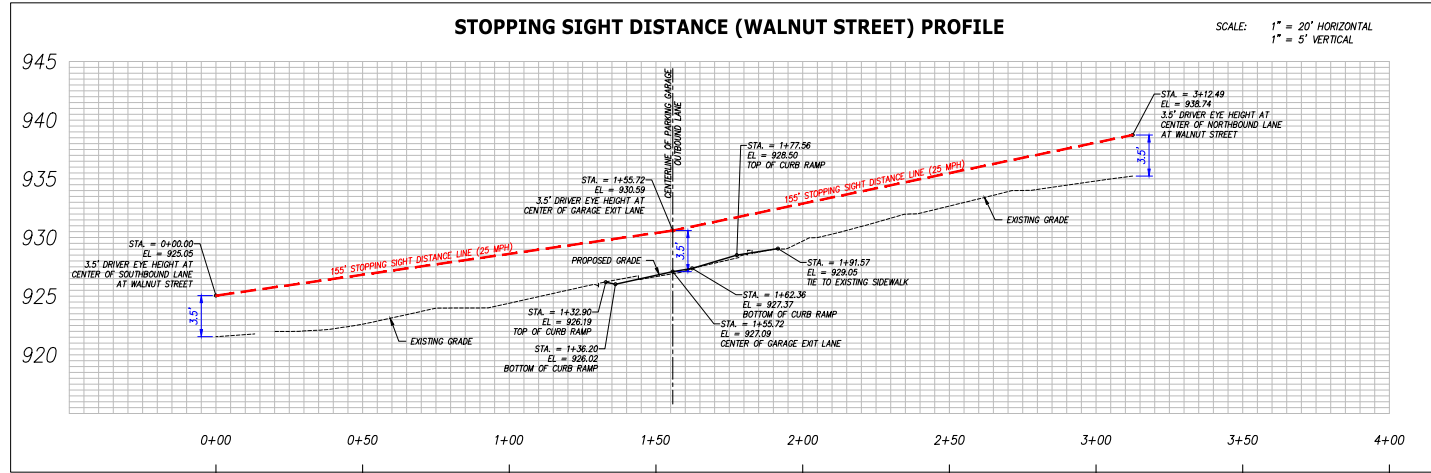




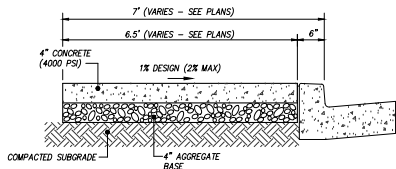




- SPECIAL NOTES:**
1. DUE TO THE URBAN NATURE OF THE PROPOSED HOTEL LOCATION, TRAFFIC EXITING THE PARKING GARAGE WILL EASE CLOSER TO THE EDGE OF TRAVEL WAY PRIOR TO ENTERING WALNUT STREET. A DISTANCE OF 8' HAS BEEN USED TO ACCOMMODATE THE DRIVER SIGHT LOCATION BASED ON THE URBAN SETTING AND BUILD TO ZONE IN THE DOWNTOWN DISTRICT.
  2. SIGNAGE OR PAVEMENT MARKINGS TO BE PROVIDED IN PARKING GARAGE TO WARN/ALERT EXISTING VEHICLES OF PEDESTRIANS.
  3. STOPPING SIGHT DISTANCE SHOWN BASED ON A DRIVEWAY CONNECTION VS A ROADWAY INTERSECTION. DISTANCES BASED ON A 25 MPH SPEED LIMIT FOR UNPOSTED STREET IN CITY OF KNOXVILLE.



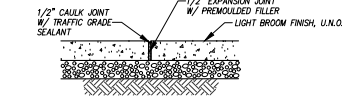
REVISIONS	DATE								
CLIENT:	<b>VECTOR HOSPITALITY</b> 800 BATTERY AVENUE, SUITE 100 ATLANTA, GA 30339								
PROJECT:	<b>AC HOTELS - MARRIOTT</b> 427 WALNUT ST / 416 LOCUST ST KNOXVILLE, TN 37902								
<b>SIGHT DISTANCE</b>									
GCI PROJECT NO. 01703-0000									
DRAWING DATE: SEPTEMBER 27, 2023									
DESIGN REVIEW	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%; border-bottom: 1px solid black;">PN</td> <td style="width: 25%; border-bottom: 1px solid black;">JRH</td> <td style="width: 25%; border-bottom: 1px solid black;">PC</td> <td style="width: 25%; border-bottom: 1px solid black;">HED</td> </tr> <tr> <td style="border-bottom: 1px solid black;">DRAWN</td> <td style="border-bottom: 1px solid black;">JRH</td> <td style="border-bottom: 1px solid black;">CHECKED</td> <td style="border-bottom: 1px solid black;">-</td> </tr> </table>	PN	JRH	PC	HED	DRAWN	JRH	CHECKED	-
PN	JRH	PC	HED						
DRAWN	JRH	CHECKED	-						
BOARD MEETING 10/18/2023									
C104									



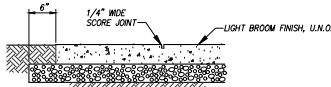
**SIDEWALK WITHIN R.O.W.**

- NOTES:**
- WHERE NECESSARY TO REMOVE PARTS OF EXISTING SIDEWALKS OR RAMPS, THE RESULTING EDGES SHALL BE CUT TO A NEAT LINE, AND ANY OFFSETS IN SUCH LINES SHALL BE MADE AT RIGHT ANGLES.
  - MINERAL AGGREGATE BASE SHALL BE CRUSHED STONE, CLASS "A" AGGREGATE, GRADING "D".
  - PREFORMED EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 20' O.C. AND WHERE THE SIDEWALK IS IN CONTACT WITH STREET RETURNS, ON BUILDING LINES, WHERE WALKS LEAD TO BUILDING ENTRANCES, AT FIXED OBJECTS AND OTHER LOCATIONS WHERE STRESSES MAY DEVELOP.
  - EQUALLY SPACE CONTRACTION JOINTS AT 5' O.C. (MAX.) BETWEEN EXPANSION JOINTS.
  - SIDEWALK SHALL BE SLOPED AWAY FROM BUILDING, CONCRETE SURFACE TO BE MEDIUM BROOM FINISH WITH A 4" TOOLED EDGE AND JOINT.
  - SIDEWALKS WHICH DO NOT MEET ADA STANDARDS WITH REGARD TO RUNNING SLOPE AND CROSS SLOPES WILL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
  - REFERENCE CITY OF KNOXVILLE STANDARD DETAIL COK-06.

**01 CONCRETE PAVEMENT SECTION**  
N.T.S.



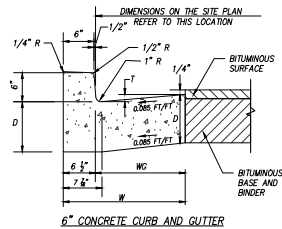
**EXPANSION JOINT**



**CONTRACTION JOINT**

- NOTES:**
- SEE SIDEWALK DETAIL FOR NOTES AND DIMENSIONS.

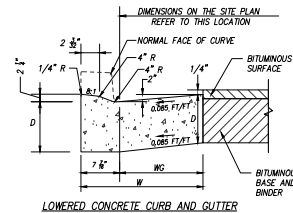
**02 SIDEWALK CONTROL JOINTS**  
N.T.S.



**6" CONCRETE CURB AND GUTTER**

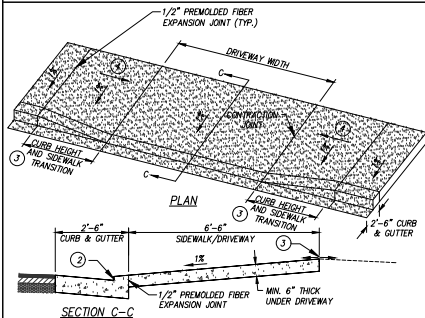
CONCRETE CURB AND GUTTER TABLE			
TYPE	TOTAL WIDTH (W) IN INCHES	WIDTH OF GUTTER (WG) IN INCHES	VERTICAL DROP (T) IN INCHES
6-30	30	22 1/2	2

**03 CONCRETE CURB AND GUTTER**  
N.T.S.



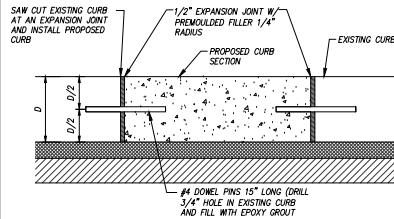
**LOWERED CONCRETE CURB AND GUTTER**

- GENERAL NOTES:**
- FOR SPECIFICATIONS, SEE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT), SECTION 702 - CEMENT CONCRETE CURB, GUTTER, AND COMBINED CURB AND GUTTER.
  - THE FRONT FACE OF THE CONCRETE CURBS FOR ALL DEGREES OF CURVATURE SHALL CONFORM TO THE CONTOUR OF THE CURVE AND NO CHORD SECTIONS WILL BE PERMITTED.
  - CONCRETE EXPANSION JOINT MATERIAL IS TO BE 3" PREMOULDED FIBER IN ACCORDANCE WITH TDOT SECTION 805 - JOINT MATERIALS OF THE STANDARD SPECIFICATIONS.
  - EXPANSION JOINTS ARE TO BE FLALED AS FOLLOWS:
    - TANGENT POINTS OF CIRCULAR CURVES
    - BETWEEN CURBS AND ABUTTING RIGID OBJECTS
    - AT OTHER PLACES WHERE STRESSES MAY DEVELOP
    - SO AS TO LINE UP WITH PAVEMENT JOINTS WHERE THE ADJACENT PAVEMENT IS CONCRETE
    - MAXIMUM SPACING IS TO BE 100 FEET
    - CONTRACTION JOINTS ARE TO BE SPACED AT 10 FEET, THE SPACING OF 10 FEET MAY BE REDUCED FOR CLOSURES, BUT NOT LESS THAN 6 FEET.
    - EDGES OF JOINTS SHALL BE FINISHED ON ONE-QUARTER INCH RADIUS.
  - REFERENCE TDOT STANDARD DRAWING RP-VG-11 FOR ADDITIONAL INFORMATION.
  - CONTRACTOR TO ADJUST GUTTER SLOPE TO TRANSITION TO REVERSE GUTTER WHERE APPLICABLE.



- NOTES:**
- REFERENCE TDOT STANDARD DRAWING RP-D-16 FOR ALL FINAL DIMENSIONS AND CONSTRUCTION DETAILS.
  - HEIGHT OF LOWERED CURB SHALL BE 2.25 INCHES.
  - ALGEBRAIC DIFFERENCE NOT TO EXCEED 10.0%
  - THE SLOPE OF THE SIDEWALK AND/OR CURB HEIGHT TRANSITION VARIES TO A MAXIMUM OF 8.33% LENGTH OF TRANSITION IS RELATIVE TO THE LONGITUDINAL ROADWAY GRADE.

**04 LOWERED CONCRETE DRIVEWAY**  
N.T.S.



**05 CONCRETE CURB CONNECTION**  
N.T.S.

REVISIONS	DATE								
<b>CANNON-CANNON</b>									
CLIENT:	<b>VECTOR HOSPITALITY</b> 800 BATTERY AVENUE, SUITE 100 ATLANTA, GA 30339								
PROJECT:	<b>AC HOTELS - MARRIOTT</b> 427 WALNUT ST / 416 LOCUST ST KNOXVILLE, TN 37902								
<b>SITE DETAILS</b>									
DESIGN REVIEW BOARD MEETING 10/18/2023	<table border="1"> <tr> <td>CCJ PROJECT NO.</td> <td>01703-0000</td> </tr> <tr> <td>DRAWING DATE</td> <td>SEPTEMBER 27, 2023</td> </tr> <tr> <td>PN</td> <td>JRH HED</td> </tr> <tr> <td>DRWN</td> <td>JRH CHECKED -</td> </tr> </table> <p style="text-align: center; font-size: 24pt;"><b>C201</b></p>	CCJ PROJECT NO.	01703-0000	DRAWING DATE	SEPTEMBER 27, 2023	PN	JRH HED	DRWN	JRH CHECKED -
CCJ PROJECT NO.	01703-0000								
DRAWING DATE	SEPTEMBER 27, 2023								
PN	JRH HED								
DRWN	JRH CHECKED -								



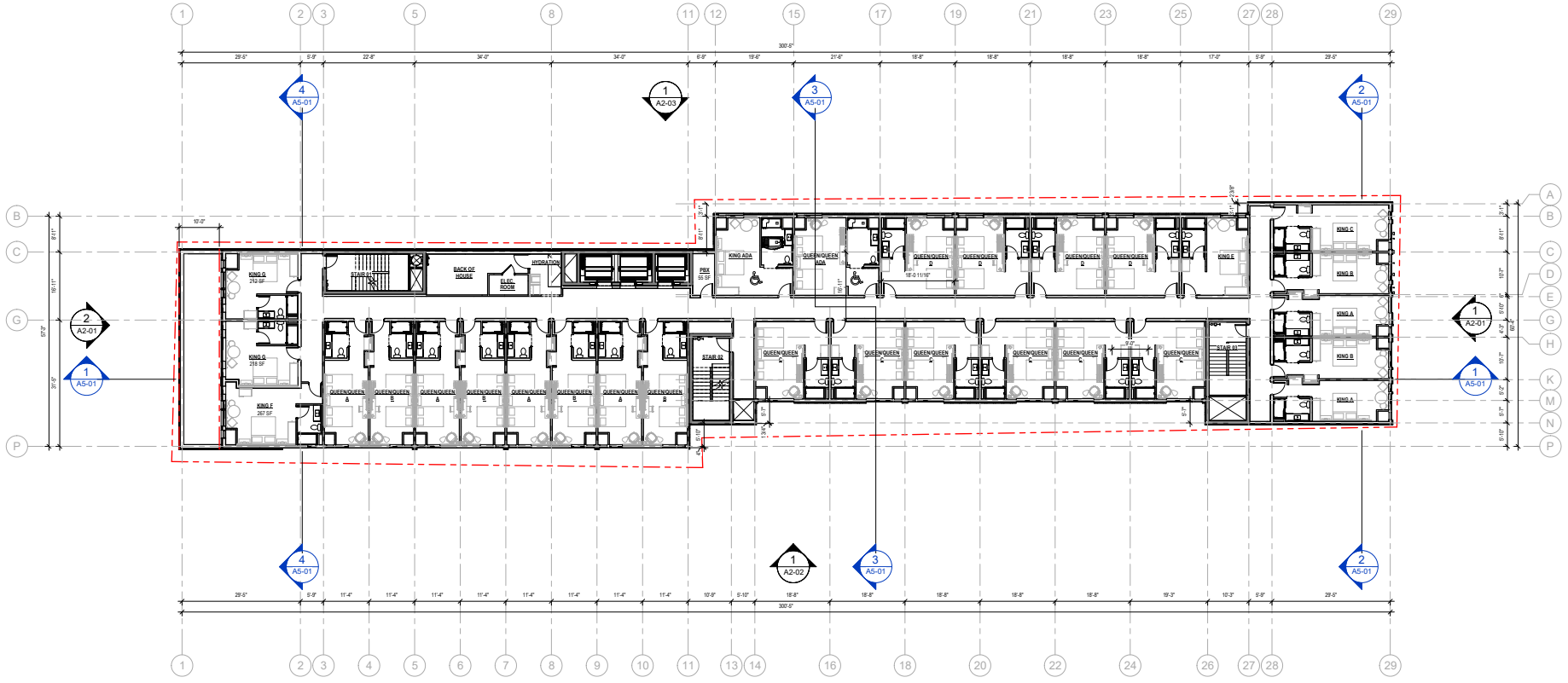












1 OVERALL PLAN - LEVEL 06  
SCALE: 3/32" = 1'-0"

LEGEND	
	DMU WALL
	CAST-IN-PLACE CONCRETE WALL
	ROOM NUMBER
	ROOM TYPE
	LOCATION OF ENLARGED ROOM PLANS, RCP, ELECTRICAL PANELS, AND INTERIOR ELEVATION REFERENCES
	WALL PARTITION
	DOOR CALLOUT
	WINDOW TYPE CALLOUT
	STOREFRONT TYPE CALLOUT
	FIRE EXTINGUISHER CABINET - SURFACE MOUNT
	FIRE EXTINGUISHER CABINET - SEMI-RECESSED
	FIRE EXTINGUISHER CABINET - RECESSED

GENERAL NOTES	
1.	REFER TO A4 SERIES FOR ENLARGED ROOM PLANS, INTERIOR DOOR TYPES AND LOCATIONS, ROOM RCP, FINISH, PLAN, AND ELECTRICAL PLAN.
2.	REFER TO G4 SERIES FOR WALL AND FLOORING ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
3.	REFER TO A8 SERIES FOR DOOR SCHEDULES, LEGENDS, AND DETAILS.
4.	ALL SLOPES TO BE 1/4" O.D.
5.	REFER TO INTERIOR DRAWINGS FOR AMENITY LIGHTING AND FINISH SPECIFICATIONS.
6.	REFER TO INTERIOR DESIGN DRAWINGS FOR CONDITIONED CORRIDOR FINISHES. REFER TO A4 SERIES BUILDING AND WALL SECTIONS FOR FINISHES.
7.	CONTROL JOINTS IN CORRIDOR CEILING TO BE 30'-0" O.C. MAX. PROVIDE JOINTS BEGINNING AT CORRIDOR INTERSECTIONS UNLESS NOTED OTHERWISE.
8.	DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4'-0" CLEAR FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.

NOT ISSUED FOR CONSTRUCTION

ARCHITECT:

**ELEVATE** Architecture

1775 THE EXCHANGE SE - SUITE 300 - ATLANTA, GEORGIA 30339  
PHONE: 404.594.8882  
WWW.ELEVATEARCHITECT.COM

DEVELOPER:

**AC HOTELS MARRIOTT**

KNOXVILLE, TN 37902

OWNER:

**VECTOR HOSPITALITY**

125 TOWNPARK DRIVE NW  
SUITE 300  
KENNESAW, GA 30144

CONSULTANT:

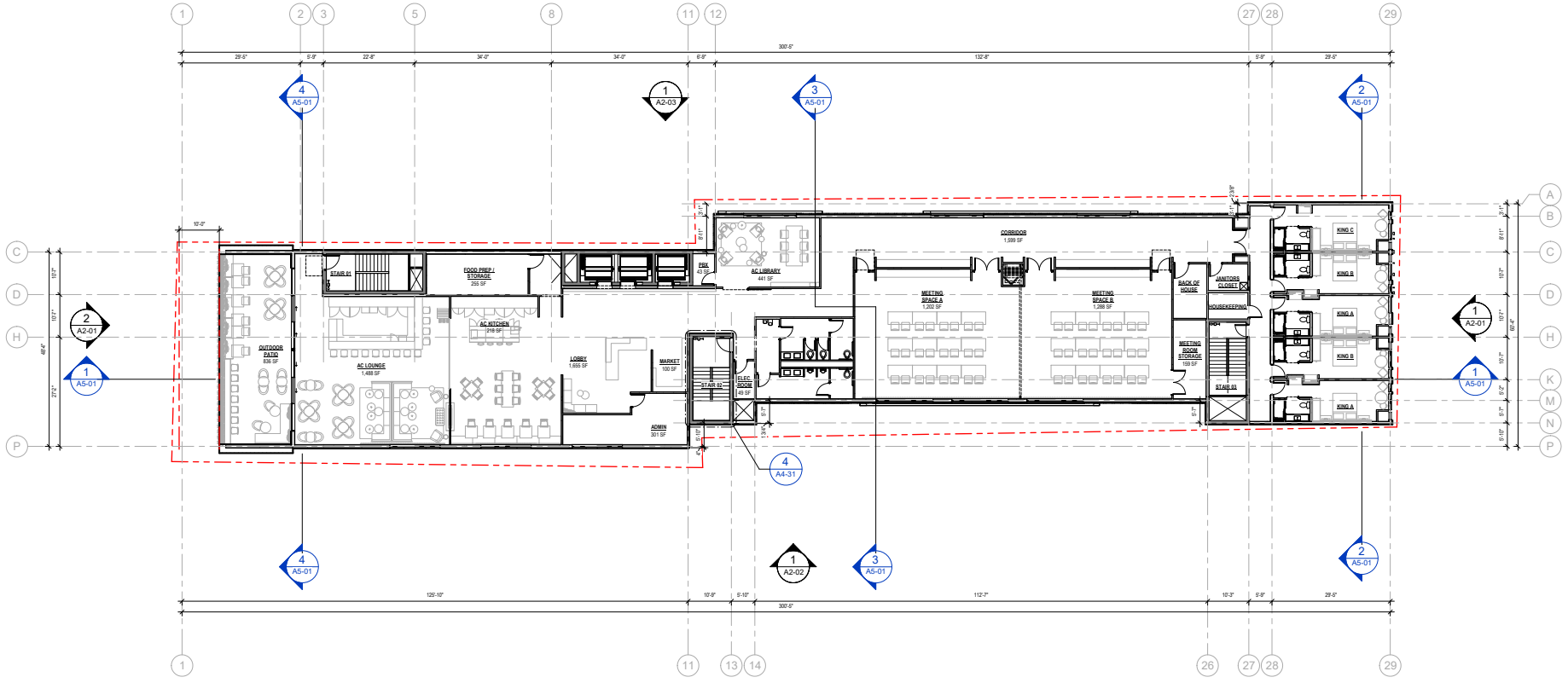
ISSUANCES	NO.	DESCRIPTION	DATE
08/21/23	01	SCHEMATIC DESIGN	
10/19/23	02	DRB	

ELEVATE PROJECT NUMBER: 22-1301  
SHEET TITLE:

**OVERALL PLAN - LEVEL 06**

SHEET NUMBER:

**A1-06**



1 OVERALL PLAN - LEVEL 07  
SCALE: 3/32" = 1'-0"

LEGEND	
	CMU WALL
	CAST-IN-PLACE CONCRETE WALL
	ROOM NUMBER
	ROOM TYPE
	LOCATION OF ENLARGED ROOM PLANS, RCP, ELECTRICAL PANELS AND EXTERIOR ELEVATION REFERENCES
	WALL PARTITION
	DOOR CALLOUT
	WINDOW TYPE CALLOUT
	STOREFRONT TYPE CALLOUT
	FIRE EXTINGUISHER CABINET - SURFACE MOUNT
	FIRE EXTINGUISHER CABINET - SEMI-RECESSED
	FIRE EXTINGUISHER CABINET - RECESSED

GENERAL NOTES	
1.	REFER TO A3 SERIES FOR ENLARGED ROOM PLANS, INTERIOR DOOR TYPES AND LOCATIONS, ROOM RCP, FINISH PLAN AND ELECTRICAL PLAN.
2.	REFER TO C6 SERIES FOR WALL AND FLOORING ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
3.	REFER TO A8 SERIES FOR DOOR SCHEDULES, LEGENDS, AND DETAILS.
4.	ALL SLOPES TO BE 1/4" = 1'-0".
5.	REFER TO INTERIOR DRAWINGS FOR AMENITY LIGHTING AND FINISH SPECIFICATIONS.
6.	REFER TO INTERIOR DESIGN DRAWINGS FOR CONDITIONED CORRIDOR FINISHES. REFER TO A5 SERIES BUILDING AND WALL SECTIONS FOR FINISHES.
7.	CONTROL JOINTS IN CORRIDOR CEILING TO BE 30'-0" O.C. MAX. PROVIDE JOINTS BEGINNING AT CORRIDOR INTERSECTIONS UNLESS NOTED OTHERWISE.
8.	DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MEPOINT OF WALL OR 4'-0" CLEAR FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.

NOT ISSUED FOR CONSTRUCTION

ARCHITECT:  
  
 1775 THE EXCHANGE SE - SUITE 300 - ATLANTA, GEORGIA 30339  
 PHONE: 404.594.8882  
 WWW.ELEVATEARCHITECT.COM

DEVELOPER:  
  
 KNOXVILLE, TN 37902

OWNER:  
  
 125 TOWNPARK DRIVE NW  
 SUITE 300  
 KENNESAW, GA 30144


CONSULTANT:

ISSUANCE	DATE	DESCRIPTION	BY
02/21/23		SCHEMATIC DESIGN	
02/16/23		DRB	
02/02/23		DRB	


ELEVATE PROJECT NUMBER: 22-1301  
 SHEET TITLE:  
**OVERALL PLAN - LEVEL 07**  
 SHEET NUMBER:  
**A1-07**



NOT ISSUED FOR CONSTRUCTION

ARCHITECT:  
  
 1775 THE EXCHANGE SE SUITE 300 ATLANTA, GEORGIA 30339  
 PHONE: 404.594.8882  
 WWW.ELEVATEARCHITECT.COM

DEVELOPMENT:  
  
 KNOXVILLE, TN 37902

OWNER:  
  
 125 TOWNPARK DRIVE NW SUITE 300 KENNESAW, GA 30144

CONSULTANT:

ISSUANCE	DATE	DESCRIPTION	BY
08/21/23		SCHEMATIC DESIGN	
08/16/23		DRB	
07/26/23		DRB	


ELEVATE PROJECT NUMBER: 22-1301  
 SHEET TITLE:

BUILDING ELEVATIONS

SHEET NUMBER:  
**A2-02**



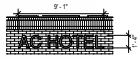
1 SOUTH ELEVATION  
 SCALE: 3/32" = 1'-0"

EXTERIOR FINISHES		KEY PLAN	
TAG	DESCRIPTION	COLOR / FINISH	
BR-1	BRICK VENEER	DARK GRAY	
WS-1	FIBER REINFORCED SIDING	WOOD, AGED TEAK	
MP-1	COMPOSITE METAL PANEL	LIGHT GRAY - MATTE FINISH	
MP-2	COMPOSITE METAL PANEL	BLACK - MATTE FINISH	
SF-1	ALUMINUM STORFRONT	CLEAR GLAZING	
AL-1	ALUMINUM FIXED WINDOWS	BLACK FRAMES	
FD-1	SLIDING GLASS WALL		
FD-2	OVERHEAD SERVICE DOOR		
LV-1	VTAC LOUVERS		
CA-1	PREFABRICATED ALUMINUM CANOPY	BLACK	

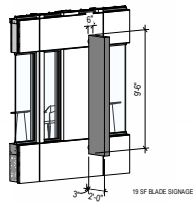




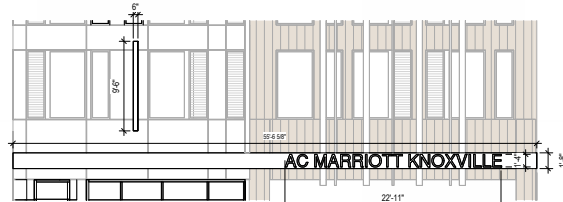




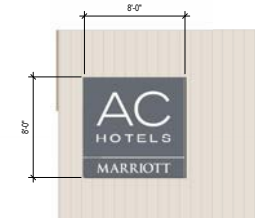
6 SG-4  
SCALE: 3/16" = 1'-0"



5 SG-3 BLADE SIGNAGE  
SCALE: 3/16" = 1'-0"



4 SG-2 ENTRY CANOPY  
SCALE: 3/16" = 1'-0"



3 SG-1 64 SF ATTACHED SIGN  
SCALE: 1/4" = 1'-0"

**BLANK WALL**  
MAX. 20 LINEAR FEET BETWEEN FENESTRATION, DOORS, OR DECORATIVE ELEMENTS REQUIRED.

**FENESTRATION DESIGN - LEVEL 07**  
TOTAL WALL AREA: 1,133 SF  
TOTAL FENESTRATION AREA: 349 SF  
FENESTRATION PROVIDED = 30.8%  
MIN. FENESTRATION REQUIRED: 25% / 284 SF

**FENESTRATION DESIGN - LEVEL 05**  
TOTAL WALL AREA: 997 SF  
TOTAL FENESTRATION AREA: 199 SF  
FENESTRATION PROVIDED = 20.0%  
MIN. FENESTRATION REQUIRED: 25% / 155 SF

**FENESTRATION DESIGN - LEVEL 04**  
TOTAL WALL AREA: 498 SF  
TOTAL FENESTRATION AREA: 150 SF  
FENESTRATION PROVIDED = 30%  
MIN. FENESTRATION REQUIRED: 25% / 125 SF

**FENESTRATION DESIGN - LEVEL 04**  
TOTAL WALL AREA: 498 SF  
TOTAL FENESTRATION AREA: 150 SF  
FENESTRATION PROVIDED = 30%  
MIN. FENESTRATION REQUIRED: 25% / 125 SF

**FENESTRATION DESIGN - LEVEL 03**  
TOTAL WALL AREA: 498 SF  
TOTAL FENESTRATION AREA: 150 SF  
FENESTRATION PROVIDED = 30%  
MIN. FENESTRATION REQUIRED: 25% / 125 SF

**FENESTRATION DESIGN - LEVEL 02**  
TOTAL WALL AREA: 498 SF  
TOTAL FENESTRATION AREA: 150 SF  
FENESTRATION PROVIDED = 30%  
MIN. FENESTRATION REQUIRED: 25% / 125 SF

**FENESTRATION DESIGN - LEVEL 01**  
TOTAL WALL AREA: 330 SF  
TOTAL FENESTRATION AREA: 212 SF  
MIN. FENESTRATION PROVIDED = 64.5%  
MIN. FENESTRATION REQUIRED: 25% / 125 SF

**FENESTRATION DESIGN - LEVEL B1**  
TOTAL WALL AREA: 779 SF  
TOTAL FENESTRATION AREA: 349 SF  
FENESTRATION PROVIDED = 44.8%  
MIN. FENESTRATION REQUIRED: 25% / 233 SF

**RETAIL ENTRY - LEVEL B1**  
MIN. 1 EVERY 50 FT REQUIRED  
2 ENTRANCES PROVIDED



2 LOCUST STREET ELEVATION  
SCALE: 3/16" = 1'-0"

**BLANK WALL**  
MAX. 20 LINEAR FEET BETWEEN FENESTRATION, DOORS, OR DECORATIVE ELEMENTS REQUIRED.

**FRONT FACADE SIGNAGE**  
TOTAL WALL AREA: 4,012 SF  
TOTAL SIGNAGE AREA: 121  
ATTACHED SIGNAGE PROVIDED = 2.8%  
MAX SIGN AREA REQUIRED: 10%

**FENESTRATION DESIGN - LEVEL 07**  
TOTAL WALL AREA: 800 SF  
TOTAL FENESTRATION AREA: 221 SF  
FENESTRATION PROVIDED = 27.6%  
MIN. FENESTRATION REQUIRED: 25% / 220 SF

**FENESTRATION DESIGN - LEVEL 06**  
TOTAL WALL AREA: 607 SF  
TOTAL FENESTRATION AREA: 201 SF  
FENESTRATION PROVIDED = 33%  
MIN. FENESTRATION REQUIRED: 25% / 167 SF

**FENESTRATION DESIGN - LEVEL 05**  
TOTAL WALL AREA: 598 SF  
TOTAL FENESTRATION AREA: 170 SF  
FENESTRATION PROVIDED = 28.4%  
MIN. FENESTRATION REQUIRED: 25% / 139 SF

**FENESTRATION DESIGN - LEVEL 04**  
TOTAL WALL AREA: 598 SF  
TOTAL FENESTRATION AREA: 175 SF  
FENESTRATION PROVIDED = 29.3%  
MIN. FENESTRATION REQUIRED: 25% / 139 SF

**FENESTRATION DESIGN - LEVEL 03**  
TOTAL WALL AREA: 598 SF  
TOTAL FENESTRATION AREA: 175 SF  
FENESTRATION PROVIDED = 29.3%  
MIN. FENESTRATION REQUIRED: 25% / 139 SF

**FENESTRATION DESIGN - LEVEL 02**  
TOTAL WALL AREA: 598 SF  
TOTAL FENESTRATION AREA: 164 SF  
FENESTRATION PROVIDED = 27.4%  
MIN. FENESTRATION REQUIRED: 25% / 139 SF

**FENESTRATION DESIGN - LEVEL 01**  
TOTAL WALL AREA: 1,029 SF  
TOTAL FENESTRATION AREA: 436 SF  
FENESTRATION PROVIDED = 42.4%  
MIN. FENESTRATION REQUIRED: 25%



1 WALNUT STREET - FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

REAL: NOT ISSUED FOR CONSTRUCTION

PROJECT: **ELEVATE**  
1779 THE EXCHANGE SE - 1, SUITE 300 | ATLANTA, GEORGIA 30339  
PHONE: 404.591.8882  
WWW.ELEVATEARCHITECT.COM

DEVELOPER: **AC HOTELS MARRIOTT**  
KNOXVILLE, TN 37902

OWNER: **VECTOR HOSPITALITY**  
125 TOWNPARK DRIVE NW  
SUITE 300  
KENNESAW, GA 30144

CONSULTANT:

ISSUANCES:

NO.	DESCRIPTION	DATE
08/21/23	SCHEMATIC DESIGN	
08/16/23	DRB	
07/28/23	DRB	

ELEVATE PROJECT NUMBER: 22-1301

SHEET TITLE:

**BUILDING ELEVATIONS - ENLARGED**

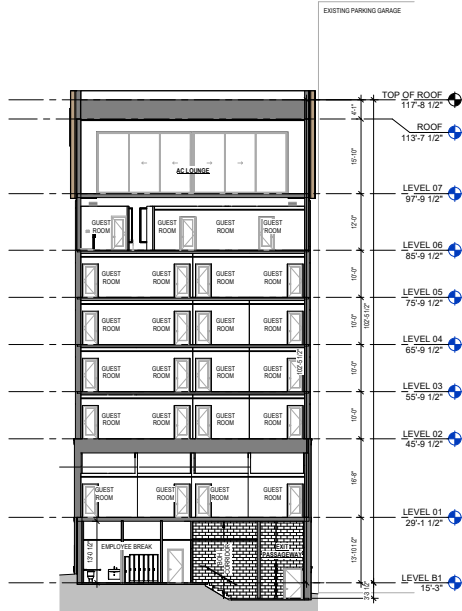
SHEET NUMBER:

**A2-05**

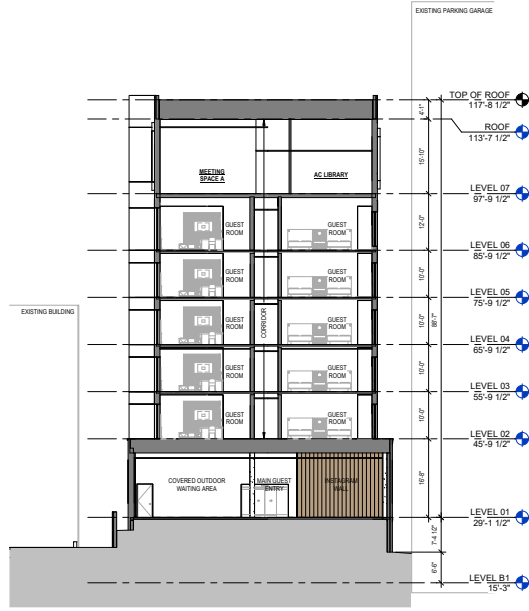








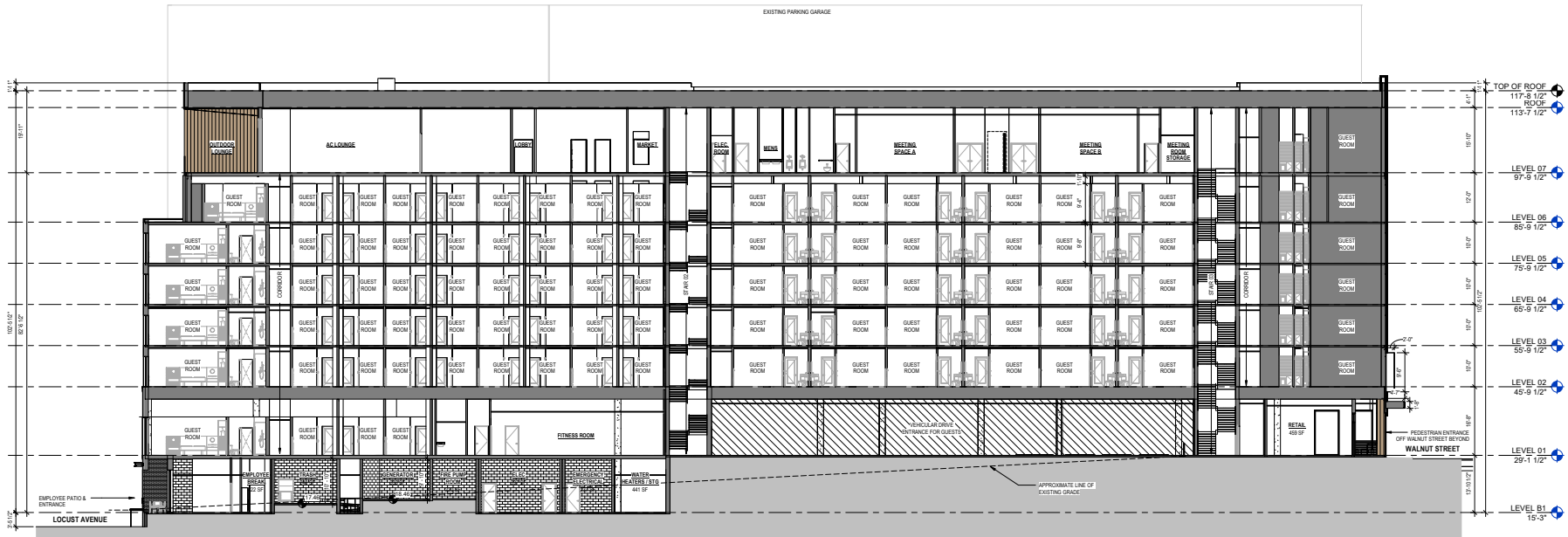
4 BUILDING SECTION D  
SCALE: 3/32" = 1'-0"



3 BUILDING SECTION C  
SCALE: 3/32" = 1'-0"



2 BUILDING SECTION B  
SCALE: 3/32" = 1'-0"



1 BUILDING SECTION A  
SCALE: 3/32" = 1'-0"

REAL: NOT ISSUED FOR CONSTRUCTION

ARCHITECT: **ELEVATE** ARCHITECTURE

1778 THE EXCHANGE SE | SUITE 300 | ATLANTA, GEORGIA 30339  
PHONE: 404.594.8882  
WWW.ELEVATEARCHITECT.COM

DEVELOPER: **AC HOTELS MARRIOTT**

KNOXVILLE, TN 37902

OWNER: **VECTOR HOSPITALITY**

125 TOWNPARK DRIVE NW  
SUITE 300  
KENNESAW, GA 30144

CONSULTANT:

ISSUANCES:	NO.	DESCRIPTION	DATE
	02/21/23	SCHEMATIC DESIGN	
	08/16/23	DRB	
	03/02/24	DRB	

ELEVATE PROJECT NUMBER: 22-1301  
SHEET TITLE: **BUILDING SECTIONS**

SHEET NUMBER: **A5-01**

## Matthew Thackery

Vice President, Design & Project Management  
Global Design, US & Canada

7750 Wisconsin Ave, Bethesda, MD 20814  
(301) 380-6382 office (240) 566-6132 mobile  
Matthew.Thackery@marriott.com



RE: DRB - 8-C-23-DT  
AC Hotel by Marriott  
Knoxville, Tennessee

To Whom It May Concern:

I am writing on behalf of Marriott International to express our support for the proposed exterior design of the AC Hotel in Downtown Knoxville, as well as the utilization of approved materials, particularly the inclusion of the Nichiha products. The proposed design aligns well with the Brand's standards, contributing positively to the overall guest experience. The combination of architectural elements and the use of high-quality materials, including the incorporation of Nichiha, architectural metal panel, and brick showcases a sophisticated and contemporary aesthetic that resonates with the AC Hotels brand.

Furthermore, we encourage the incorporation of architectural lighting across the façade to accentuate the building and its entryways. It is important to note that the utilization of "multi-colored" LED lighting does not align with the AC Hotel design guidelines. We would like to see a uniform color temperature ranging from 2700K to 5000K, ensuring the use of white LED lighting remains consistent.

In conversation with ELEVATE Architecture Studio, we evaluated the guest experience within the basement level of the hotel. We feel it is important to bring up our concerns regarding guest access through a service corridor. Marriott International places great emphasis on creating exceptional guest experiences that are both seamless and comfortable. Accessing the hotel through the basement level, particularly one that houses service areas, will impact the overall guest impression and satisfaction. While we understand that operational logistics sometimes require specific pathways, we would like to highlight some reasons why guest access through the basement level is discouraged for reasons other than emergency egress:

1. **\*\*Guest Experience:\*\*** The initial impression a guest forms upon arrival greatly influences their overall perception of the hotel. Navigating through service areas, mechanical rooms, or storage spaces does not align with the warm and welcoming environment that Marriott properties strive to provide.
2. **\*\*Safety and Security:\*\*** The basement level is typically associated with back of house aspects of the hotel and may have limited visibility or security measures in place. Directing guests through these areas could potentially compromise their safety and security.



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3. **Aesthetic Appeal:** Marriott places significant importance on aesthetics and creating a visually appealing environment for guests. Service areas in the basement are not typically designed to be guest-facing, and the presence of equipment, storage, and infrastructure might detract from the desired ambiance.

4. **Brand Perception:** The perception of the brand is largely shaped by the experiences guests have during their stay. To maintain the high standards that Marriott is known for, it is crucial to uphold consistent practices that align with our brand's values and principles.

Should you require any further support or assistance regarding the exterior design or any other aspect of the Hotel, please do not hesitate to reach out to us.

Best regards,

A handwritten signature in black ink that reads "Matthew Thackery". The signature is written in a cursive, flowing style.

