

Meeting: 10/18/2023
Project: Stuart Building
Applicant: Tyler Goza Design Innovation Architects

Property Information

Location: 709 Market St. **Parcel ID** 94 L G 033
Zoning: DK (Downtown Knoxville)
Description:

Three-story, flat-roof, brick masonry building with a recessed corner entry and limestone details such as lintels, a water table, and an archway.

Description of Work

Level I Minor Alteration of an Existing Building/Structure

Exterior rehabilitation project to include window replacement, removal of exterior steel balcony and stair, replacement of existing gutters and downspouts, and masonry repair and tuckpointing to exterior brick and sills. The existing decorative iron gates will be locked in an open position.

Existing windows include 2/2, single-hung wood windows (on rear and side elevations) and 1/1, single-hung wood windows (on façade), with some single-light fixed windows. Proposed replacement windows are 1/1, double-hung, aluminum-clad wood; specific measurements and manufacturers' drawings provided for Marvin, Pella, and Kolbe products in application packet.

Applicant notes that masonry restoration and mortar repointing will be in compliance with SOI Standards for historic brick and mortar.

Applicable Design Guidelines

Downtown Design Guidelines

4. Historic Resources: Windows

- 4a. Repair rather than replace historic windows.
- 4b. Replace windows if repairs are not possible with matching windows, including duplicating design, operation, material, glass size, muntin arrangements, profiles, and trim.
- 4c. Insert windows with the same pane configuration, materials and size as other buildings of the same general construction date, if no original windows are present.
- 4d. Maintain the relationship of solids to voids with new construction that is similar to other buildings in the district, including the typical width, height, spacing, and horizontal alignment of windows.

5. Historic Resources: Masonry

- 5a. Repair masonry with stone or brick and mortar that match the original.
 - 5b. Do not paint masonry that has never been painted.
-

Comments

709 Market Street is a contributing resource to the South Market Street National Register Historic District, so the Historic Resources section of the guidelines applies. Overall, the proposal meets the design guidelines, as it involves rehabilitation of the historic building's character-defining features (masonry details, entry features, and fenestration patterns). The proposed window replacement duplicates the design, operation, and muntin arrangements of the historic windows, with measurements provided of existing and proposed windows to ensure that the profiles match as much as possible with contemporary window products. Aluminum-clad wood has been approved as a replacement for wood on historic buildings downtown. Masonry repairs are noted on the drawings as meeting NPS standards and using brick and mortar that match the original.

Recommendation

Staff recommends approval of Certificate 10-D-23-DT as submitted.



10-D-23-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

**DOWNTOWN
DESIGN
REVIEW
BOARD**



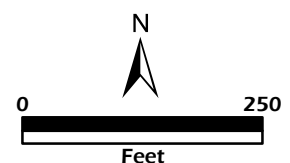
709 Market St.

**Level 1: Minor alteration of an existing
building/structure**

Original Print Date: 10/4/2023
Knoxville/Knox County Planning · Downtown Design Review Board

Revised:

**Petitioner: Tyler Goza Design Innovation
Architects**





DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
- ☐ HISTORIC ZONING (H)
- ☐ INFILL HOUSING (IH)

Applicant

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Owner ☐ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Name

Company

Address

City

State

Zip

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

Property Address

Parcel ID

Neighborhood

Zoning

AUTHORIZATION

Staff Signature

Please Print

Date

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work: _____

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☐ Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

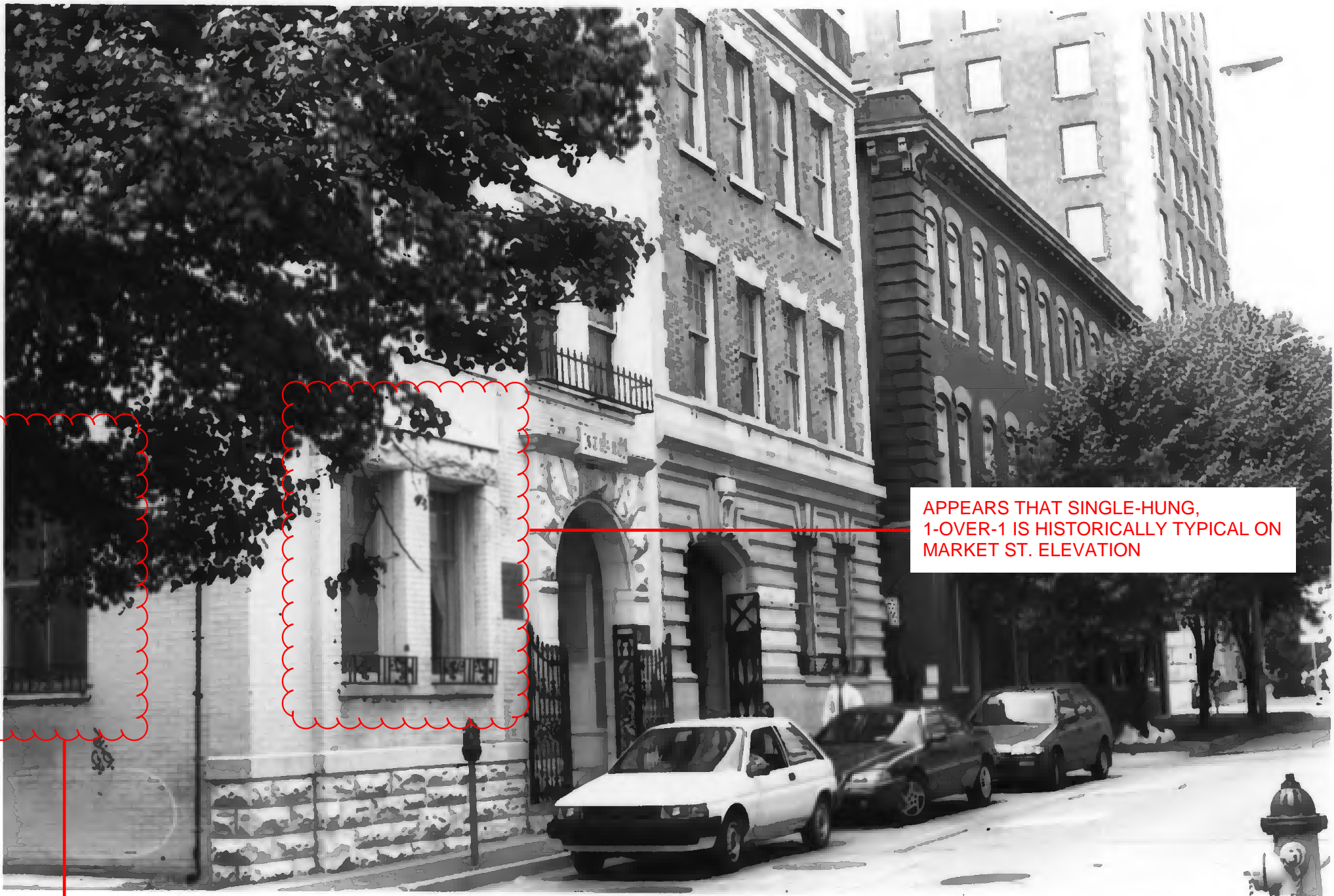
Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:



APPEARS THAT SINGLE-HUNG,
1-OVER-1 IS HISTORICALLY TYPICAL ON
MARKET ST. ELEVATION

APPEARS SINGLE-HUNG, 2-OVER-2 IS
HISTORICALLY TYPICAL AT ALLEY
ELEVATION - ASSUMED AT BACK

SOUTH MARKET HISTORIC DISTRICT
KNOX CO., TN #1 of 3



HISTORICALLY GATES
WERE PROPPED OPEN

SOUTH MARKET HISTORIC DISTRICT
KNOX CO., TN # 2 of 3

[illegible]

SHEET DESCRIPTION
DEMOLITION AND
REMOVALS PLANS

AD101

PROJECT DATE	PROJECT NUMBER
2023-09-29	23006

C.O.K. PLANS REVIEW /
ELECTRONIC PERMIT STAMP

DEMOLITION AND REMOVALS

- A DEMOLITION NOT PERTAIN TO THE GENERAL SCOPE OF WORK AND ARE TO BE CONSIDERED AS ADDITIONAL. TOTAL COST OF DEMOLITION TO BE INDICATED WITHIN SPECIFICALLY CREDITED BIDDING ITEM.
- B DEMOLITION OF EXISTING STRUCTURE SHALL BE ACCORDING TO THE FOLLOWING: EXISTING STRUCTURE TO BE DEMOLISHED OR PRELIMINARY FOLLOWING THE DESIGN FOR DEMOLITION. GENERAL CONTRACTOR TO NOTIFY ALL AFFECTED AGENCIES AND AFFECTED ADJACENT PROPERTY OWNERS.
- C THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL METHODS OF CONSTRUCTION AND DEMOLITION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, PLUMBING, ELECTRICAL AND MECHANICAL SYSTEMS, EXISTING ADJACENT CONSTRUCTION, AND SPECIALS, BEARING DURING DEMOLITION AND RENOVATION.
- D THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF EXISTING ADJACENT CONSTRUCTION, BEARING DURING DEMOLITION AND RENOVATION.
- E THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF EXISTING ADJACENT CONSTRUCTION, BEARING DURING DEMOLITION AND RENOVATION.
- F THE GENERAL CONTRACTOR SHALL COORDINATE THE PROTECTION OF DISCREPANCY OF DISCREPANCY WITH APPROPRIATE AGENCIES AND AUTHORITIES. NOTARY OWNERS 48 HOURS IN ADVANCE OF THE DEMOLITION OF EXISTING STRUCTURE.
- G PATCH AND REPAIR ALL DAMAGED WALLS, CEILING, FLOOR AND ROOFING AS REQUIRED TO RECEIVE NEW CONSTRUCTION. PATCHING DAMAGED WALLS, CEILING, FLOOR AND ROOFING AS REQUIRED TO RECEIVE NEW CONSTRUCTION OF CONCERN IN WALLS.
- H PATCH AND REPAIR ALL DAMAGED WALLS, CEILING, FLOOR AND ROOFING AS REQUIRED TO RECEIVE NEW CONSTRUCTION OF CONCERN IN WALLS, OR EXISTING FLOOR RESISTANCE.
- I PATCH AND REPAIR ALL DAMAGED WALLS, CEILING, FLOOR AND ROOFING AS REQUIRED TO RECEIVE NEW CONSTRUCTION OF CONCERN IN WALLS, OR EXISTING FLOOR RESISTANCE.
- J PATCH AND REPAIR ALL DAMAGED WALLS, CEILING, FLOOR AND ROOFING AS REQUIRED TO RECEIVE NEW CONSTRUCTION OF CONCERN IN WALLS, OR EXISTING FLOOR RESISTANCE.
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- M PATCH AND REPAIR ALL DAMAGED WALLS, CEILING, FLOOR AND ROOFING AS REQUIRED TO RECEIVE NEW CONSTRUCTION OF CONCERN IN WALLS, OR EXISTING FLOOR RESISTANCE.
- N PATCH AND REPAIR ALL DAMAGED WALLS, CEILING, FLOOR AND ROOFING AS REQUIRED TO RECEIVE NEW CONSTRUCTION OF CONCERN IN WALLS, OR EXISTING FLOOR RESISTANCE.
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- Y PATCH AND REPAIR ALL DAMAGED WALLS, CEILING, FLOOR AND ROOFING AS REQUIRED TO RECEIVE NEW CONSTRUCTION OF CONCERN IN WALLS, OR EXISTING FLOOR RESISTANCE.
- Z PATCH AND REPAIR ALL DAMAGED WALLS, CEILING, FLOOR AND ROOFING AS REQUIRED TO RECEIVE NEW CONSTRUCTION OF CONCERN IN WALLS, OR EXISTING FLOOR RESISTANCE.

DEMOLITION AND REMOVALS

- 01 EXISTING DECORATIVE IRON GATES TO REMAIN; LOCK IN OPEN POSITION
02 EXISTING STEEL BALCONY AND STAIR TO BE REMOVED. REFER TO ELEVATIONS.
03 EXISTING WINDOWS TO BE REMOVED AND REPLACED IN SAME OPENING; TYPICAL OF ALL. REFER TO ELEVATIONS
04 EXISTING GUTTER AND DOWNSPOUTS TO BE REMOVED AND REPLACED

$1/8^{\circ} = 1.0^{\circ}$

EXISTING / DEMOLITION PLAN

EXISTING / DEMOLITION PLAN

EXISTING / DEMOLITION PLAN

1/8" = 1'-0" EXISTING / DEMOLITION PLAN

EXISTING / DEMOLITION PLAN

[illegible]

SHEET DESCRIPTION
NEW FLOOR PLANS AND
ROOF PLAN

A101

PROJECT DATE	PROJECT NUMBER
2023-09-29	23006

C.O.K. PLANS REVIEW /
ELECTRICITY METER STAND

A25	THIRD FLOOR	
	1/8" = 1'-0"	NEW CONSTRUCTION



Q14	ROOF PLAN
	1/8" = 1'-0" NEW CONSTRUCTION



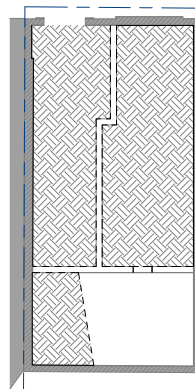
A25	THIRD FLOOR	
	1/8" = 1'-0"	NEW CONSTRUCTION



A19	SECOND FLOOR
	1.8" x 1'-0" NEW CONSTRUCTION



A14	GROUND FLOOR
	1/8" = 1'-0" NEW CONSTRUCTION



A04	CRAWLSPACE
	1/8" = 1'-0" NEW CONSTRUCTION

	07	06	05
KEYED NOTES			
			ROOF PLAN

	03	02	01
GENERAL NOTES			
FLOOR PLAN			

F. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS CONCERNING THE SCOPE OF WORK OF THIS PROJECT PRIOR TO COMMENCING THE ASSOCIATED WORK. IN THE EVENT THE QUESTION OF THE ACCURACY OF THE DIMENSIONS OF ANY PART OF THE PROJECT OR THE CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO DO THIS CONSTITUTES THE CONTRACTOR'S ACCEPTANCE OF THE WORK AS SHOWN.

G. DIMENSIONS ARE TO BE OF STUD FLOOR OR FLOOR OF MASONRY: UNLESS NOTED.

H. THE ROOM OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CORNER OF A ROOM (UNLESS OTHERWISE SHOWN) IS FOR A BAY WINDOW (AS GRAPHICALLY INDICATED ON PLANS OF THE PROJECT). THE CORNER OF THE ROOM SHALL BE FINISHED TO MATCH THE ROOM FINISHES UNLESS NOTED OR DIMENSIONED OTHERWISE.

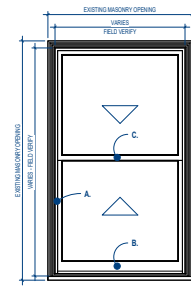
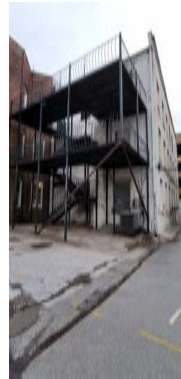
I. THE CORNER OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF A WALL (UNLESS OTHERWISE SHOWN) SHALL BE ENTERED ON WALL, UNLESS NOTED OR DIMENSIONED OTHERWISE. IN BRACES OPEN TO EXPOSED STRUCTURE, CORNER PERIMETER WALLS OF SPACE SHALL EXTEND TO EXISTING FLOOR OR CEILING FINISHES UNLESS NOTED OR DIMENSIONED OTHERWISE. ALL WALLS ARE TO BE EXTENDED TO EXISTING OF DECK, STOP OF FLOOR, UNLESS NOTED OTHERWISE.

J. ALL LOCATIONS WHERE BRICK BURNERS MUST BE TIED TO EXISTING OR NEW STRUCTURE WITH BROADER GRID AND REINLAY SHALL BE PROVIDED.

K. ALL FINISHES SHALL BE TO MATCH EXISTING FINISHES PAIRED WITH HIGH PERFORMANCE, IF A BETTER FINISHING PRODUCT FOR INSTALLATION, UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR FINISHES.

KEYED NOTES	
	FLOOR PLAN

01 EXISTING DECORATIVE IRON GATE SWINGS OVER PROPERTY LINE. PER CITY OF KNOXVILLE AHJ
DIRECTION ON 2023-02-14: GATES TO BE LOOKED IN OPEN POSITION
02 NEW WINDOW IN EXISTING MASONRY OPENING. TYPICAL OF ALL. REFER TO ELEVATIONS
03 NEW GUTTER AND DS. REFER TO ELEVATIONS



DIA
Design Innovation
ARCHITECTS + INTERIORS + PLANNING
402 S. Gay Street, Suite 201, Knoxville, TN 37959
ph 865.637.8540 / fx 865.544.3940
www.dia-arch.com



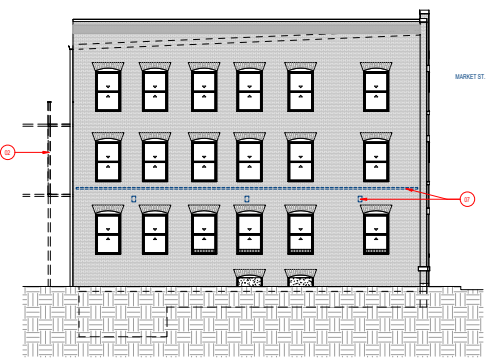
- EXTERIOR TO BE CLEANED, PONTED AND SEALED, AT AREAS THAT EXHIBIT EXISTING SUSTAINMENT RISK FACTOR PRIOR TO MOISTURE INTRUSION.
- WORK MUST BE PERFORMED BY A FIRM HAVING NOT LESS THAN 5 YEARS SUCCESSFUL EXPERIENCE IN A COMPARABLE MAINTENANCE RESTORATION PROJECTS AND EMPLOYING PERSONNEL SKILLED IN THE RESTORATION PROCESSES AND OPERATIONS DESCRIBED.
- CONTRACTOR TO SUBMIT A COMPREHENSIVE RATIONALE FOR ACCEPTABLE MATERIALS AND INSTALLATION.
- PERFORM MOISTURE RESTORATION IN COMPLIANCE WITH THE BROWN INSTITUTE OF AMERICA.
- SAVING AND REPAIRING OF EXISTING MATERIALS TO BE DETERMINED BY THE CONTRACTOR AFTER SELECTIVE DEMOLITION HAS BEEN COMPLETED. THE EXTERIOR BRICK SHALL BE REPAIRED OR REPLACED WITH MATCHING MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MATCH OF ALL AREAS WHERE BRICK IS DISTURBED.
- CONTRACTOR TO CONDUCT TESTING FOR EACH BUILDING FACE. IT IS POSSIBLE TO FIND DIFFERENT TYPES OF BRICKS OF THE BUILDING THAT DIFFERENT MATERIAL TYPES HAVE BEEN USED ON DIFFERENT BUILDING ELEVATIONS.
- IF HISTORIC LIME MORTAR IS DISCOVERED, REPLACE WITH LIME TYPE MORTAR, MATCH COLOR, PROFILE/TEXTURE OF EXISTING.
- IF CEMENTITIOUS MORTAR IS DISCOVERED, REPLACE WITH CEMENTITIOUS MORTAR, MATCH COLOR, PROFILE/TEXTURE OF EXISTING.

KEYED NOTES

NEW CONSTRUCTION

DESIGN REVIEW BOARD SUBMITTAL FOR:
THE STUART BUILDING
709 MARKET STREET
DOWNTOWN KNOXVILLE, TN

K10 NEW CONSTRUCTION ELEVATION



KEYED NOTES

DEMOLITION AND REMOVALS	
1	DEMOLITION OF EXISTING CONCRETE
2	DEMOLITION OF EXISTING MASONRY
3	DEMOLITION OF EXISTING METAL
4	DEMOLITION OF EXISTING WOOD
5	DEMOLITION OF EXISTING GLASS
6	DEMOLITION OF EXISTING ROOFING
7	DEMOLITION OF EXISTING FLOORING
8	DEMOLITION OF EXISTING PAINTS
9	DEMOLITION OF EXISTING MECHANICAL
10	DEMOLITION OF EXISTING ELECTRICAL
11	DEMOLITION OF EXISTING PLUMBING
12	DEMOLITION OF EXISTING HVAC
13	DEMOLITION OF EXISTING ELEVATOR
14	DEMOLITION OF EXISTING STAIRS
15	DEMOLITION OF EXISTING RAMP
16	DEMOLITION OF EXISTING CURB
17	DEMOLITION OF EXISTING DRIVEWAY
18	DEMOLITION OF EXISTING SIDEWALK
19	DEMOLITION OF EXISTING LANDSCAPE
20	DEMOLITION OF EXISTING UTILITIES
21	DEMOLITION OF EXISTING FENCE
22	DEMOLITION OF EXISTING GATE
23	DEMOLITION OF EXISTING SIGN
24	DEMOLITION OF EXISTING LIGHT
25	DEMOLITION OF EXISTING WIRE
26	DEMOLITION OF EXISTING PIPE
27	DEMOLITION OF EXISTING DUCT
28	DEMOLITION OF EXISTING CHIMNEY
29	DEMOLITION OF EXISTING TOWER
30	DEMOLITION OF EXISTING STRUCTURE
31	DEMOLITION OF EXISTING FOUNDATION
32	DEMOLITION OF EXISTING WALL
33	DEMOLITION OF EXISTING CEILING
34	DEMOLITION OF EXISTING FLOOR
35	DEMOLITION OF EXISTING ROOF
36	DEMOLITION OF EXISTING GROUND
37	DEMOLITION OF EXISTING SURFACE
38	DEMOLITION OF EXISTING MATERIAL
39	DEMOLITION OF EXISTING EQUIPMENT
40	DEMOLITION OF EXISTING MACHINE
41	DEMOLITION OF EXISTING VEHICLE
42	DEMOLITION OF EXISTING AIRCRAFT
43	DEMOLITION OF EXISTING SHIP
44	DEMOLITION OF EXISTING BOAT
45	DEMOLITION OF EXISTING YACHT
46	DEMOLITION OF EXISTING FISHING VESSEL
47	DEMOLITION OF EXISTING TUGBOAT
48	DEMOLITION OF EXISTING BARGE
49	DEMOLITION OF EXISTING DREDGER
50	DEMOLITION OF EXISTING PUMPHOUSE
51	DEMOLITION OF EXISTING WATER TOWER
52	DEMOLITION OF EXISTING SEWER
53	DEMOLITION OF EXISTING SANITARY
54	DEMOLITION OF EXISTING WASTE
55	DEMOLITION OF EXISTING GARBAGE
56	DEMOLITION OF EXISTING TRASH
57	DEMOLITION OF EXISTING DEBRIS
58	DEMOLITION OF EXISTING RUBBISH
59	DEMOLITION OF EXISTING LITTER
60	DEMOLITION OF EXISTING WASTE
61	DEMOLITION OF EXISTING DEBRIS
62	DEMOLITION OF EXISTING RUBBISH
63	DEMOLITION OF EXISTING LITTER
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92	DEMOLITION OF EXISTING WASTE
93	DEMOLITION OF EXISTING DEBRIS
94	DEMOLITION OF EXISTING RUBBISH
95	DEMOLITION OF EXISTING LITTER
96	DEMOLITION OF EXISTING WASTE
97	DEMOLITION OF EXISTING DEBRIS
98	DEMOLITION OF EXISTING RUBBISH
99	DEMOLITION OF EXISTING LITTER
100	DEMOLITION OF EXISTING WASTE

[illegible]

SHEET DESCRIPTION
EXTERIOR ELEVATIONS

A201

PROJECT DATE	PROJECT NUMBER
2023-09-29	23006

C.O.K. PLANS REVIEW /
ELECTRONIC PERMIT STAMP



ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
Before ordering the Marvin products illustrated within these shop drawings, the purchaser must obtain the necessary building department approvals. The purchaser must be a signatory of the purchaser must be returned to the Architectural Division at Marvin Windows & Doors, P.O. Box 100, Warroad, Minnesota 56763. If the Marvin products included herein are ordered without reference to these shop drawings, Marvin Windows & Doors assumes no responsibility in guaranteeing product coordination with the drawings.

PROJ/JOB: Design Innovations / Stuart Building
DIST/DEALER: MARVIN WINDOWS AND DOORS
DRAWN: CASEY LOBDELL
QUOTE#: ALA17GC
PK VER:0004-04.00
CREATED: 09/20/2023 REVISION:

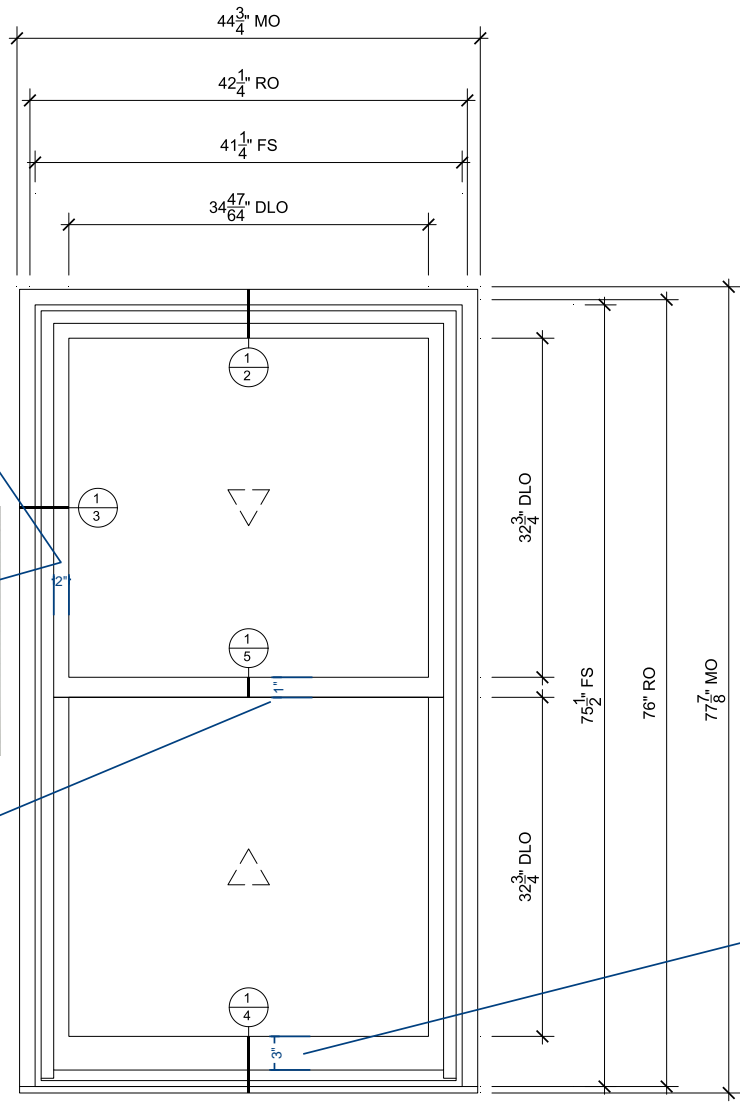
SHEET
1
OF 5

SPECIFICATIONS

Line #: 1
Qty: 1
Mark Unit: None
Product Line: Ultimate
Unit Description: Double Hung G2
Rough Opening: 42 1/4" X 76"
Frame Size: 41 1/4" X 75 1/2"
Masonry Opening: 44 3/4" X 77 7/8"
Sash Opening: 42 1/4" X 76"
Inside Opening: 42 1/4" X 76"
Exterior Finish: Stone White
Species: Pine
Interior Finish: Bare
Unit Type: Double Hung G2
Call Number: CN3634
Glass Information: IG, Low E2 w/Argon, Black
Divider Type: None
Hardware Type: Sash Lock, Lift Type : None, No Finger Pull, Top Sash Limiter : None,
Bottom Sash Limiter : None
Screen Type: No Screen
Hardware Color: White
Screen Surround Color: None
Screen Mesh Type: None
Jamb Depth: 4 9/16"
Interior Trim: None
Exterior Casing: 1 1/2" (A3069) Clad Flat Casing, Stone White, Casing with Subsill
Subsill: A246 Subsill, Stone White

FOR DESIGN INTENT ONLY, NOT FOR MANUFACTURE.

MARVIN DH G2

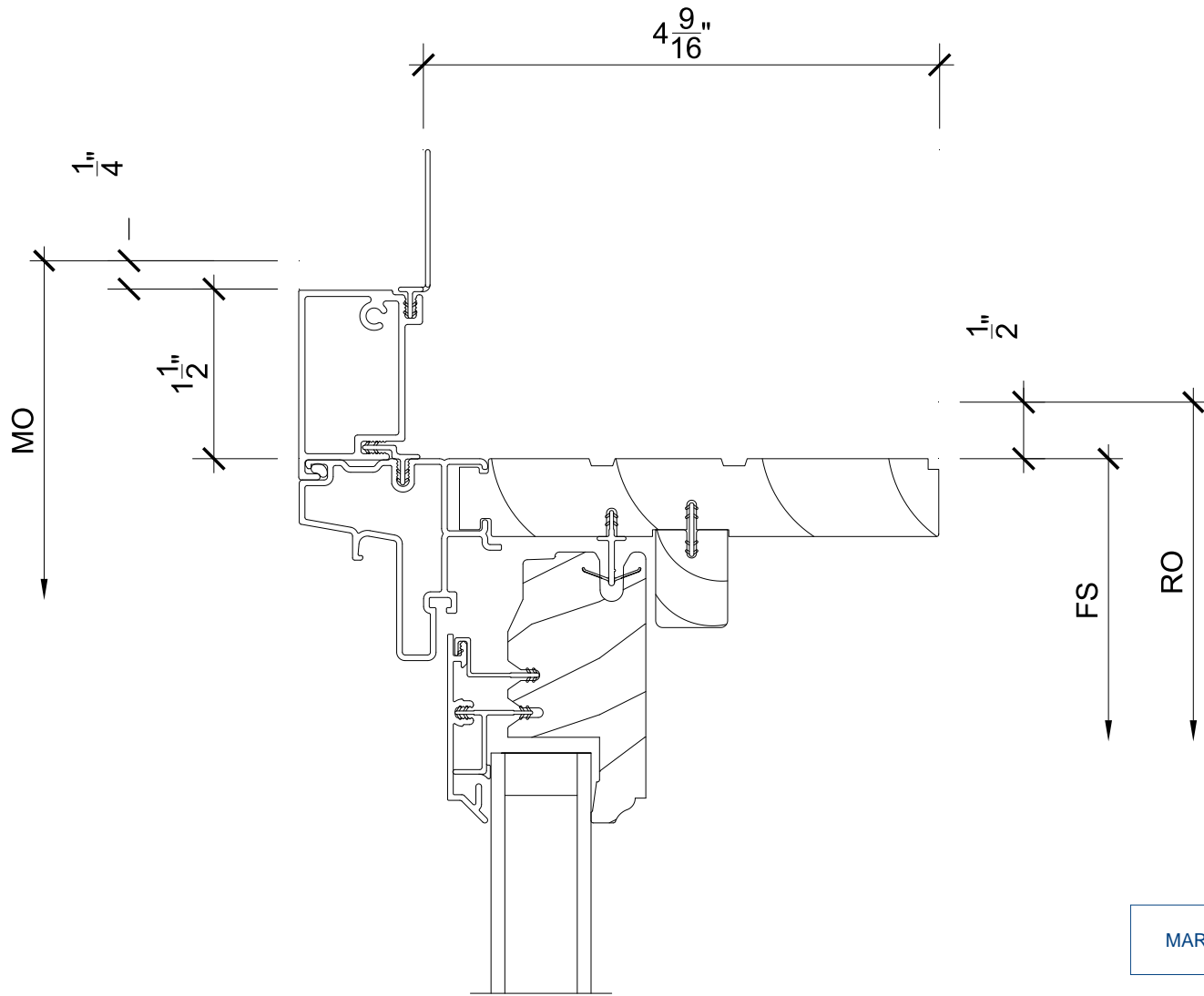


01
SCALE: 1" = 1'-0"



1
2

Head



MARVIN DH G2

PROJ/JOB: Design Innovations / Stuart Building
DIST/DEALER: MARVIN WINDOWS AND DOORS
DRAWN: CASEY LOBDELL
QUOTE#: ALA17GC

PK VER:0004-04.00
CREATED: 09/20/2023 REVISION:

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SHEET
2
OF 5

1
3

Jamb

4 ⁹/₁₆"

1"
2

1 ¹/₂"

1"
4

MO

FS

MARVIN DH G2

PROJ/JOB: Design Innovations / Stuart Building
DIST/DEALER: MARVIN WINDOWS AND DOORS
DRAWN: CASEY LOBDELL
QUOTE#: ALA17GC

PK VER:0004-04.00
CREATED: 09/20/2023 REVISION:

SHEET
3
OF 5

ORDERING PRODUCTS WITH REFERENCE TO SHOP DRAWINGS:
Before ordering the Marvin products illustrated within these shop drawings, the purchaser must obtain the written approval and signature of the purchaser must be returned to the Architectural Division at Marvin Windows & Doors, P.O. Box 100, Warroad, Minnesota 56763. If the Marvin products included herein are ordered without reference to these shop drawings, the purchaser agrees to assume full responsibility in guaranteeing product coordination with the drawings.

MARVIN



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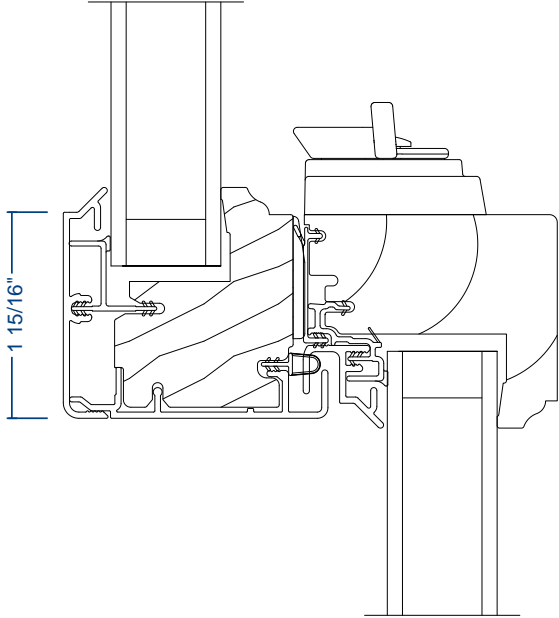
CREATED: 09/20/2023 REVISION:

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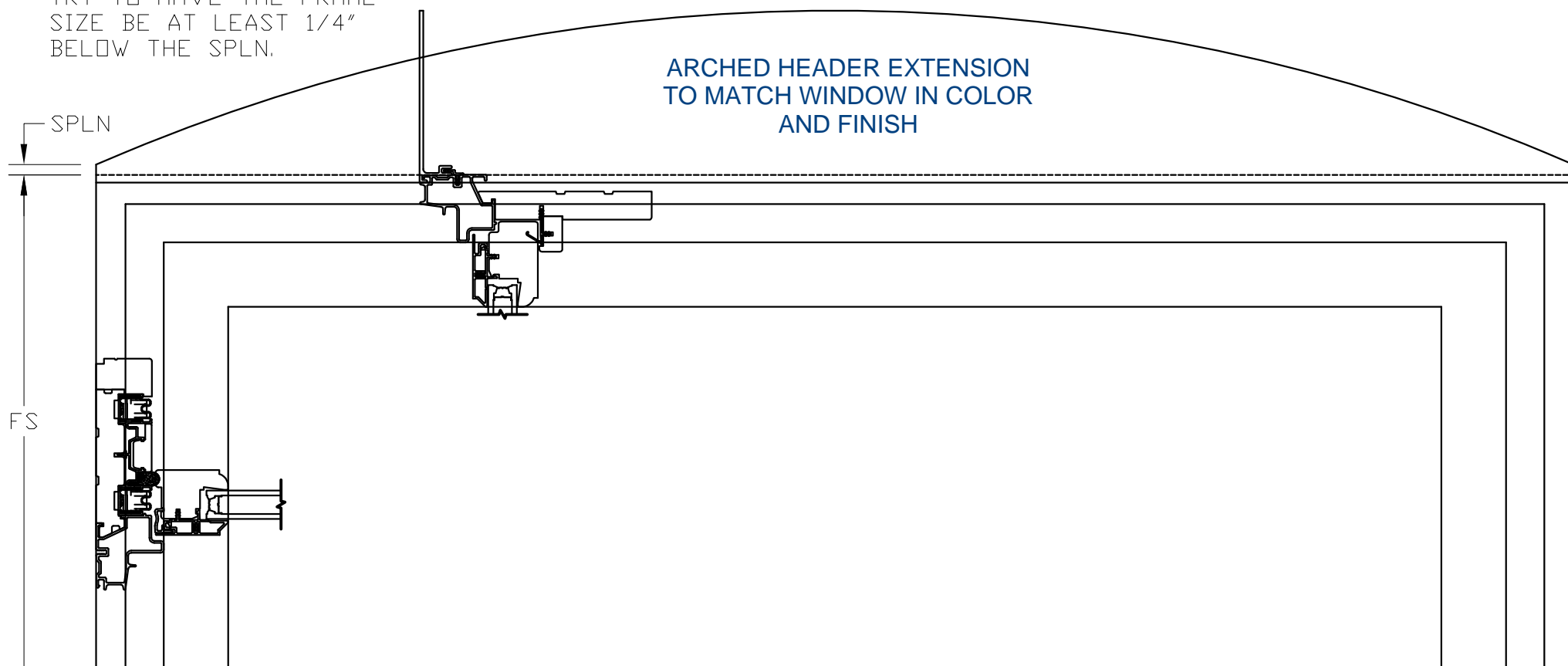
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Checkrail



MARVIN DH G2

TRY TO HAVE THE FRAME
SIZE BE AT LEAST 1/4"
BELOW THE SPLN.



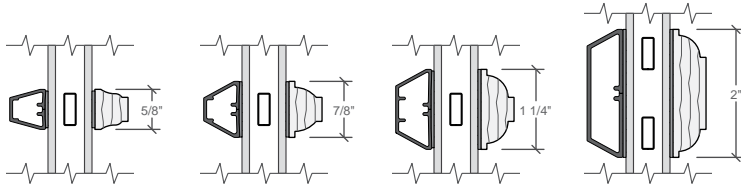
MARVIN DH G2



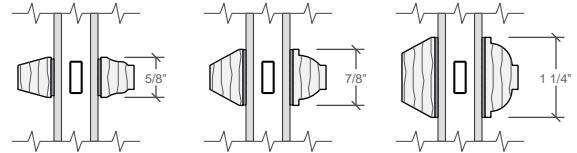
Grille Profiles

Traditional Style Collection - Integral Light Technology®

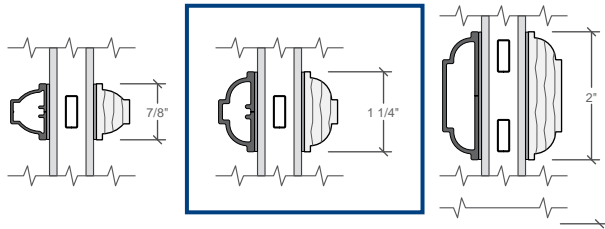
Putty Glaze and Ogee Grilles
Clad Exterior - Wood Interior



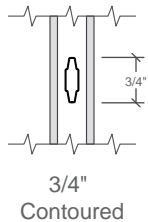
Putty Glaze and Ogee Grilles
Wood Exterior - Wood Interior



Ogee Grilles
Clad Exterior - Wood Interior



Grilles-Between-the-Glass



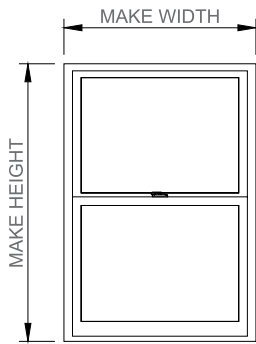
3/4"
Contoured

Interior wood ILT grilles available in Pine, Mahogany or Douglas Fir to match complete unit.
Exterior wood ILT grilles available in Pine or Mahogany to match complete unit.



Pella® Reserve™ Traditional Precision-Fit Hung Window

Size and Measurement Guidelines



Interior view shown.

Refer to unit cross sections in this section for Make Width and Make Height dimensions.

Make Dimensions

Minimum

13-1/2" W x 23-3/4" H
(343 x 603)

Maximum

48" W x 84" H
(1 219 x 2 134)

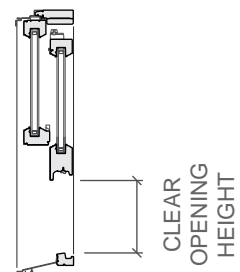
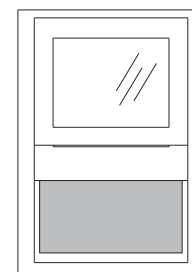
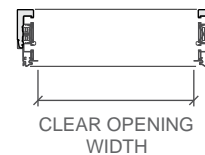
Make Width (MW) = A - 1/2" (rounded to the nearest 1/4")

Make Height (MH) = B - 1/2" (rounded to the nearest 1/4")

Cottage Sash windows must be between $\geq 40\text{-}1/2"$ and $\leq 71\text{-}1/2"$ make height.

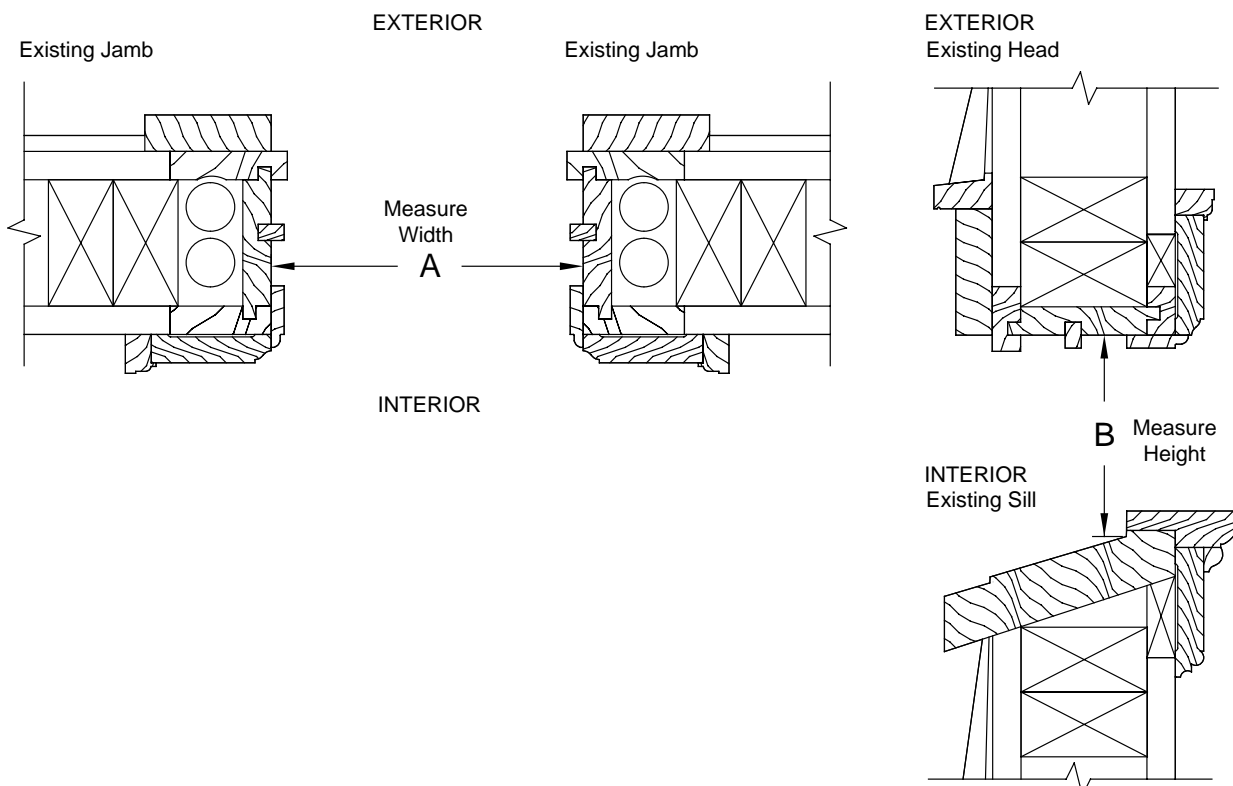
Standard DH - Equal Sash Only - Standard Rail/Stile widths

Vent Units	
Visible Glass	Width = Frame - 5.647"
	Height = ((Frame - 8.6875) ÷ 2) - .75"
Actual Glass	Width = Frame - 4.375"
	Height = ((Frame - 5.983) ÷ 2) - .75"
Clear Opening	COW = Frame Width - 3.6875"
	(Frame Height ÷ 2) - 5.1875"
Vent Area	(COW x COH) ÷ 144



Shaded portion shows vent area.

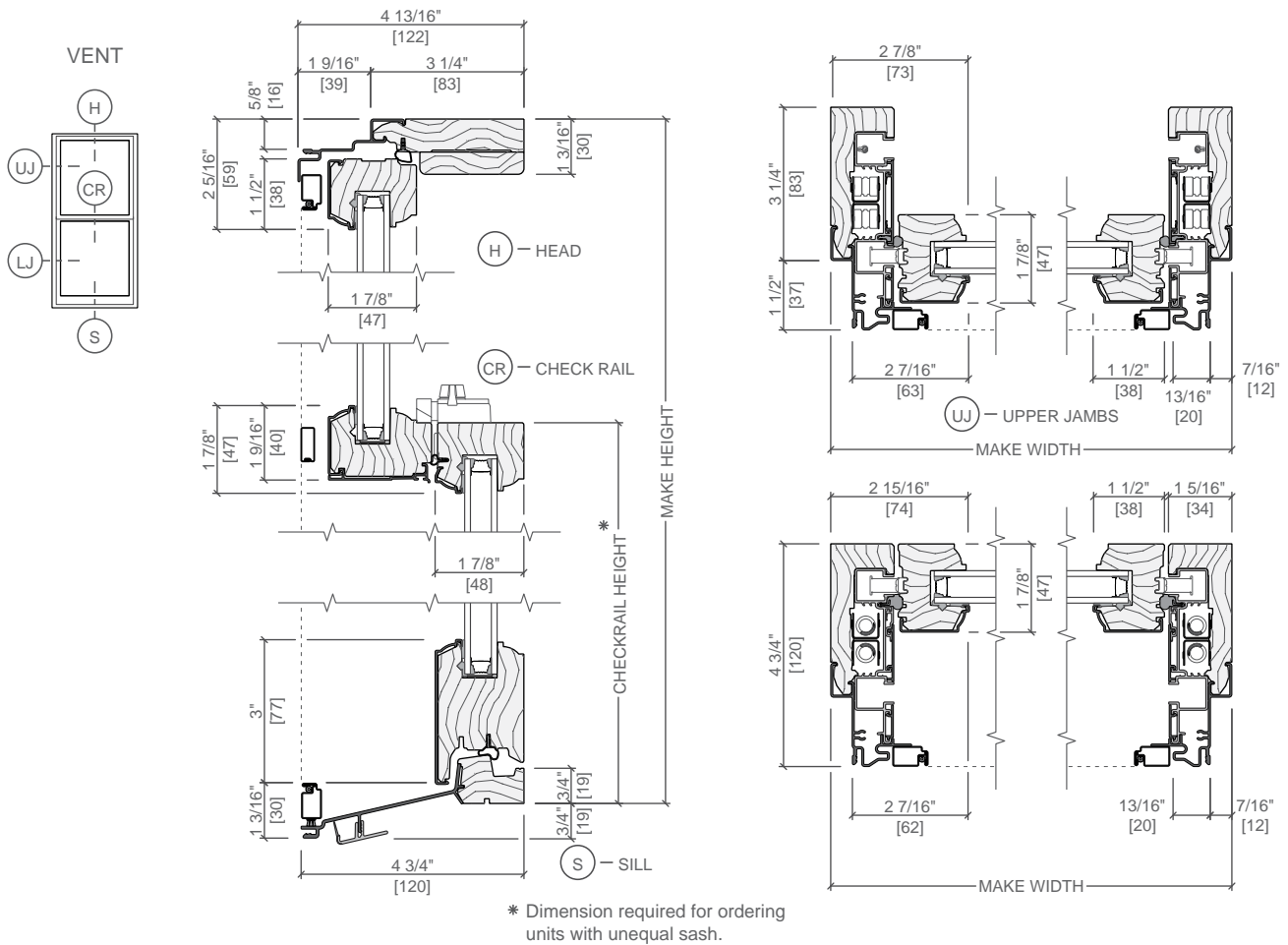
Measurement guidelines





Pella® Reserve™ Traditional Precision-Fit Hung Window

Unit Section - Aluminum-Clad Exterior Ogee Exterior Glazing Profile



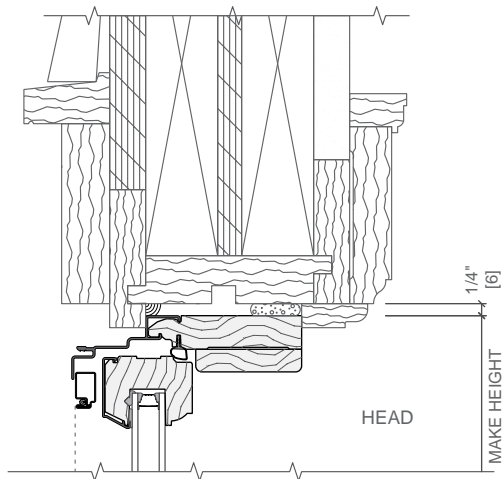
Scale 3" = 1' 0"

All dimensions are approximate.

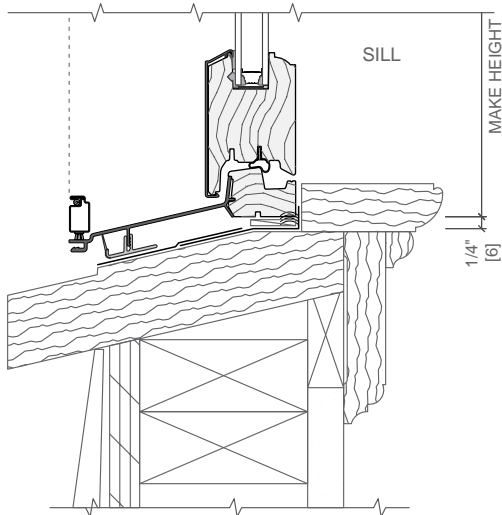


Pella® Reserve™ Traditional Precision-Fit Hung Window

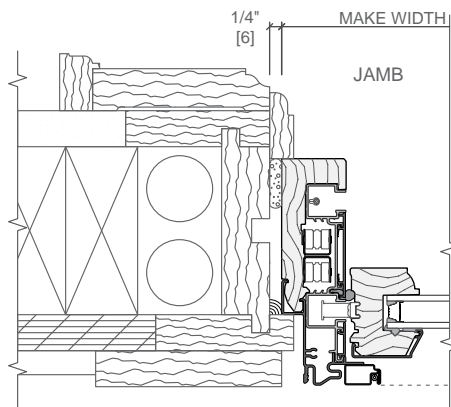
Installation Details - Aluminum-Clad Exterior



NOTE:
WALL CONSTRUCTION AND OLD DOUBLE-HUNG FRAME SHOWN ARE EXISTING; OLD DOUBLE-HUNG SASH HAS BEEN REMOVED. REFER TO THE APPROPRIATE PELLA INSTALLATION INSTRUCTION FOR COMPLETE STEP BY STEP INSTRUCTIONS. SHIM AND PLUMB UNITS AS REQUIRED. SEAL UNIT TO EXTERIOR / BLIND STOP.



SEAL THE UNIT TO EXISTING STOOL AND WINDOW SILL. SEAL ADJUSTABLE SILL ADAPTER TO EXISTING WOOD SILL. LEVEL UNITS AS REQUIRED.



NOTE:
THE ADJUSTABLE SILL ADAPTER MAY BE REMOVED WHEN THE EXISTING WINDOW SILL HAS A SLOPE OF 12 DEGREES OR LESS.

INSULATE ALL VOIDS AT WINDOW PERIMETER (BY OTHERS). SEAL UNIT TO EXTERIOR / BLIND STOP.

Scale 3" = 1' 0"

All dimensions are approximate.

