



Staff Report

Infill Housing Design Review Committee

File Number: 10-C-23-IH

Meeting: 10/18/2023
Applicant: Sarah Page Franklin Architects
Owner: Sapola GP

Property Information

Location: 1600 N. Central St. **Parcel ID** 81 K H 03300A
Zoning: C-G (General Commercial)
District: Oakwood/Lincoln Park Infill Housing Overlay District

Description of Work

Level III New Primary Structure

Four new townhouse buildings; building fronting N. Central St contains four units, two buildings fronting E. Oldham Ave contain four units each, and alley building contains five units. On N. Central St, the townhouses are set 5'-7.5" from the front property line; units fronting E. Oldham Ave are set 4' from the property line.

The N. Central St building is three stories tall, with a two-story massing along Central St. and a recessed third story closer to the rear. The flat-roof building will be clad in brick veneer for the first two stories, with the three-story massing clad in fiber cement lap siding, with vertical panels fronting N. Central Street and lap siding of "mixed exposure heights" on the side and rear elevations. The building features recessed entries with full-light doors and sidelights, accessible by individual stoops, paired single-light windows evenly spaced along the façade, and irregularly spaced single-light windows on the side and rear elevations.

The two buildings fronting E. Oldham Ave are two-stories tall, featuring irregularly pitched front gable roofs. The roof pitches vary along the roofline, from 4/12, 6/12, 8/12, and 12/12. The building will be clad in fiber cement lap siding with mixed exposure heights and rest on a stucco-clad foundation. Central massings in each unit feature cantilevered second stories, above recessed entry stoops. Windows on the side elevations feature irregular spacing and sizing.

The alley building is three stories, featuring a 2/12 pitch shed roof and an exterior of fiber cement lap siding in mixed exposure heights. The south elevation (facing the property interior) features individual entries (doors not shown) and single-light windows. The north elevation (facing the north alley) features lower-level garage entries and single-light windows in irregular spaces and sizes.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be

perpendicular to the street.

- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. Housing Orientation

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

6. Windows and Doors

- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Material

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

10. Multi-Unit Housing

- Multi-unit housing (where permitted by zoning) should have similar front yard space to that of the traditional single-family houses along the street.
- In zoning districts where multi-unit housing is permitted, the height of the new housing should be similar to the original houses along the street.
- Multi-unit housing should be designed to continue the architectural rhythm of the block. In addition to the same build-to line, porches, bays and breaks in the front façade should be created to mimic the look of older homes when looking down the block. This should be done by dividing the building into separate sections that are proportionally similar to original houses on the block.
- Parking should be provided behind apartments with access from the alley.
- Landscaping, including shade trees, should be planted in both front and back yards.

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house.

Comments

1. The property is zoned C-G-2 and recently featured a mixed development of manufactured houses, one Queen Anne house at the northwest corner of the property, a non-historic commercial building, and a modified Craftsman house. The site plan includes the preservation of the Queen Anne house; all other structures will be removed.
2. The C-G-2 zoning includes a 0'-20' build-to-zone as the minimum front setback and a 0'-10' build-to-zone as the minimum corner side setback. The base zoning and new housing forms will result in new construction that is significantly closer to the street than the single-family houses along the street. However, the property is a corner lot on the far west end of the Oakwood-Lincoln Park Infill Housing overlay, acting as a transition to the single-family neighborhood further down E. Oldham Ave. Placement of the townhouses on the lot is appropriate for the context. The site plan should include walkways connecting to the sidewalk.
3. The guidelines for multi-unit housing note, "in places where multi-unit housing is permitted by zoning, it is essential to neighborhood stability that new apartment buildings be designed in scale and context with the early architectural features of the neighborhood." The property serves as a transition from a commercial corridor into a smaller-scale, residential neighborhood. The unit fronting N. Central Street is compatible with commercial buildings fronting the corridor, using brick masonry cladding on the first two stories, with the third story recessed towards the rear. The buildings fronting E. Oldham Ave are somewhat taller in scale than the single-family houses that follow. The townhouses exhibit primarily a contemporary style with minimal references to historic architectural styles in Oakwood. The three buildings share minimal stylistic characteristics beyond the siding material and single-light windows.

4. Guidelines recommend that "the height of the new housing be similar to the original houses along the street." The proposal meets this guideline by locating the three-story townhouse structures along Central St and fronting the alley; the buildings fronting E. Oldham Ave are two stories tall. The maximum building height is 34'-4.5", measuring to the highest roof peak. The irregularly-pitched rooflines create additional height along E. Oldham Ave. The Board should discuss the proportions of the units fronting E. Oldham Ave.

5. The proposed designs use "porches, bays, and breaks in the front façade" on the Central St. and Oldham Ave. units that "continue the architectural rhythm of the block." The individual units are "divided into separate sections that are proportionally similar to original houses on the block."

The alley units do not incorporate any bays or breaks in the façade; the doors are recessed from view and angled ways from the street. While the alley building will be internal to the site, it will be visible from the right-of-way due to its height and the site's topography. Additional design elements are necessary to align the alley building with the neighborhood context.

6. Porches: the N. Central St building incorporates projecting entry stoops; the Oldham buildings feature angled, recessed porches which are 5' deep at the deepest points and extend the length of each individual units. The alley building features one entry porch, elevated 5' above grade, which provides access to the recessed entries.

7. Windows and doors: guidelines recommend that window and door styles be similar to historic houses on the block, with similar proportions and positioning, and similar ratio of solid to void. Based on the C-G-2 zoning and the principal use standards for townhouses, the project has transparency requirements which may require additional transparency than the typical single-family house in the neighborhood. Final elevations should meet the base zoning code's transparency requirements; minor revisions to windows could be approved by staff. The Board should discuss the use of full-light casement windows instead of double-hung windows; using double-hung windows in some applications could easily connect the project with the neighborhood context. Along Oldham Ave, the angled first story facades mean the windows will present at a unique angle to the street; the Board should discuss this design element in relation to the context.

8. Roof pitches and rooflines: the Central building has comparable pitches to commercial buildings on the block. The irregularly-pitched rooflines along E. Oldham Ave are not compatible with the historic context; while incorporating multiple gable lines within each building could align the development with the various gables extending down Oldham, the irregular pitches are overly complicated and also increase the building height.

9. Siding materials: the buildings are largely to be clad in fiber cement lap siding of mixed exposure heights. The applicant should provide an example of the mixed exposures. Using a traditional lap siding exposure pattern may better align the new buildings with the neighborhood context. The Board should discuss the siding materials.

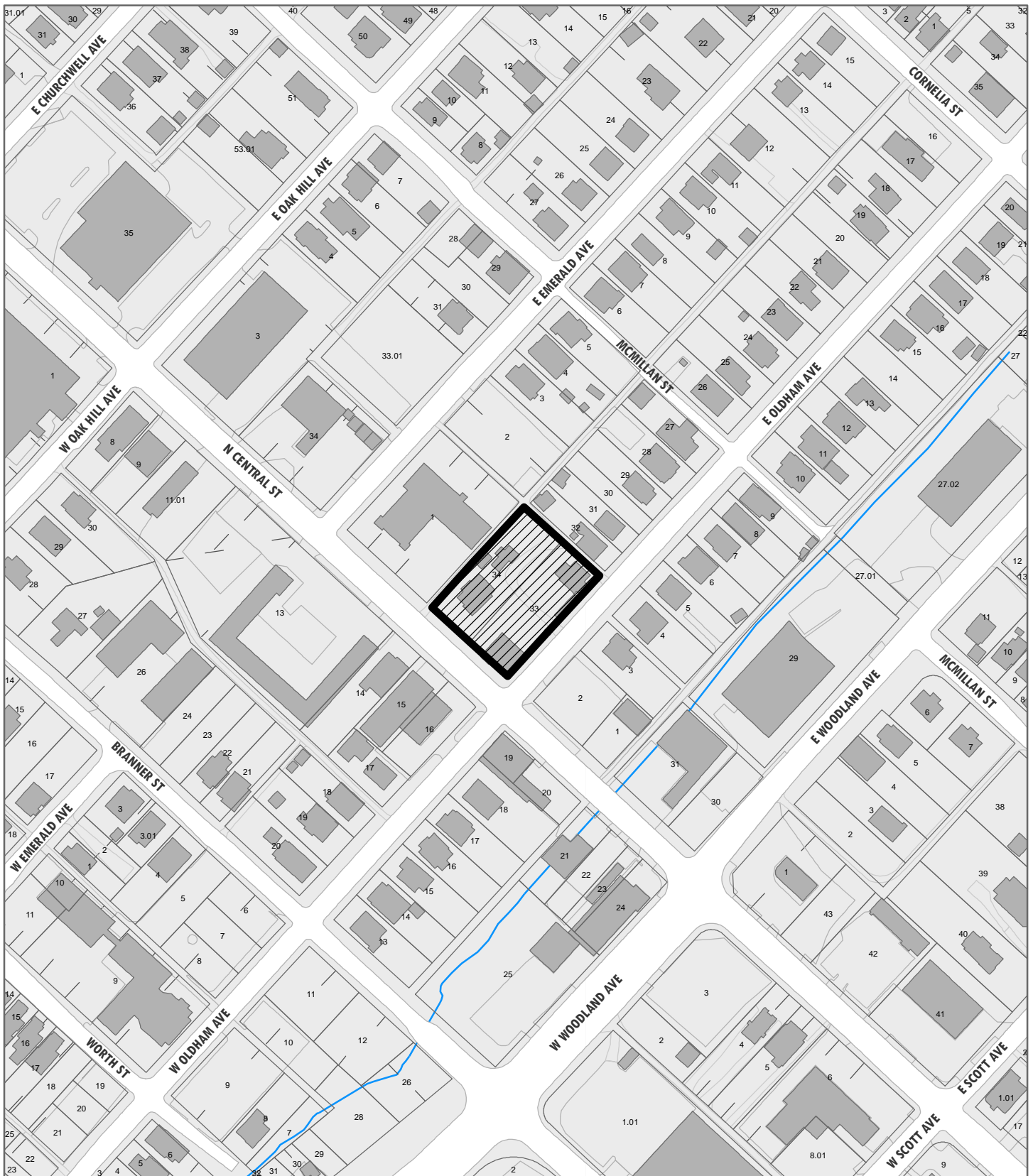
10. The application includes landscaping elements which are generally compatible with the Infill Housing design guidelines. A final landscape plan may be required for permitting.

Recommendation

The DRB should discuss the height of the buildings fronting E. Oldham Ave; the selected single-light casement and fixed windows, along with their placement and proportion; and the proposed irregular lap siding materials.

Pending input and additional conditions from the Board on the above items, staff recommends approval of Certificate 10-C-23-IH, subject to the following conditions: 1) final site plan to meet City Engineering standards; 2) final elevation drawings to meet design standards of C-G-2 zoning and principal use standards for townhouses; 3) rooflines on two buildings fronting E. Oldham Ave to be revised to be more compatible with the neighborhood

context; 4) the alley building to be revised to incorporate additional design elements to align it with the neighborhood context, with drawings meeting conditions 3 and 4 being resubmitted to the Board for additional review.



10-C-23-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

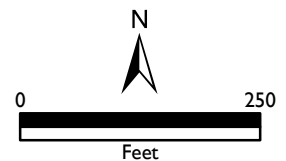
Applicant: Sarah Page Franklin Architects

**INFILL
HOUSING
REVIEW
BOARD**



1600 N. Central St.
Oakwood/Lincoln Park Infill Housing Overlay
District

Original Print Date: 10/4/2023
Revised:
Knoxville/Knox County Planning - Infill Housing Design Review Committee





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

HH Dev Partners, LLC, c/o Connolly Development Ventures, LLC

Applicant

09/29/2023

10/18/2023

10-C-23-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Sarah Page

franklin|architects

Name

Company

142 N Market St

Chattanooga

TN

37405

Address

City

State

Zip

423-805-7310

spage@franklinarch.com

Phone

Email

CURRENT PROPERTY INFO

Sapola GP

PO Box 51032 Knoxville, TN 37950-1032

865-773-9485

Owner Name (if different from applicant)

Owner Address

Owner Phone

1600 & 1608 N Central St, Knoxville, TN 37917

081KH03300A, 081KH034

Property Address

Parcel ID

C-G-2

Neighborhood

Zoning

AUTHORIZATION



Lindsay Crockett

9.29.23

Staff Signature

Please Print

Date



Thomas Connolly

9/29/23

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: Missing Middle Housing development of 17 one and two bedroom townhouse units on a site that transitions from commercial corridor of N. Central Ave into a residential neighborhood.

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:

FEE 2:

FEE 3:

TOTAL:



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142 N Market Street P.O. Box 4048
Chattanooga, TN 37405
v: 423.266.1207 f: 423.266.1216

In association with:

1600 N CENTRAL ST

for
CDV

at

1600 N CENTRAL ST KNOXVILLE, TN

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Preliminary
Design

Revisions

No.	Issue	Date

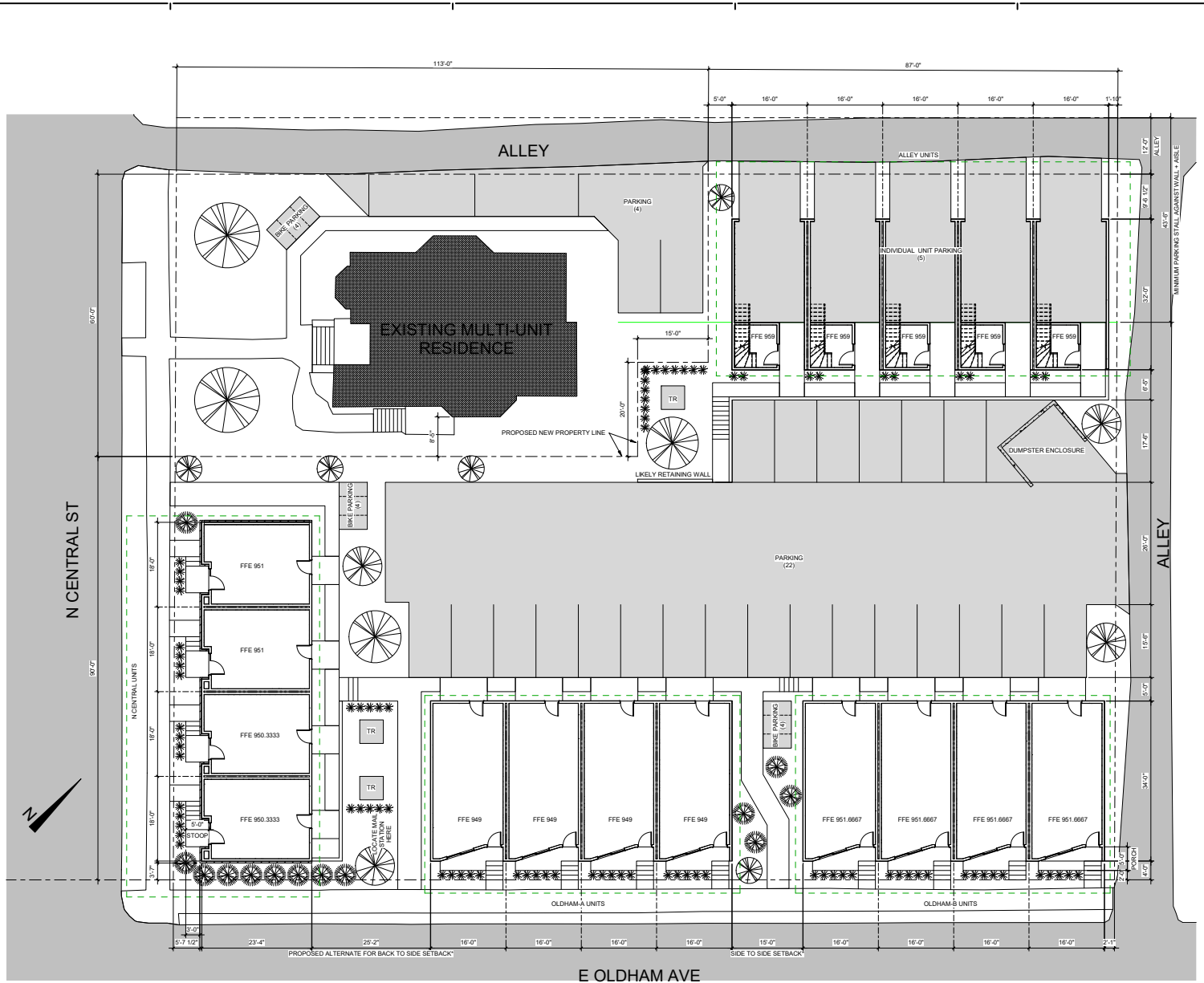
Sheet Information

Date	9/29/2023
Job No.	23-064
Title	

ARCHITECTURAL SITE PLAN

Sheet

AS001



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"



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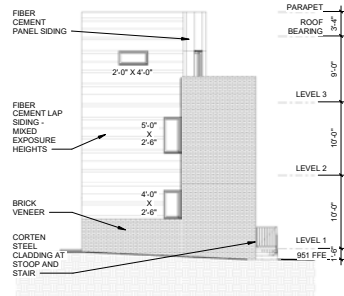
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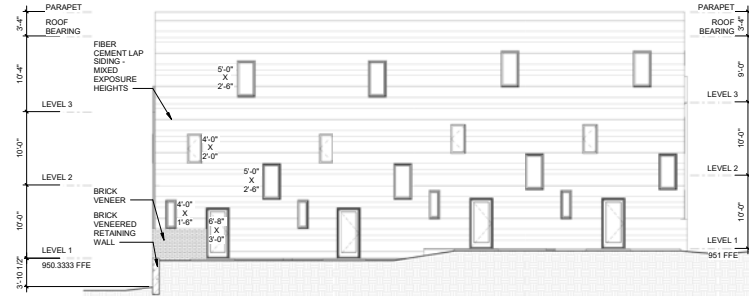
N CENTRAL UNITS

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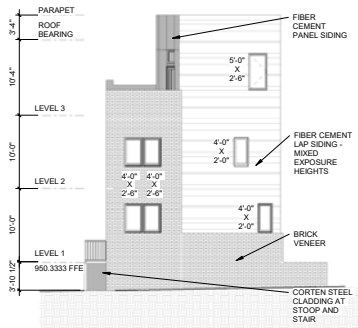
A001



④ N Central - North
SCALE: 1/8" = 1'-0"



② N Central - East
SCALE: 1/8" = 1'-0"



③ N Central - South
SCALE: 1/8" = 1'-0"



① N Central - West
SCALE: 1/8" = 1'-0"



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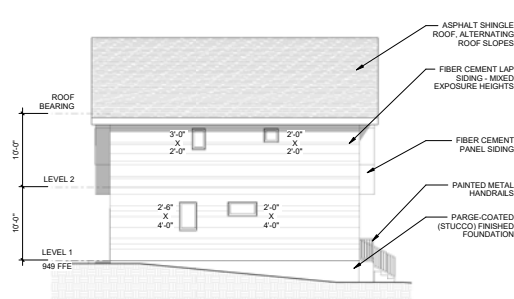
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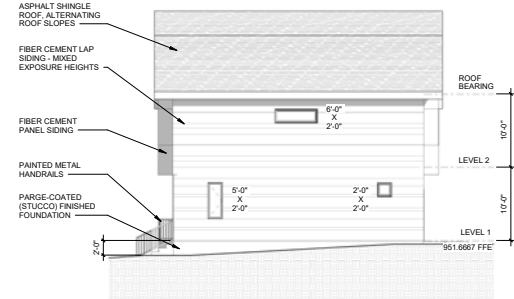
OLDHAM UNITS

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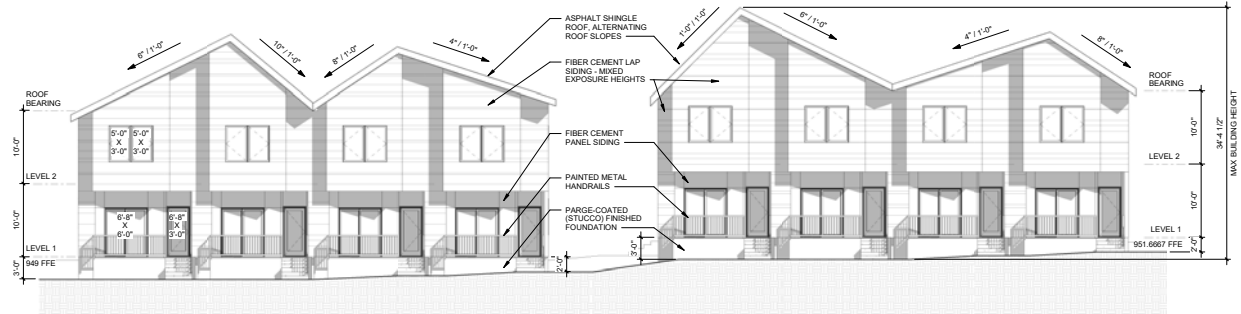
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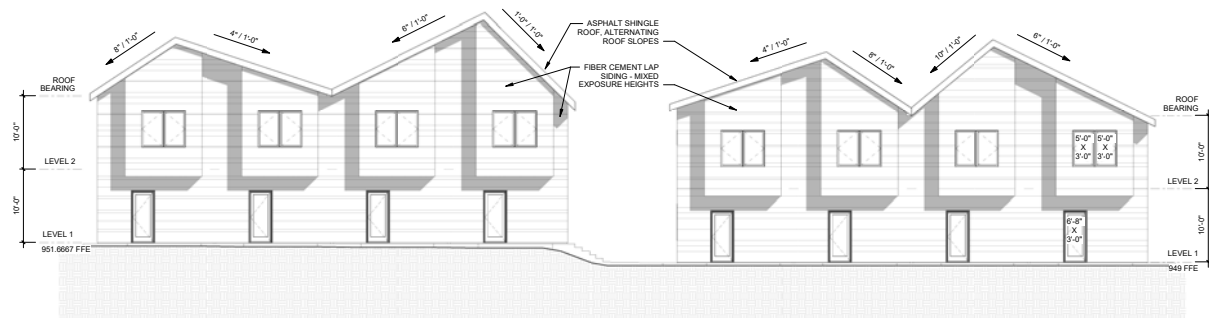
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③ Oldham - East
 SCALE: 1/8" = 1'-0"



② Oldham - South
 SCALE: 1/8" = 1'-0"



① Oldham - North
 SCALE: 1/8" = 1'-0"



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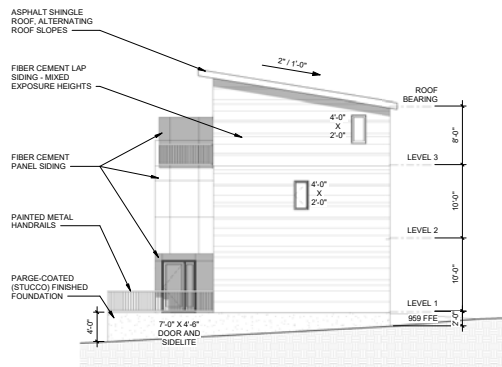
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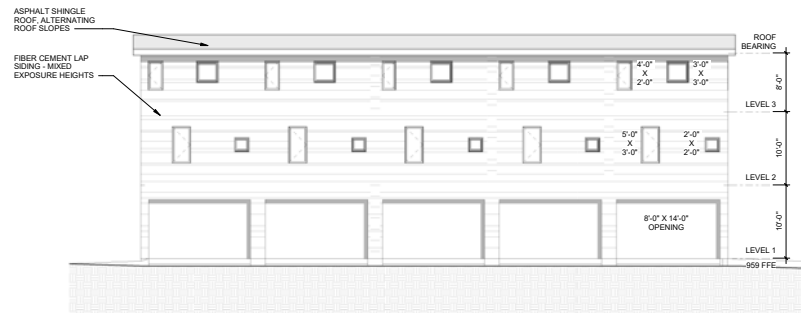
ALLEY UNITS

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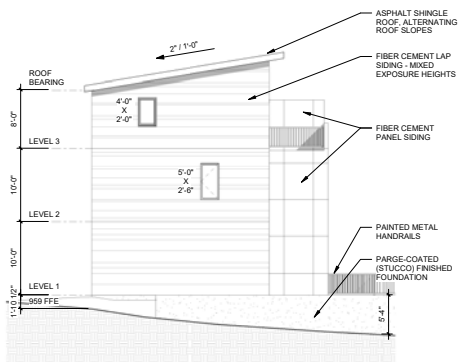
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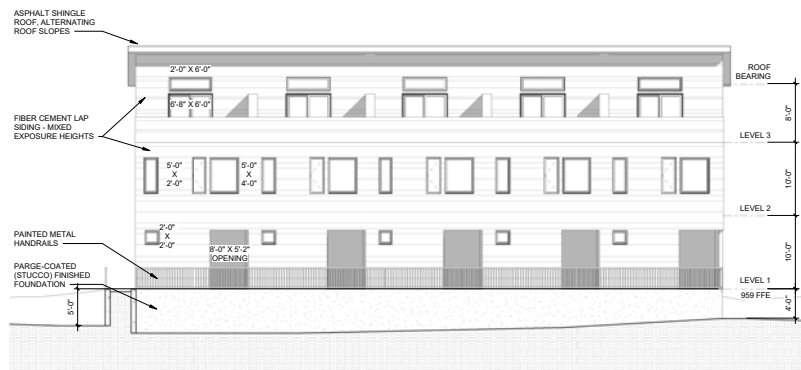
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SCALE: 1/8" = 1'-0"



② Alley - North
SCALE: 1/8" = 1'-0"



③ Alley - West
SCALE: 1/8" = 1'-0"



① Alley - South
SCALE: 1/8" = 1'-0"

VIEW FROM GOOGLE STREET VIEW DATED 2021 - N CENTRAL ST AND ALLEY



VIEW FROM GOOGLE STREET VIEW DATED 2021 - N CENTRAL ST AND OLDHAM AVE



VIEW FROM GOOGLE STREET VIEW DATED 2019 - OLDHAM AVE AND ALLEY (MODULAR HOMES HAVE ALREADY BEEN REMOVED)





MULTI-UNIT RESIDENCE TO BE RETAINED. FENCE TO BE REMOVED AND PARKING MOVED TO THE SIDE AND REAR OF THE BUILDING ACCESSED OFF OF THE ALLEY



SHED AND FENCE TO BE REMOVED



FENCE TO BE REMOVED



REMAINING COMMERCIAL BUILDING AND SINGLE HOME STILL LOCATED ON OLDHAM TO BE REMOVED

We would like to propose an alternate setback for our corner townhome units of 25'. Zoning calls for 30' for back-to-back setbacks and 15' for side-to-side setbacks. We feel that if we could employ a slightly narrow clear space between the rear of the N Central units and the side of the Oldham units, we can break up the mass of the townhomes on Oldham to two groups of 4 rather than one group of eight, allowing for a scaled transition from N Central back into the residential scale of Oldham Ave after the alley.

DESIGN GUIDELINES CHECK LIST

Use the following check list to determine the appropriateness of proposed infill housing design for the Heart of Knoxville. For each unchecked item, please refer to the appropriate Heart of Knoxville Infill Housing Design Guidelines section.

Front Yards

Section 1, page 5

- Setback and front door are in line and consistent with original houses on the block. Designed to be a transition between commercial corridor and residential neighborhood
- Porch and habitable portion of house is offset from street equal to neighboring houses. Designed to be a transition between commercial corridor and residential neighborhood
- Walkway is proposed from sidewalk (when available) to front door, perpendicular to street.
- N/A Fencing is constructed of traditional materials and excludes chain link, masonry, wide boards, and other contemporary materials.
- N/A Healthy trees are marked for preservation.

House Orientation and Side Yards

Section 2, page 6

- Proposed infill is proportional to dimensions of lot and original houses on the block. Designed to be a transition between commercial corridor and residential neighborhood
- N/A Proposed infill on corner lots has applied for any necessary zoning variance to locate closer to side street. N/A due to C-G-2 Zoning
- Proposed infill keeps the spacing between houses consistent with original houses on the block. Designed to be a transition between commercial corridor and residential neighborhood

Alleys, Parking, and Services

Section 3, page 7

- Proposed parking avoids the front yard.
- Proposed infill house has access from alley only (where available) for garage or parking pad. (If no alley access exists, proposed garage or parking pad extends 20 feet beyond the front façade of proposed infill house.)
- Proposed garages accessed by alley are setback at least 18 feet from centerline of alley pavement.
- Proposed parking pads, utility boxes, and waste collection points are visually screened by landscaping and/or fencing.

Scale, Mass, and Foundation Height

Section 4, page 8

- Proposed infill elevation is proportional in scale to the original houses on the block.
- Proposed infill façade respects width of older houses on the block. See above
- Proposed infill attempts to incorporate historic elements of the block into the design. Designed to be a transition between commercial corridor and residential neighborhood
- Foundation height is consistent with original houses on the block.
- Additions that cannot conform to scale and height of streetscape are located to the side or rear of infill lot.

Porches and Stoops

Section 5, page 9

- Proposed infill includes plans for a porch in a neighborhood where porches are dominant. Designed to be a transition between commercial corridor and residential neighborhood
- Proposed porch is proportional to existing porches on block. residential neighborhood
- Proposed porch maintains consistency with existing porches in setback along the street.
- Proposed porch materials and details complement the historic character and style of neighborhood (refer to Appendix C).

Windows and Doors

Section 6, page 10

Designed to be a transition between commercial corridor and residential neighborhood; balancing requirements for C-G-2 and townhome transparency requirements

- N/A Proposed window and door styles complement historic character and style of block (refer to appendix).
- Proposed window or door positioning does not violate the privacy of neighboring homes.
- Proposed infill excludes contemporary window styles in pre-1940 areas.
- Proposed infill respects window and door placement of older houses on the block.

Open covered parking provided rather than a garage for 5 Alley Units. Full parking stall and aisle depth provided to ensure required maneuvering space for drivers, per design of off street parking requirements in article 11.

Roof Shapes and Materials

Section 7, page 12 *Designed to be a transition between commercial corridor and residential neighborhood*

- Proposed infill specifies similar pitch to existing houses on block.
- Proposed infill respects complex roof forms of historic blocks (refer to appendix).
- Proposed infill for a pre-1940 neighborhood specifies darker shades of shingle roofing.

Siding Materials

Section 8, page 13

- In a neighborhood dominated by painted wood siding, the proposed infill specifies clapboard or similar substitutes.
- In a neighborhood with mixed architectural styles, the proposed infill specifies appropriate material and detail.
- The proposed infill excludes faced stone, vertical siding, and other non-historic materials.

Additions

Section 9, page 14

- Proposed additions to existing houses respect siding and roof materials, as well as door and window styles original to the house.
- Proposed window or door replacements should respect original style (refer to Appendix C).
- Proposed additions are located to the side or rear of original house.
- Proposed additions which require additional height are located to the rear of the house.
- Specified roof line and roofing materials for proposed addition respect original house.
- Proposed addition does not violate openness or character of front porch.

Multi-unit Housing

Section 10, page 15 *Designed to be a transition between commercial corridor and residential neighborhood*

- Proposed multi-unit housing respects traditional front yard setbacks of neighborhood.
- Proposed multi-unit housing respects height of original houses in the neighborhood.
- Proposed multi-unit housing respects rhythm and proportion of historic homes on the block.
- Proposed parking for multi-unit housing accesses existing alleys.
- Proposed housing specifies landscaping to include shade trees, in front and back yards.

Landscape and Other Considerations

Section 11, page 16

- For proposed infill with 25 feet or greater front yard depth, at least one shade tree is specified for planting. *Shade trees to be added at existing multi-unit residence to remain*
- Specified fencing and/or hedges will not exceed 42 inches in height in front yard.
- N/A* Front yard fences avoid chain link and specify appropriate historic material.

Small Lot 1930-1950 Era Houses

Section 12, page 17

- Off-street parking is located in the side or rear yard or parallel to the street.
- Multi-unit housing is in scale with other houses on the block and across the street.
- A porch or stoop is part of the design.
- Decks or patios are located behind the house.