Staff Report

Infill Housing Design Review Committee

File Number: 10-B-23-IH

Meeting: 10/18/2023
Applicant: John Chandler JTC Enterprises, LLC
Owner: Sandra Castellanos

Property Information

Location: 1434 Cornelia St. **Parcel ID** 81 L R 001
Zoning: RN-4 (General Residential Neighborhood)
District: Oakwood/Lincoln Park Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary residence fronting Cornelia Street. Two story residence with a front-gable roof (9/12 pitch), clad in asphalt shingles, and a projecting front gable mass (9/12 pitch) on the right of the façade. The house measures 40’ long by 22’ wide. The house is proposed to be set 18’ from the front property line and 8’ from the side property lines. Parking is proposed to be a 20’ by 12’ (240 sq. ft.) parking pad of an unspecified material in the rear and accessed via the alley. Siding material for the structure is proposed to be an unspecified horizontal siding, with board and batten siding on the gables. The house will be set on a 4" concrete slab foundation.

The façade (west) elevation features a 4’-6" deep recessed front porch on the left side, supported by a single wooden 8x8 (wrapped 10x10) column with a 16x16 stone pedestal base. The façade also features a stone water table of an unspecified height. An entry door is located on the porch with s transom window above. There are no other windows on the first story. The second story will have one double-hung 6/6 window on the left and a pair of double hung 6/6 windows on the right projecting mass. A small shed roof projects from the right side of the façade’s first story.

The left elevation features one double-hung 6/6 window on the first story and two double-hung 6/6 windows on the second story. The first story of the right elevation features two double-hung 6/6 windows on the right side of the elevation and two double-hung 6/6 windows on the second story. The rear entry features a paired, multi-light secondary entry door.

The new single-family house is proposed for a property measuring 40’ wide by 111.15’ deep, per the provided survey.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards
- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be

perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. Housing Orientation
- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in "Heart of Knoxville" neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services
- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

4. Scale, Mass, and Foundation Height
- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.
5. Porches and Stoops
- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood’s development. Wrought iron columns and other materials that were not used in the early 1900’s should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.

6. Windows and Doors
- When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials
- New roofs should be designed to have a similar pitch to original housing on the block

- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Material
- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses. In 1930-1950 era neighborhoods, faced stone may be appropriate (see Section 12).

11. Landscape and Other Considerations
- One native or naturalized shade tree should be planted in the front and rear yards of in fill lots with 25 feet or more in depth to front of house.

Comments

1. The house is proposed to be set 18’ from the front property line. The average front setback of the block is 14.5’. The adjacent house is set 15’ from the front property line, and houses get closer to the street moving south on the block. The proposed placement is appropriate for the block and will maintain a consistent streetscape. The site plan includes an 8’ corner side setback on the left side; the side setback varied from the base zoning will maintain side setbacks similar to the block, though sight distance-related revisions may be required by City Engineering. The site plan includes a walkway to the sidewalk.

2. The block to receive new construction is characterized by Queen Anne cottages and houses, with some modified Craftsmans. The house is proportionate in width to the lot and the side setbacks are consistent with the block.

3. The proposed parking meets Infill Housing guidelines as it’s located to the rear of the house and accessed from the alley. Final site plan revisions will be necessary to meet City Engineering standards.

4. The proposed house is two stories; the façade is larger in scale than the other houses along the street. The façade is comparable in width to the context. There is one two-story, front-gable house on the same block, with larger houses fronting E. Scott Avenue nearby. The foundation appears to be built on a slab, with an 8" tall CMU foundation wall; the foundation should be revised to be compatible in height to the context. The Board should discuss the height in relation to the context.

5. The recessed entry stoop is not proportionate to front porches in the neighborhood; a revised porch should project towards the street, measuring at least 8’ in depth.

6. Guidelines recommend window and door styles be similar, with similar proportions and ratio of solid to void, to historic houses on the block. Revisions should be made to the large swath of siding on the façade where the elevation drawings have revised a front-facing garage. The left elevation should receive an extra window towards the rear, as the left side elevation will be prominent on Woodland Ave.

7. The proposed 9/12 pitch roof meets the design guidelines; the elevation drawings include decorative brackets and eave overhangs which should be retained in final construction.

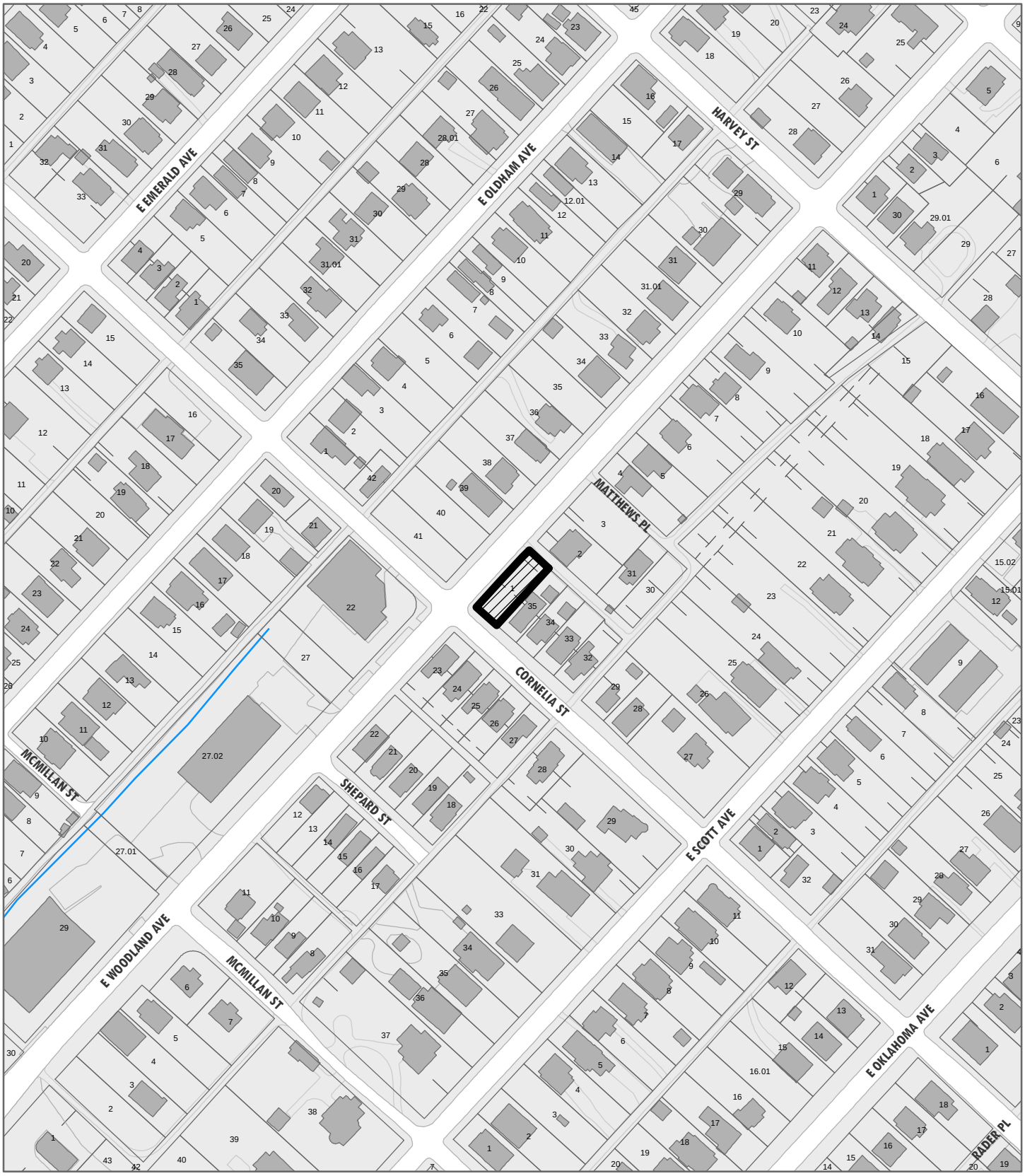
8. The application does not include information on siding materials. If vinyl siding is used, the siding should feature an overlap instead of Dutch lap or flush panel siding. The foundation should be clad in stucco. The stone veneer is not appropriate for the context and does not meet the design guidelines; stone-clad elements should be replaced

with brick veneer.

9. The parcel to receive new construction measures 40’ wide by 111.15’ deep (4,446 sq. ft.), which is below the minimum lot area requirement of 5,000 sq. ft. for a single-family house in the RN-4 zoning. Per 16.6.B.1 in the City Zoning Code, the DRB can approve a minimum lot area that’s different those from provided by the base zoning, "in order to realize the principles associated with the guidelines." The guidelines recommend infill construction that is compatible with placement and scale of the block; the lot historically held a house (per historic aerials). The project will still require a new subdivision plat to be recorded.

Recommendation

Staff recommends approval of Certificate 10-B-23-IH, subject to the following conditions: 1) final site plan to meet City Engineering standards; 2) foundation to be increased to at least 12" tall and clad in stucco; 3) revisions to front porch depth, with approval by staff; 4) revisions to façade and left side elevation window placement; 5) substituting brick veneer for stone veneer; and recognizing the reduced lot area as furthering principles associated with the Infill Housing guidelines.



INFILL HOUSING REVIEW BOARD

10-B-23-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Applicant: John Chandler JTC Enterprises, LLC

1434 Cornelia St.

Oakwood/Lincoln Park Infill Housing Overlay District

Original Print Date: 10/4/2023 Revised:

Knoxville/Knox County Planning - Infill Housing Design Review Committee

N

0 250

Feet

Planning
KNOXVILLE | KNOX COUNTY

DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
- ☐ HISTORIC ZONING (H)
- ☒ INFILL HOUSING (IH)

JTC Enterprises, LLC d.b.a. Knoxville Urban Renaissance Builders (KURB)
Applicant

9/29/23	10/18/23	10-B-23-IH
Date Filed	Meeting Date (if applicable)	File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ■ Contractor ☐ Engineer ☐ Architect/Landscape Architect

John Chandler	JTC Enterprises, LLC		
Name	Company		
413 Bridge View Lane	Knoxville	TN	37914
Address	City	State	Zip
865-236-2473	John@kurbconstruction.net		
Phone	Email		

CURRENT PROPERTY INFO

SANDRA CASTELLANOS	14040 NE 6TH COURT MIAMI,FL 33181	(786) 597-3688
Owner Name (if different from applicant)	Owner Address	Owner Phone
1434 Cornelia St, Knoxville TN	081LR001	
Property Address	Parcel ID	
Mountain View	R-4	
Neighborhood	Zoning	

AUTHORIZATION

Lindsay Crockett	Lindsay Crockett 9.29.23	
Staff Signature	Please Print	Date
[signature]	John Chandler	9/29/23
Applicant Signature	Please Print	Date

REQUEST

DOWNTOWN DESIGN

Level 1:

☐ Signs ☐ Alteration of an existing building/structure

Level 2:

☐ Addition to an existing building/structure

Level 3:

☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

☐ Construction of a new primary building

Level 4:

☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work: _____

INFILL HOUSING

Level 1:

☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

☒ New primary structure

☒ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☒ Brief description of work: Construct a 2 story, single family dwelling

STAFF USE ONLY

ATTACHMENTS

☐ Downtown Design Checklist

☐ Historic Zoning Design Checklist

☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

☐ Property Owners / Option Holders

Level 1: $50 • **Level 2:** $100 • **Level 3:** $250 • **Level 4:** $500

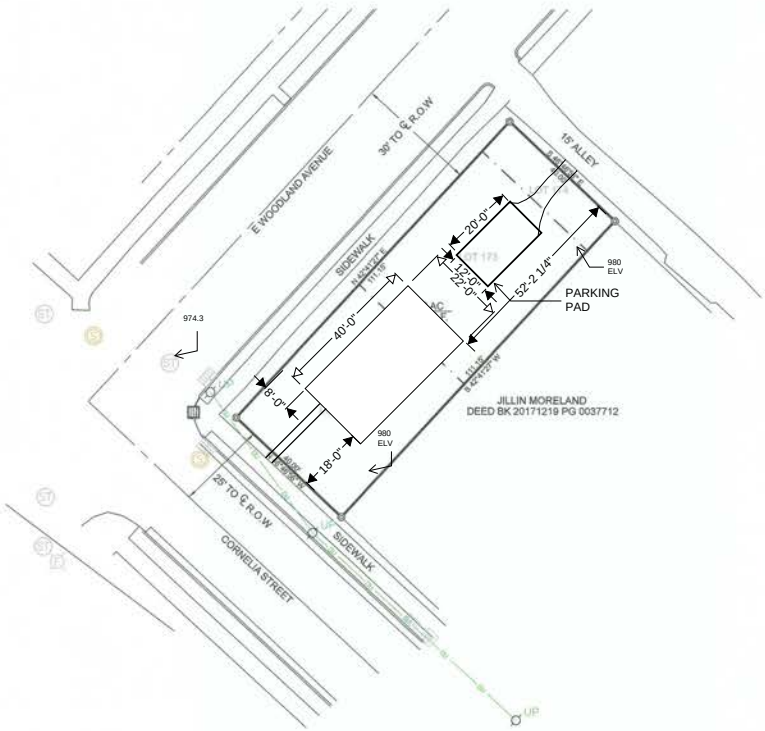
FEE 1:	TOTAL:
250.00	250.00
FEE 2:	
FEE 3:	

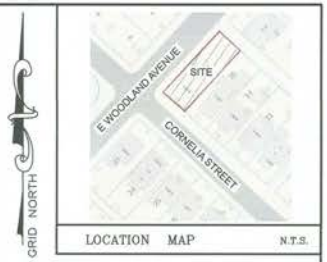
LEGEND

- (R(F)) IRON PIN FOUND
- (R(S)) IRON PIN SET
- (R) RECORDED DATA
- RCP REINFORCED CONC PIPE
- CMP CORRUGATED METAL PIPE
- LA LANDSCAPE AREA
- HANDICAP PARKING
- (15) NO. REGULAR PARKING SPACES
- CONCRETE AREA
- RIP-RAP
- UTILITY POLE
- AIR CONDITIONER PAD
- LIGHT STANDARD
- WATER VALVE
- WATER METER
- HYDRANT
- CURB INLET
- TELEPHONE MANHOLE
- IRRIGATION VALVE
- AUTOMATIC SPRINKLER
- SEWER MANHOLE
- STORM DRAIN MANHOLE
- CATCH BASIN
- WATER MANHOLE
- CLEAN-OUT
- FIRE MAIN
- ELECTRIC BOX
- BOLLARD POLE
- GREASE TRAP

TENNESSEE ONE CALL SYSTEM, INC. Dig Safely. 1-800-351-1111 www.tnenesscall.com STOP-CALL BEFORE YOU DIG!

NOTE:
THREE DAYS PRIOR TO ANY EARTHWORK OR CONSTRUCTION CONTRACTOR MUST CONTACT TENNESSEE ONE-CALL AT 1-800-351-1111
CONTRACTOR IS RESPONSIBLE TO RECORD AND SAVE CONFIRMATION NUMBER.





LOCATION MAP N.T.S.

OWNER
SANDRA CASTELLANOS
14040 NE 6TH COURT
MIAMI, FL 33181

NOTES

1) CORNER MONUMENTS AS SHOWN
2) VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3) PROPERTY SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS, AND RESTRICTIONS OF RECORD.
4) VERIFY CURRENT ZONING WITH LOCAL GOVERNMENT PLANNING AGENCY PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.

DAVID L. HURST REGISTERED LAND SURVEYOR TENNESSEE NO. 1886

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS A CATEGORY 1 SURVEY AND THAT THE RATIO OF PERCISION OF THE UNADJUSTED SURVEY IS NOT LESS THAN 1:10,000 AS SHOWN HEREON. A TITLE OPINION WAS NOT FURNISHED TO THIS SURVEYOR AND EASEMENTS SHOWN AND OR NOT APPARENT IN THE FIELD MAY OR MAY NOT BE DISCOVERED BY A TITLE SEARCH BY A TITLE ATTORNEY.

SURVEYOR
DAVID L. HURST
TENNESSEE REGISTRATION NUMBER 1886

RGC&A
ROBERT G. CAMPBELL & ASSOCIATES , L.P.
CONSULTING ENGINEERS
KNOXVILLE & SEVIERVILLE, TENNESSEE
621 Wall Street
Sevierville, Tennessee 37862
Phone: (865) 429-4683 FAX: (865) 429-4684

0' 20' 40' 60'

BOUNDARY SURVEY OF
PART OF LOTS 172,173,174

MOUNTAIN VIEW ADDITION

CITY OF KNOXVILLE, TENNESSEE
2nd CIVIL DISTRICT, KNOX, TENNESSEE
TAX MAP: 81 GROUP: R PARCEL: 1
ADDRESS: 1434 CORNELIA STREET
DEED REFERENCES: DEED BK 20230615 PG 0066939
PLAT REFERENCE: PB BOOK 5 PAGE 296

APPROVED BY: D. HURST
DRAWN BY: D. HURST

FIELD DATE: 08-28-2023
DRAWING DATE: 08-29-2023
LAST REV. DATE:

SCALE: 1" = 20'
PROJECT NUMBER: 23210

FRENCH QUARTER

GENERAL NOTES

1. ALL APPLICABLE CONSTRUCTION SHALL CONFORM TO THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (U.S.B.C.) ,2015 BASED UPON INTERNATIONAL RESIDENTIAL CODE (I.R.C.) ,2015
2. CODES GOVERN OVER DRAWING PLANS, VERIFY ALL LOCAL CODES AND SPECIFICATIONS.
3. PRIOR TO THE BEGINNING OF ANY WORK, THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL BUILDING PERMITS FOR THE CONSTRUCTION OF THIS PROJECT AS REQUIRED BY THE BUILDING INSPECTION DEPARTMENT OF THE COUNTY OR CITY THE PROJECT IS LOCATED IN.
4. BUILDING PERMITS SHALL BE PROMPTLY AND CONSPICUOUSLY POSTED AT THE BUILDING SITE AT ALL TIMES DURING CONSTRUCTION.
5. PRIOR TO COMMENCING CONSTRUCTION (ORDERING MATERIALS, ETC.) THE PERMIT CONTRACTOR IS OBLIGATED TO REPORT ANY PLAN INCONSISTENCY TO THE DESIGNER/ARCHITECT, INCLUDING DIMENSIONAL INACCURACY, SPECIFICATION CONFLICT, CODE AMBIGUITY, AND/OR STRUCTURAL INADEQUACY. FAILURE TO REPORT ANY SUCH ISSUE, IN WRITING, WAIVES ANY LIABILITY FOR RESOLUTION/ACTION ON THE PART OF THE DESIGNER/ARCHITECT.
6. ALL LUMBER USED THROUGHOUT TO BE MINIMUM No.2 STRUCTURAL GRADE

   ALL WOOD TRUSSES, T.J.I.'s & ENGINEERED LUMBER SHALL BE CERTIFIED BY THE MANUFACTURER. TRUSSES AND FRAMING MEMBERS SHALL HAVE A CAPABILITY TO SUPPORT LIVE AND DEAD LOADS AS SPECIFIED BY ALL APPLICABLE CODES, AND/OR AS FOLLOWS:

DESIGN LOAD	LIVE LOAD	DEAD LOAD
CEILING JOIST	20 P.S.F.	10 P.S.F.
LIVING AREAS	40 P.S.F.	10 P.S.F.
SLEEPING AREAS	30 P.S.F.	10 P.S.F.
ROOF AREAS	20 P.S.F.	10 P.S.F.
ATTIC AREA LTD. STORAGE	20 P.S.F.	10 P.S.F.

7. ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL BELOW LOCAL FROST LINES AS PER ALL LOCAL BUILDING CODES.
8. ALL CONCRETE SHALL BE A MINIMUM OF 3,000 P.S.I. FOR INTERIOR SLABS AND FOOTINGS, AND 3,500 P.S.I. FOR DRIVEWAYS, EXTERIOR AND GARAGE SLABS.
9. ALL INTERIOR ROOM FINISHES INCLUDING WALL AND CEILING COVERINGS FOR ROOMS OR ENCLOSED SPACES SHALL HAVE A FLAME SPREAD RATING OF 200 OR LESS.
10. ALL HEATING, VENTILATING AND AIR CONDITIONING AND/OR ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES AND ORDINANCES AND SHALL CONFORM TO STANDARD TRADE PRACTICES. REQUIRED BUILDING PERMITS SHALL BE OBTAINED AND PAID FOR BY THE RESPECTIVE TRADES.
11. TO AVOID FRAMING CONFLICTS, VERIFY ALL HVAC REQUIREMENTS PRIOR TO FRAMING.
12. COORDINATE THE LOCATION OF ALL PLUMBING PIPING WITH THE MECHANICAL AND ELECTRICAL EQUIPMENT.
13. ELECTRICAL AND PLUMBING SHALL BE ROUGHED-IN BEFORE THE FRAMING INSPECTION IS MADE.
14. ALL POTABLE WATER OUTLETS SHALL BE PROTECTED FROM CROSS CONNECTIONS.
15. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF THE NFPA 72, PER SECTION R314 SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: ONE IN EACH SLEEPING AREA, IMMEDIATELY OUTSIDE OF SLEEPING AREA, AND ON EACH STORY OF DWELLING INCLUDING BASEMENTS. DWELLINGS HAVING MORE THAN ONE SMOKE ALARM SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING PER SECTION R313.2. ALL SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE
16. ALL GLAZING NINE (9) SQ. FT. OR LARGER, WITHIN 18" OF A FLOOR, WITHIN 24" OF A DOOR, IN WALLS ENCLOSING A STAIRWAY LANDING OR WITHIN 60" OF THE TOP AND BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" OF THE WALKING SURFACE, AND ANY GLAZING WITHIN 60" OF A BATHING TUB, SHALL BE SAFETY GLASS.
17. CONTRACTOR MUST VERIFY THAT SELECTED WINDOW UNITS FOR BEDROOMS MEET EGRESS MINIMUMS FOR WIDTH AND OPENING SIZE. UNIT SIZES SHOWN ON PLANS MAY NOT MEET EGRESS FOR ALL WINDOW MANUFACTURERS.
18. PROVIDE MINIMUM CLEAR HEADROOM OF 6'-8" AT EVERY STAIR NOSING
19. PROVIDE A SOLID/20 MIN. FIRE RATED DOOR BETWEEN THE GARAGE AND THE RESIDENCE. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT. PER SECTION R-302.5.1 (I.R.C. ,2015
20. PROVIDE EXHAUST FANS, VENTED DIRECTLY TO THE OUTSIDE, IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS WITHOUT THE MINIMUM REQUIRED OPERABLE WINDOWS.
21. CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING SHALL BE INSTALLED IN ACCORDANCE WITH METHOD 3 OF SECTION R-602.10.3. FOR BRACED WALLS & IN ACCORDANCE WITH SECTION R-602.10.5 & TABLE R-602.10.5 OF THE I.R.C. ,2015
22. TERMITE TREATMENT AT PERIMETER FOUNDATIONS (TYP.)
23. ALL REQUIRED EMERGENCY EGRESS WINDOWS ARE TO COMPLY W/ SECTION 310.1.1 OF THE I.R.C. 2015. THESE WINDOW UNITS ARE TO MEET OR EXCEED THE FOLLOWING DIMENSIONS : CLEAR OPENABLE AREA OF 5.7 SQ.FT. (5.0 SQ.FT. FOR GRADE LEVEL WINDOW UNITS), CLEAR OPENABLE WIDTH OF 20", CLEAR OPENABLE HEIGHT OF 24", AND HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FINISHED FLOOR.
24. ALL T.J.I. TRUSS PROVIDED AND DESIGNED BY SUPPLIER TO SUPPORT ACTUAL LOADS
25. WINDOW NOMENCLATURE SHOWN ON THESE PLANS IS FOR ANDERSEN 400 SERIES; SUBSTITUTE WINDOWS MAY BE USED IN LIEU OF UNITS SPECIFIED PROVIDING THEY MEET EGRESS AND HAVE A GLASS U-FACTOR EQUAL OR LESS THAN .35
26. THE ELECTRICAL INSTALLATION SHALL CONFORM TO PART 8 OF THE INTERNATIONAL RESIDENTIAL CODE, 2015 AND NATIONAL ELECTRICAL CODE, 2011. A PERMIT SHALL BE SECURED PRIOR TO COMMENCEMENT OF ANY WORK.
27. ARTICLE 210-8 OF THE 2011 NATIONAL ELECTRICAL CODE REQUIRES A DEDICATED 20 AMP. CIRCUIT FOR BATHROOM RECEPTACLES THAT IS PROTECTED WITH A GROUND FAULT CIRCUIT INTERRUPTER (GFCI) ALL KITCHEN COUNTER RECEPTACLES SHALL ALSO BE PROTECTED WITH GFCI.
28. ALL WOOD/LUMBER TO BE SOUTHERN PINE #2 UNLESS OTHERWISE NOTED.
29. IRC SECTION R602.8 AND R302.11.1 FIRE/DRAFT STOPPING DETAILS: FIREBLOCKING SHALL BE PROVED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND ROOF SPACE. FIREBLOCKING SHALL BE PROVED IN WOOD-FRAME CONSTRUCTION 1. IN CONCEALED SPACES OF STUD WALLS, 1.1 VERTICALLY AT CEILING AND FLOOR LEVELS. 1.2 HORIZONTALLY AT INTERVALS, NOT EXCEEDING 10 FEET. 2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES. 3. IN SPACES BETWEEN STAIR STRINGERS AT TOP AND BOTTOM OF THE RUN. 4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILINGS AND FLOOR LEVELS, WITH AN APPROVED MATERIAL TO RESIST THE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. 5. FIREBLOCKING OF CORNICES OF A TWO FAMILY DWELLING AT THE LINE OF THE DWELLING UNIT SEPARATION. DRAFT STOPPING IS REQUIRED AS PER R302.12 IN FLOORS WHEN OPEN WEB TRUSSES ARE USED.
30. IRC SECTION R317.3.3 – PRESSURE TREATED WOOD FASTENER: FASTENERS FOR THE PRESSURE TREATED PRESERVATIVE AND FIRE RETARDANT-TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. EXCEPTION: ONE-HALF INCH DIAMETER OR GREATER STEEL BOLTS. SEE TABLE 602.3(3) FOR SHEATHING AND NAILING CODE REQUIREMENTS.
31. ALL TUB/SHOWER ENCLOSURES TO BE WATER RESISTANT UP TO 6' TYP.
32. MIN. BEARING, TO BE 1 1/2" ON WOOD, 3" ON MASONRY OR METAL
33. THE TOTAL NET FREE VENTILATING AREA SHALL BE 1/300 OF THE TOTAL AREA, BASED UPON PROVIDING AT LEAST 50% OF THE TOTAL VENTS (UP TO A MAXIMUM OF 80% OF THE TOTAL VENTS) LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3 FEET ABOVE THE EAVE VENTS, WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY EAVE VENTS. A TABLE OF PRODUCT OPTIONS IS PROVIDED BY SELECTION BY THE CONTRACTOR.
34. ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M1601.4.1 OF THE IRC CODE, 2015 EDITION.
35. STEEL BRICK LENTILS AS REQUIRED

FOUNDATION NOTES

1. PRIOR TO CONSTRUCTION, ALL ORGANIC MATERIAL, TOP SOIL AND DEBRIS SHALL BE REMOVED FROM THE BUILDING AREA.
2. ALL FOOTINGS, INCLUDING SLAB ON GRADE, SHALL BEAR ON UN-DISTURBED SOIL OR COMPACTED STRUCTURAL FILL WITH AN ALLOWABLE BEARING CAPACITY OF 1,500 PSF.
3. ALL FOUNDATION CONCRETE FOR FOOTINGS AND INTERIOR SLABS SHALL OBTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
4. BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM 12" BELOW FINISH GRADE OR AS PER LOCAL CODE REQUIREMENTS
5. EARTH FORMED FOOTINGS SHALL CONFORM TO THE SHAPE, LINES AND DIMENSIONS AS SHOWN ON THE FOUNDATION PLAN. ALL WATER SHALL BE REMOVED PRIOR TO PLACING CONCRETE.
6. ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615, GRADE 60.
7. CONCRETE PROTECTION FOR REINFORCING AS WELL AS PLACING AND FABRICATION OF REINFORCING SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS" (ACI 318)
8. ALL CONTINUOUS REINFORCING SHALL LAP 36 BAR DIAMETERS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
9. BEFORE POURING CONCRETE ALL EMBEDDED ITEMS SHALL BE PROPERLY LOCATED, ACCURATELY POSITIONED, MAINTAINED SECURELY IN PLACE AND INSPECTED.
10. NO BACKFILL SHALL BE DONE AGAINST MASONRY OR CONCRETE WALLS UNLESS ALL SLABS ARE POURED AND/OR WALLS ARE SECURELY BRACED AGAINST OVERTURNING.
11. ANY STRUCTURAL BACKFILL REQUIRED, IN ADDITION TO THE MIN. THICKNESS AS SHOWN ON THE DRAWINGS, SHALL BE PLACED IN 8 TO 10 INCH LOOSE LAYERS AND BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (A.S.T.M. D-698).
12. PIER FOOTING THICKNESS SHALL BE ONE-HALF (MINIMUM) THE WIDTH OF THE FOOTING.
13. HOLLOW PIERS SHALL BE CAPPED WITH 4 INCHES OF SOLID MASONRY OR CONCRETE.
14. PROVIDE WALL TIES, FLASHING, AND WEEP HOLES AT FLOOR LINE FOR BRICK FOUNDATION WALLS.

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1. THESE PLANS AUTHORIZE A SINGLE-USE LICENSE TO CONSTRUCT THIS HOUSE. UNAUTHORIZED USE OF THE PLANS, MORE THAN ONE TIME, IS A COPYRIGHT VIOLATION SUBJECT TO PROSECUTION BY FEDERAL LAWS TO THE FULLEST EXTENT PROVIDED. RESALE OF THE PLANS TO A THIRD PARTY, ANYONE OTHER THAN THE ORIGINAL PURCHASER OF THE SINGLE-USE LICENSE, CONSTITUTES COPYRIGHT INFRINGEMENT AND IS STRICTLY PROHIBITED.

WOOD HEADER & GIRDER SCHEDULE
AS PER TABLE R502.5(1) AND R502.5(2)

WOOD HEADER SIZE	BUILDING WIDTH	EXTERIOR BEARING WALLS								INTERIOR BEARING WALLS			
		ROOF & CEILING		ROOF, CLG. & ONE CENTER BEARING FLR.		ROOF, CLG. & ONE CLEAR FLOOR SPAN		ROOF, CLG. & TWO CENTER BEARING FLRS.		ONE FLOOR ONLY		TWO FLOORS ONLY	
		SPAN'	NO.	SPAN'	NO.	SPAN'	NO.	SPAN'	NO.	SPAN'	NO.	SPAN'	NO.
2-2x4	20'	4-0	1	3-6	1	2-11	1	2-8	1	4-1	1	2-7	1
	28'	3-1	1	2-6	1	2-3	1	2-1	1	2-10	1	1-11	1
	36'	2-7	1	2-2	1	1-10	1	1-9	1	2-4	1	1-7	1
2-2x6	20'	6-0	1	4-10	1	4-4	1	4-0	1	6-1	1	3-11	1
	28'	4-7	1	3-9	1	3-7	2	3-2	2	4-4	1	2-11	2
	36'	3-10	1	3-3	2	2-10	2	2-8	2	3-6	1	2-5	2
2-2x8	20'	7-7	1	6-1	1	5-6	2	5-0	2	7-9	1	5-0	1
	28'	5-9	1	4-10	2	4-3	2	4-0	2	5-5	1	3-8	2
	36'	4-10	2	4-1	2	3-7	2	3-5	2	4-5	2	3-1	2
2-2x10	20'	9-5	1	7-8	1	6-11	1	6-4	1	9-8	1	6-3	1
	28'	7-3	1	6-0	1	5-3	2	5-0	2	6-10	1	4-7	2
	36'	6-1	1	5-1	2	4-11	2	4-3	2	6-3	1	3-10	2
2-2x12	20'	9-0	1	7-3	2	6-7	2	6-0	2	9-2	1	5-11	2
	28'	6-10	2	5-8	2	5-0	2	4-9	2	6-6	2	4-4	2
	36'	5-9	2	4-10	2	4-2	2	4-0	2	5-3	2	3-7	2
3-2x10	20'	11-3	1	9-1	1	8-3	2	7-6	2	11-5	1	7-5	1
	28'	8-7	1	7-2	2	6-3	2	5-11	2	8-1	1	5-6	2
	36'	7-3	2	6-1	2	5-3	2	5-1	2	6-7	2	4-6	2
2-2x12	20'	10-7	2	8-6	2	7-9	2	7-0	2	10-9	1	6-11	2
	28'	8-1	2	6-8	2	5-11	2	5-7	2	7-7	2	5-2	2
	36'	6-10	2	5-8	2	4-11	3	4-9	3	6-3	2	4-3	3
3-2x12	20'	13-2	1	10-8	2	9-8	2	8-10	2	13-6	1	8-8	2
	28'	10-1	2	8-5	2	7-5	2	7-0	2	9-6	2	6-5	2
	36'	8-6	2	7-2	2	6-2	2	5-11	2	7-9	2	5-4	2

BUILDING DESIGN LOADS

ROOF DEAD LOAD	20 p.s.f.
ROOF LIVE LOAD	20 p.s.f.
ATTICS (w/ LIMITED STORAGE) LIVE LOAD	20 p.s.f.
DECK LIVE LOAD	40 p.s.f.
ROOMS (OTHER THAN SLEEPING) LIVE LOAD	40 p.s.f.
SLEEPING ROOMS LIVE LOAD	30 p.s.f.
STAIR LIVE LOAD	40 p.s.f.
GROUND SNOW LOAD	10 p.s.f.
SLAB ON GRADE	100 p.s.f.
WIND LOAD	100 p.s.f.
WIND EXPOSURE	B
SEISMIC DESIGN CATEGORY	A

BUILDING CLASSIFICATION

USE GROUP : R-5 (RESIDENTIAL)

TYPE CONSTRUCTION : 5-B

CODE & EDITION EMPLOYED :
THE INTERNATIONAL RESIDENTAIL CODE 2015

BUILDING AREA PER UNIT

FIRST FLOOR	549.00 S.F.
SECOND FLOOR	849.00 S.F.
TOTAL LIVING AREA	1,398.00 S.F.
GARAGE	251.00 S.F.
ENTRY PORCH/PATIO	108.00 S.F.
TOTAL BUILDING AREA	1,757.00 S.F.

DOWN HOME PLANS
DESIGNED FOR TODAY'S LIFESTYLE

4356 BONNEY ROAD
BUILDING 3, SUITE 102
VIRGINIA BEACH, VA 23452
(757) 498-9800
WEBSITE:
WWW.DOWNHOMEPLANS.COM

DATE	REVISIONS

PORTFOLIO PLAN
PROJECT NAME: FRENCH QUARTER
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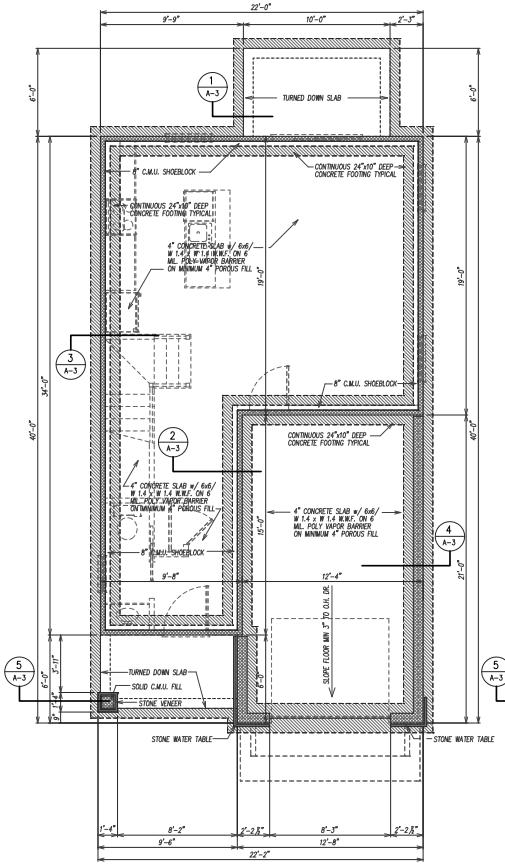
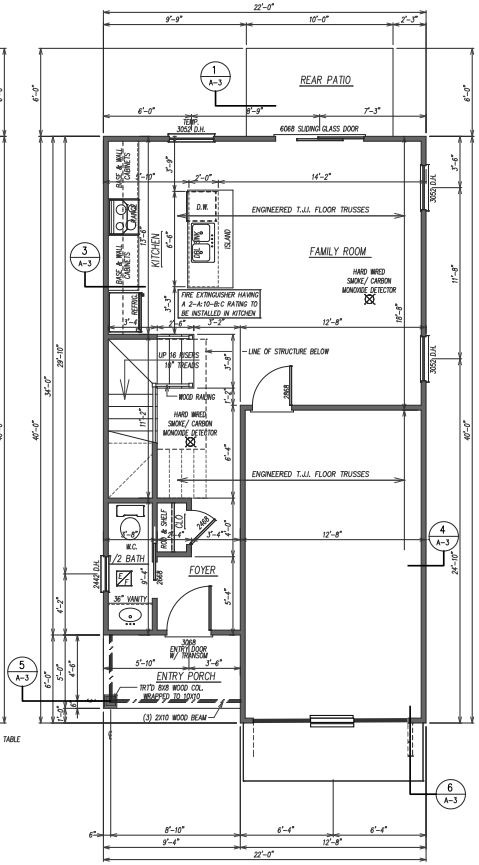
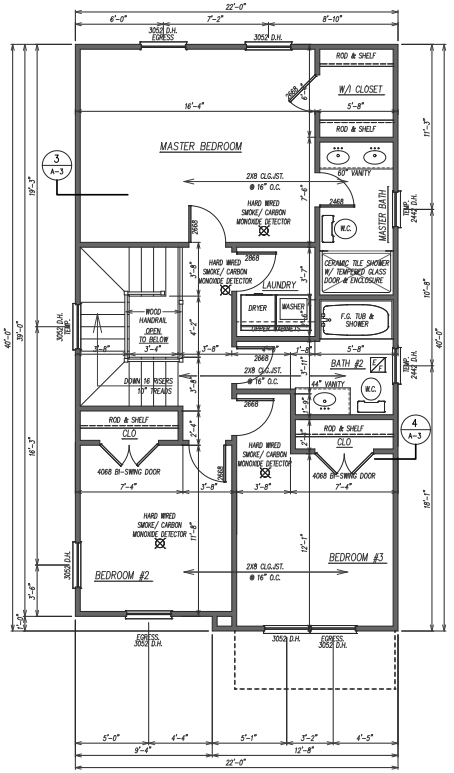
ONE-TIME USE ONLY

COVER

SHEET : A-0 OF 3
DATE : APRIL 4, 2022
SCALE : As Noted
DRAWN : BMA & LRM
CHECKED BY:







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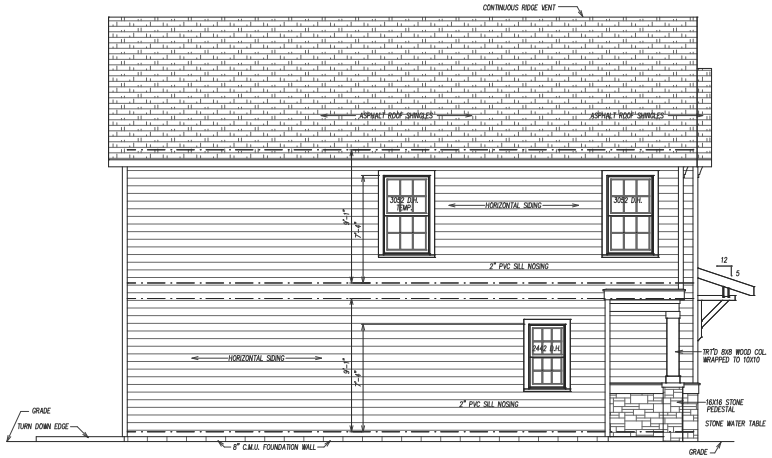
PORTFOLIO PLAN
PROJECT NAME: FRENCH QUARTER

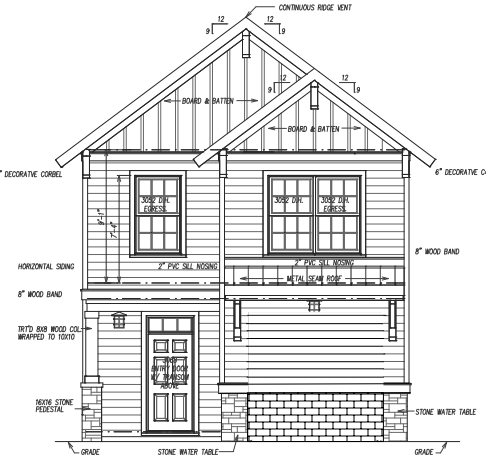
FLOOR PLANS

SHEET : A-1 OF 3
DATE : APRIL 4, 2022
SCALE : As Noted
DRAWN : B.M.A. & L.R.M.
CHECKED BY:



LEFT SIDE ELEVATION

SCALE : 1/4" = 1'-0"



FRONT ELEVATION

SCALE : 1/4" = 1'-0"

RIGHT SIDE ELEVATION

SCALE : 1/4" = 1'-0"

REAR ELEVATION

SCALE : 1/4" = 1'-0"

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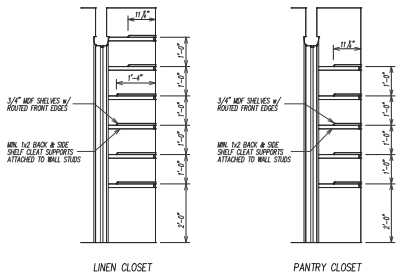
PORTFOLIO PLAN
PROJECT NAME: FRENCH QUARTER

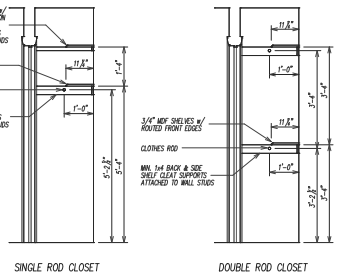
ELEVATIONS

SHEET : A-2 OF 3
DATE : APRIL 4, 2022
SCALE : As Noted
DRAWN : B.M.A. & L.R.M.
CHECKED BY:



TYPICAL SHELVING DETAIL

SCALE : 1/2" = 1'-0"



TYP. CLOSET SHELVING DETAIL

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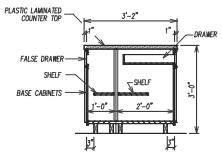

TYP. KITCHEN ISLAND DETAIL

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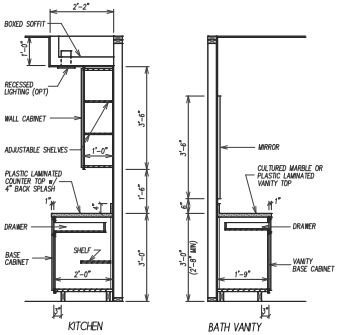

TYPICAL CABINET DETAIL

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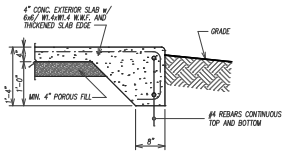
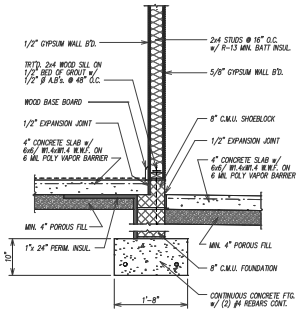


1 SECTION DETAIL

SCALE : 3/4" = 1'-0"



2 SECTION DETAIL

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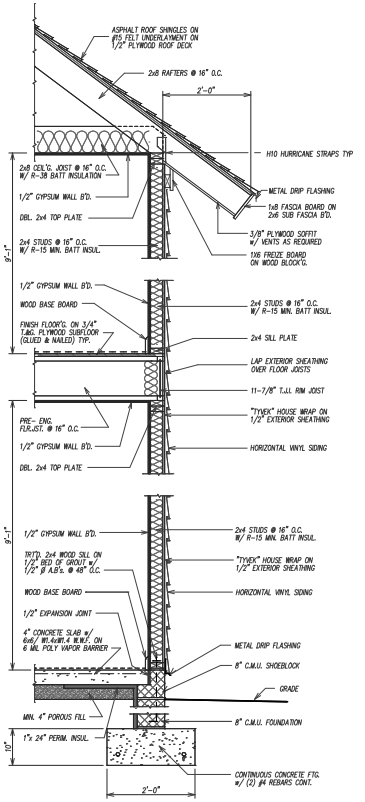
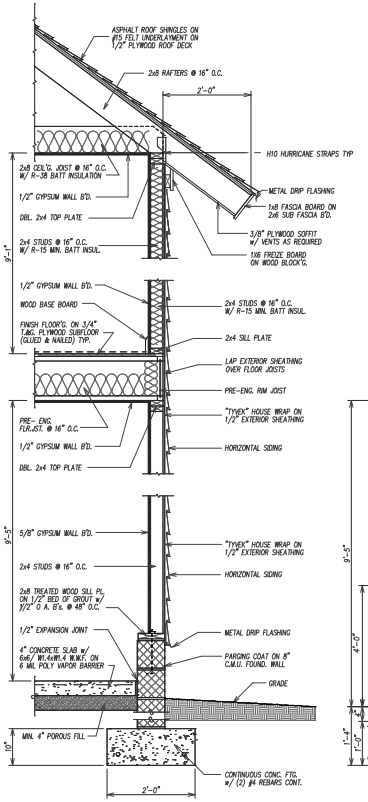


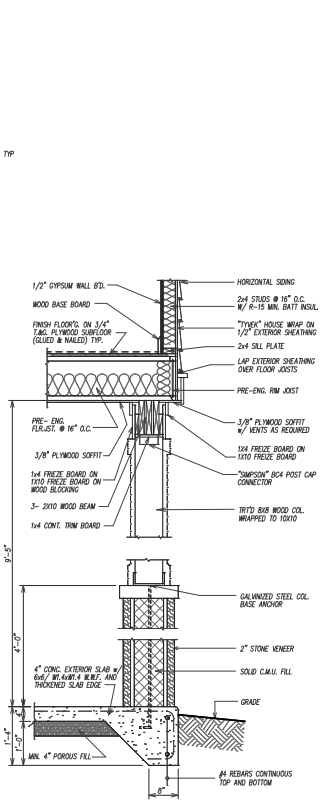
3 SECTION DETAIL

SCALE : 3/4" = 1'-0"



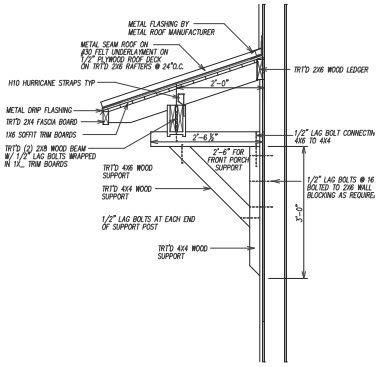
4 SECTION DETAIL

SCALE : 3/4" = 1'-0"



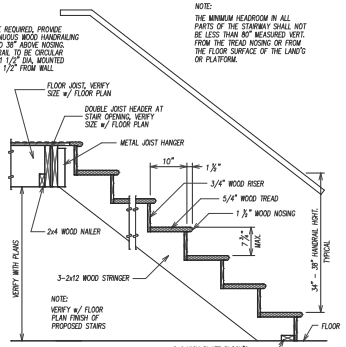
5 SECTION DETAIL

SCALE : 3/4" = 1'-0"



6 SECTION DETAIL

SCALE : 3/4" = 1'-0"



TYPICAL STAIR DETAIL

SCALE : 3/4" = 1'-0"

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PORTFOLIO PLAN
PROJECT NAME: FRENCH QUARTER

SECTION DETAILS

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CHECKED BY: