



# Staff Report

Infill Housing Design Review Committee

File Number: 3-A-23-IH

**Meeting:** 3/15/2023  
**Applicant:** Aaron Jernigan  
**Owner:** Aaron Jernigan

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## Property Information

**Location:** 117 E. Springdale Ave. **Parcel ID** 81 F S 025  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**District:** Oakwood/Lincoln Park Infill Housing Overlay District

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## Description of Work

Level III New Primary Structure

Revision to new primary structure fronting E. Springdale Ave. House is now a one-story residence with a cross-gable roof (10/12 pitch, clad in asphalt shingles), an exterior of fiber cement lap siding, and a parge-coated CMU foundation. The house will be set 22'-6" from the front property line. The parking is proposed to be accessed from the alley, featuring an 17' by 34' parking pad with an additional turnaround to the rear of the ADU.

The façade (southeast) features a projecting, one-story front-gable massing on the right side with a cutaway bay, and partial-width, flat-roof porch supported by square wood posts on the left side. The right (northeast) side features a centered shed-roof massing, with a centered gable-roof massing on the left side. A flat-roof, screened-in porch projects from the rear corner. Windows are one-over-one, double-hung and single light composite.

A 23'-4" by 16' accessory dwelling unit is located to the rear left (north) corner of the property. The shed-roof building is clad in fiber cement lap siding, with single-light casement windows and a half-light entry door.

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## Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

### 1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- When several infill houses, porches and the habitable portion of each house should be about the same distance from the street as the original houses.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

### 2. House Orientation and Side Yards

- New housing should be proportional to the dimensions of the lot and other houses on the block.
  - Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses
-

consistent.

### 3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations.
- On streets without alleys, garages or parking pads should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- Alley oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.

### 4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to the other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- If extensions or bays were typically part of the neighborhood's historic house design, such elements should be incorporated into infill housing.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

### 5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12' toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development.

### 6. Windows and Doors

- When constructing new houses, the windows and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

### 7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Infill neighborhoods.

### 8. Siding Materials

- Clapboard-like materials should be used in constructing new housing where painted wood siding was traditionally used.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

### 11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or

more in depth to front of house.

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## Comments

1. The new house will be set 22'-6" from the front property line. The average front setback of the block is 24', with adjacent houses set 22' and 19'. The front setback will maintain a consistent streetscape along the block. The site plan includes a walkway to the front sidewalk.
2. The block is characterized by one-and-one-half story Queen Anne cottages and Craftsman bungalows. The 34' wide, three-bay façade is proportional to the dimensions of the lot and other houses on the block. The side yard setbacks are evenly spaced along the block.
3. The proposed parking meets the Infill Housing design guidelines as located behind the main house and accessible from the alley. Final modifications may be necessary to meet City Engineering standards and the impervious surface limits of the RN-2 zoning.
4. The façade is compatible in width and scale with original houses on the block. The overall design contains projecting bays and massing details compatible in scale with the context, and the foundation height reflects those on original houses in the neighborhood.
5. The design includes an 8' deep, partial-width porch on the left half of the façade.
6. The selected windows are similar in style to historic houses on the block. The façade demonstrates similar proportion and positioning to the context, and the side elevations demonstrate sufficient transparency.
7. The 10/12 roof pitch and complex rooflines are appropriate for the historic context.
8. The roof, siding, and foundation materials meet the design guidelines.
9. The final site plan includes multiple new and existing shade trees.
10. The ADU meets the Infill Housing design guidelines for accessory structures, being placed behind the primary structure on the lot. The ADU is modest in size and scale and will be minimally visible from the primary street.

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## Recommendation

Staff recommends approval of Certificate 3-A-23-IH, subject to the following condition: 1) final site plan to meet City Engineering standards and remain within coverage limits of the RN-2 zoning.



**3-A-23-IH**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

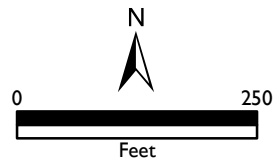
Applicant: Aaron Jernigan

**INFILL  
HOUSING  
REVIEW  
BOARD**



117 E. Springdale Ave.  
Oakwood/Lincoln Park Infill Housing Overlay  
District

Original Print Date: 3/2/2023  
Revised:  
Knoxville/Knox County Planning - Infill Housing Design Review Committee





# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Aaron Jernigan

Applicant

02.25.2023

03.15.2023

3-A-23-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Aaron Jernigan

@a

Name

Company

529 Atlantic Avenue

Knoxville

Tn

37917

Address

City

State

Zip

270.608.2429

aaron\_jernigan93@outlook.com

Phone

Email

## CURRENT PROPERTY INFO

Aaron Jernigan + Anna Schnuck

529 Atlantic Avenue

270.608.2429

Owner Name (if different from applicant)

Owner Address

Owner Phone

117 East Springdale Avenue

081FS025

Property Address

Parcel ID

Oakwood-Lincoln Park

RN-2

Neighborhood

Zoning

## AUTHORIZATION




Lindsay Crockett

2.27.23

Staff Signature

Please Print

Date



Aaron M Jernigan

02.25.2023

Applicant Signature

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
      Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

Brief description of work: The project involves construction of a new single-family home and ADU. See cover sheet for design intent description.  
 \_\_\_\_\_  
 \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

**FEE 1:**

50.00

**FEE 2:**

**FEE 3:**

**TOTAL:**

50.00

# Digs Deep

is an urban-infill housing development proposed for the Oakwood neighborhood of North Knoxville. The design seeks to pay homage to the many folk victorian homes of Springdale Avenue and the surrounding streets without slipping into a bathos of historicism. Historic forms, proportions, and textures are evoked, while using contemporary methods and arrangements consistent and identifiable with our own period in history. Being proposed for what has always been a working class neighborhood, Digs Deep is humble where it can be to allow budget for quality building materials that will patina well, like those used in the turn-of-the-century Oakwood neighborhood development. Digs Deep serves as a link between the commercial district, affectionately and informally dubbed "Deep Central" and the Oakwood neighborhood proper.



Infill Housing - Review Package: 02-25-2023  
 Schematic Design Package: 02-25-2023

Sheet Index

TO.0	Cover Sheet
TO.1	Information Sheet
T1.1	Survey
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T2.2	ResCheck (ADU)
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A0.1	Site Plan
A1.0	Foundation Plans (MDU + ADU)
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A1.2	Floor Plan (ADU)
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A2.2	Systems Plan (MDU)
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A7.1	Interior Elevations



a proposed single-family dwelling and accessory dwelling unit, dubbed:

## Digs Deep

117 East Springdale Avenue  
Knoxville, Tennessee 37917

THESE PLANS ARE  
INCOMPLETE AND THIS  
ARE NOT INTENDED FOR  
CONSTRUCTION.

Phase: CD  
Date: 02.25.2023

Revisions to Sheet:

#	Date

#: 2102

Cover Sheet

# TO.0

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a proposed single-family dwelling and accessory dwelling unit, dubbed:

Digs Deep

117 East Springdale Avenue  
Knoxville, Tennessee 37917

THESE PLANS ARE  
INCOMPLETE AND THIS  
ARE NOT INTENDED FOR  
CONSTRUCTION.

Phase: CD  
Date: 02.26.2023

Revisions to Sheet:

#	Date

# : 2102

Information Sheet

T0.1

**OWNER:** Aaron Jernigan + Anna Schmuck  
529 Atlantic Avenue  
Knoxville, Tennessee 37917

**DESIGNER:** @anomalous anonymous  
Aaron Jernigan  
529 Atlantic Avenue  
Knoxville, Tennessee 37917  
aaron\_jernigan@icloud.com  
270.608.2429

**GC:** TBD  
CONTACT: TBD  
ADDRESS: TBD  
PHONE NUMBER: TBD

**ZONING DISTRICT:** RN-2 (RESIDENTIAL NEIGHBORHOOD DISTRICT)

**PARCEL ID:** 081F5025

**OVERLAY(S):** IH (INFILL HOUSING)

**FIRE DISTRICT:** NO

**DEVELOPMENT TYPE:** SINGLE-FAMILY RESIDENCE + DETACHED ADU

**USE PERMITTED:** YES

**LOT WIDTH:** 50'

**LOT AREA:** 7,266 SF

**BUILDING HEIGHT:** 10'-10"

**BUILDING FOOTPRINT AREA (MDU):** 1,900 sf

**BUILDING FOOTPRINT AREA (ADU):** 397 sf

**BUILDING FOOTPRINT AREA (TOTAL):** 1,697 sf

**BUILDING COVERAGE (30% MAX.):** 23.3%

**OVERHANGS (MDU):** 49' sf

**IMPERVIOUS SIDEWALKS:** 355 sf

**IMPERVIOUS DRIVEWAYS:** 160 sf

**SEMI-PERVIOUS DRIVEWAYS:** 762 sf

**50% DEDUCTION:** 378 sf

**SEMI-PERVIOUS GROUND GUTTER:** 233 sf

**50% DEDUCTION:** 107 sf

**IMPERVIOUS SURFACE AREA:** 2,782 sf

**IMPERVIOUS SURFACE COVERAGE (40% MAX.):** 38.3%

**FLOOR AREA (MDU):** 998 sf

**FLOOR AREA (ADU):** 373 sf

**FLOOR AREA (TOTAL):** 1,371 sf

**PORCH AREA (MDU):** 142 sf

**DECK AREA (MDU):** 159 sf

**STOOP (ADU):** 24 sf

**UNENCLOSED AREA (TOTAL):** 325 sf

**ADU-TO-MDU RATIO (40% MAX.):** 23.7%

**TYPICAL NOTES:**

- FLOOR AREA IS MEASURED TO OUTSIDE FACE OF STRUCTURAL PORTION OF WALL.

**APPLICABLE CODES:** 2018 INTERNATIONAL RESIDENTIAL CODE (ORDINANCE 0182-2018)

**SPRINKLERED:** NO

**CLIMATE ZONE:** 4A

**ENERGY CODE COMPLIANCE:** RESCHECK

Project Contracts

Zoning Review

Area Calculations

Scope of Work

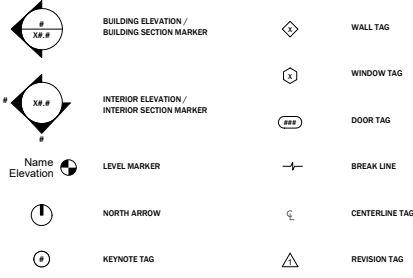
Code Review

- (A) ACCESSORY DWELLING UNIT
- ACH ABOVE-COUNTER HEIGHT
- AFF AFF
- AHU AIR HANDLING UNIT
- CI CONTINUOUS-INSULATION
- CIP CAST-IN-PLACE
- CJ CLOTHES DRYING UNIT
- CMU CONCRETE MASONRY UNIT
- CU CONCRETE UNIT
- CWU CLOTHES WASHING UNIT
- (D) DEMURFIFYING UNIT
- DIA DIAMETER
- DS DOWNSPOUT
- DWU DISHWASHING UNIT
- (E) EXPANSION JOINT
- EW EACH WAY
- EP ELECTRICAL PANEL
- EQ EQUAL
- (F) FINISH FLOOR ELEVATION
- FRT FIRE-RETARDANT TREATED
- FOF FACE OF FINISH
- FOB FACE OF BRICK
- FOS FACE OF STUD
- (G) GENERAL CONTRACTOR
- (H) HOSE BIB
- HH HEAD HEIGHT
- IC INSULATION CONTACT
- IS-OV INDUCTION STOVE + OVEN COMBINATION UNIT
- (L) LIGHT-EMITTING DIODE
- (M) MAXIMUM
- MDF MAIN DWELLING UNIT
- MFR 50% DEDUCTION
- MIL ONE THIRDSMIDTH OF AN INCH
- MIN MINIMUM
- (N) NO ADDED UREA FORMALDEHYDE
- NIC NOT IN CONTRACT
- NTS NOT TO SCALE
- (O) ON CENTER
- OH OPPOSITE HAND
- OPI OWNER PROVIDED; CONTRACTOR INSTALLED
- OSB ORIENTED STRAND BOARD
- OVHG OVERHANG
- (P) PAINT
- PLT PORCELAIN TILE
- PT PRESSURE-TREATED
- (R) REFRIGERATOR + FREEZER COMBINATION UNIT
- RHS ROD + SHELF
- RO ROUGH OPENING
- (S) SIMILAR CONDITION
- SHC SOLAR HEAT GAIN COEFFICIENT
- SPST SINGLE POLE SINGLE THROW SWITCH
- SPOT SINGLE POLE DOUBLE THROW SWITCH
- SPT SINGLE POLE TRIPLE THROW SWITCH
- SSM SOLID-SURFACE MATERIAL
- STN STAIN
- S4S SURFACED ON FOUR SIDES
- (T) TO BE DETERMINED IN A LATER PHASE
- TYP TYPICAL OF LIKE CONDITIONS
- THR TRASH + RECYCLING RECEPTACLE
- (U) UNFINISHED
- UNO UNLESS NOTED OTHERWISE
- (V) VENT HOOD
- VIR VERIFY IN FIELD
- VFR VENT TO ROOF
- (W) WOOD BASE BOARD
- W-D WASHER + DRYER COMBINATION UNIT
- WBS WOOD-BURNING STOVE UNIT
- WHS WATER HEATING UNIT
- WPI WEATHER-PROTECTED UNIT
- WRB WEATHER-RATED BARRIER
- WOR WALL OPENING - RECTANGULAR
- WOL WALL OPENING - ARCHED
- WWF WELDED WIRE FABRIC
- (?) TO BE DETERMINED (PRIOR TO CONTRACT DATE)

Abbreviations

- THE GENERAL CONTRACTOR SHALL BE FULLY LICENSED AND INSURED TO PERFORM THE WORK AND SHALL PROVIDE CERTIFICATES TO THE OWNER AS PROOF THEREOF.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN CLARIFICATION FROM THE DESIGNER PRIOR TO CONSTRUCTION OF THE AREAS IN QUESTION.
- DIMENSIONS ARE TAKEN FROM FACE OF FRAMING OR FROM FACE OF STRUCTURAL MASONRY UNLESS NOTED OTHERWISE, WHICH FACE IS DIMENSIONED TO VARY BASED ON CONTEXT. IF DIMENSIONS ARE IN QUESTION, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN CLARIFICATION FROM THE DESIGNER PRIOR TO CONSTRUCTION OF THE AREAS IN QUESTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF THE PROJECT (DESIGN INTENT THEREOF REPRESENTED IN THESE DOCUMENTS) USING PROPER MEANS, METHODS, AND MATERIALS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ALL CODES, MANUFACTURERS' INSTALLATION INSTRUCTIONS, AND MANUFACTURERS' WARRANTY STIPULATIONS PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS REQUIRED.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, TIE-IN, FEES, AND PERMITTING OF ALL CONNECTIONS TO PUBLIC UTILITIES AS REQUIRED FOR THE PROJECT.
- THE GENERAL CONTRACTOR AGREES TO PROVIDE SUBMITTALS FOR ALL PRODUCTS AND MATERIALS USED ON THE PROJECT AND WITHIN THE GENERAL CONTRACTOR'S SCOPE OF WORK TO INCLUDE PRODUCT INFORMATION, PHYSICAL SAMPLES, AND SHOP DRAWINGS (WHEN APPLICABLE). GENERAL CONTRACTOR AGREES TO PROVIDE A SCHEDULE OF SUBMITTALS AND PROJECTED DATES TO THE DESIGNER FOR REVIEW PRIOR TO CONSTRUCTION. ALL SUBMITTALS SHOULD BE CLEARLY LABELLED WITH A SUBMITTAL NUMBER, TITLE, AND DATE. ANY REVISED SUBMITTALS SHOULD BE LABELLED WITH THE PREVIOUS SUBMITTAL NUMBER AND A REVISION NUMBER FOLLOWING.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY OF ANY INCONSISTENCIES OR CONFLICTS IN THE DRAWINGS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO MAKE THE DESIGNER AWARE OF ANY LACK OF INFORMATION TO ESTABLISH AN APPROPRIATE BID PRIOR TO A BID BEING PRESENTED.
- ALL WORK IS TO RECEIVE PROPER INSPECTIONS. ANY WORK COVERED PRIOR TO A PASSING INSPECTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO UNCOVER AND REPLACE ANY AND ALL DAMAGED FINISHES AT AN ADDITIONAL COST TO THE OWNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROVISION OF DESIGN AS NECESSARY OF ALL FLOOR AND ROOF STRUCTURAL COMPONENTS AND IS RESPONSIBLE FOR THE PROVISION OF ANY ENGINEERING REQUIRED BY BUILDING CODES OR LOCAL ORDINANCES. INDICATIONS IN THESE DOCUMENTS ARE FOR GENERAL CONFIGURATION REFERENCE AND OVERALL DIMENSIONAL COORDINATION ONLY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND COORDINATION OF ALL MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS, AND IS RESPONSIBLE FOR THE PROVISION OF ANY ENGINEERING REQUIRED BY BUILDING CODES OR LOCAL ORDINANCES. LOCATIONS OF SERVICE PANELS, SUB PANELS, SHUT-OFFS, AND OTHER CONTROL DEVICES OR EQUIPMENT SHOULD BE COORDINATED WITH THE OWNER OR DESIGNER, WHERE NOT SHOWN ON THE DRAWINGS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE GRADING DESIGN, SUB-SURFACE DRAINAGE COORDINATION, SITE SITUATION, RUNOFF PREVENTION AND FINAL DRAINAGE CONFIGURATION FOR THE SITE.
- THESE DRAWINGS ARE ISSUED WITHOUT A PROJECT MANUAL.
- WORKMANSHIP SHALL BE EQUAL OR ABOVE ACCEPTED STANDARDS FOR CUSTOM-GRADE RESIDENTIAL CONSTRUCTION.
- THESE DRAWINGS ARE INTENDED TO ESTABLISH THE DESIGN INTENT BUT NOT TO COMPLETELY DEFINE THE MEANS AND METHODS OF CONSTRUCTION. THE GENERAL CONTRACTOR ASSUMES RESPONSIBILITY TO ENSURE SOUND AND FUNCTIONAL STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL FINISH FLOORS (CERAMIC TILE, STONE TILE, HARDWOOD, ETC.), THEIR RESPECTIVE SUBSTRATES, AND ANY FLOOR HEATING SYSTEMS SHALL RESULT IN A FLUSH SURFACE THROUGHOUT. VERIFY FINAL SELECTIONS OF ALL FINISH MATERIALS AND FLOOR HEATING EQUIPMENT PRIOR TO FRAMING.
- CONCEAL ALL PIPING BEHIND WALL FINISH. WHERE PIPING IS TOO LARGE, OBTAIN DESIGNER'S APPROVAL FOR WALLS TO BE FURRED OUT TO CONCEAL PIPING.
- CONCEAL ALL DUCTWORK WITHIN CHASES. WHERE NO CHASE IS PROVIDED OR CHASE IS TOO SMALL, OBTAIN DESIGNER'S APPROVAL TO ADD OR INCREASE SIZE OF CHASE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR DETERMINING WHERE BLOCKING WILL BE REQUIRED BASED ON WALL-MOUNTED EQUIPMENT, FIXTURES, CASEWORK, ETC. SHOWN ON THE DRAWINGS. ANY QUESTION REGARDING THE PROVISION OF BLOCKING SHOULD BE VERIFIED WITH DESIGNER PRIOR TO INSTALLATION OF FINISHES.
- THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE FOR ADEQUATE TEMPORARY PROTECTION FROM THE WEATHER AS REQUIRED TO ENSURE PROPER INTEGRITY AND PRODUCT WARRANTIES ARE MAINTAINED.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROTECT THE SITE FROM CRIMINAL ACTIVITY, ANY DAMAGES OR THEFT THAT OCCURS ON THE JOBSITE ARE TO BE REMEDIED AT NO ADDITIONAL COST TO THE OWNER.
- THE GENERAL CONTRACTOR IS TO KEEP THE JOB SITE CLEAR OF TRASH AND DEBRIS AND REMOVE ALL OTHER WASTE MATERIAL PRIOR TO SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE.
- THE GENERAL CONTRACTOR IS TO PROVIDE A THOROUGH AND PROFESSIONAL CLEANING PRIOR TO SUBSTANTIAL COMPLETION.
- THE GENERAL CONTRACTOR IS TO PRESENT A MANUAL TO THE OWNER UPON COMPLETION CONTAINING ALL PRODUCT PERFORMANCE AND WARRANTY INFORMATION.
- THE GENERAL CONTRACTOR IS TO EMPLOY A LICENSED SURVEYOR FOR PROPER SITING OF THE BUILDING. DESIGNER SHALL APPROVE THE BUILDING LOCATION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FINAL VERIFICATION OF TREES AND OTHER SITE ELEMENTS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
- ALL TOPSOIL AT AFFECTED SITE AREAS IS TO BE REMOVED AND STORED ON-SITE FOR REUSE.
- THE GENERAL CONTRACTOR IS TO TAKE NECESSARY PRECAUTIONS TO PROTECT SURROUNDINGS PROPERTY, STREETS, SIDEWALKS, SITE ELEMENTS, ETC. DURING CONSTRUCTION. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE CAUSED AS A RESULT, AT NO ADDITIONAL COST TO THE OWNER.

General Notes



ALLOWANCE 01: APPLIANCES

COOKER (MDU): \$800

DISHWASHER (MDU): \$2,000

REFRIGERATOR + FREEZER (MDU): NONE (OPCI)

WASHER + DRYER (MDU): NONE (OPCI)

COOKER (ADU): \$800

DISHWASHER (ADU): \$600

REFRIGERATOR + FREEZER (ADU): \$800

WASHER + DRYER (ADU): NONE (OPCI)

TOTAL: \$4,000

ALLOWANCE 02: WINDOW COVERINGS

ROMAN SHADES (MDU): \$2,400

BLINDS (ADU): \$60

TOTAL: \$2,460

ALLOWANCE 03: FIXTURES + ACCESSORIES

SINK + FAUCET (MDU KITCHEN): GC DETERMINED

LAVATORY + FAUCET (MDU TOILET): \$300

TOILET (MDU TOILET): GC DETERMINED

MEDICINE CABINET / MIRROR (MDU TOILET): GC DETERMINED

ACCESSORIES (MDU TOILET): GC DETERMINED

LAVATORIES + FAUCETS (MDU WASHROOM): GC DETERMINED

TOILET (MDU WASHROOM): GC DETERMINED

TUB INSERT (MDU WASHROOM): \$1,000

SHOWER HEAD (MDU WASHROOM): GC DETERMINED

MEDICINE CABINETS / MIRRORS (MDU WASHROOM): GC DETERMINED

ACCESSORIES (MDU WASHROOM): GC DETERMINED

SINK + FAUCET (ADU KITCHEN): GC DETERMINED

POT RACK (ADU KITCHEN): GC DETERMINED

LAVATORY + FAUCET (ADU WASHROOM): GC DETERMINED

TOILET (ADU WASHROOM): GC DETERMINED

TUB INSERT (ADU WASHROOM): GC DETERMINED

SHOWER HEAD (ADU WASHROOM): GC DETERMINED

MEDICINE CABINET / MIRROR (ADU WASHROOM): GC DETERMINED

ACCESSORIES (ADU WASHROOM): GC DETERMINED

TOTAL: \$1,300 + GC DETERMINED

ALLOWANCE 04: LANDSCAPE

DESIGN FEE: \$3,500

MATERIAL + INSTALLATION: \$9,500

TOTAL: \$13,000

Allowances

ALTERNATE 01: METAL SHIMMETAL...

INVOLVES USING AN EXPOSED FASTENER METAL PANEL ON LOW SLOPE ROOFS (BELOW 4:3:2) IN LIEU OF SPECIFIED SYSTEM.

BASE BIDE CONDITION: AS SHOWN ON DRAWINGS

ALTERNATE 02: WHY NOT THE ADU!

INVOLVES REMOVING ANY SCOPE RELATED TO THE ADU FROM THE PROJECT.

BASE BIDE CONDITION: AS SHOWN ON DRAWINGS

Alternates

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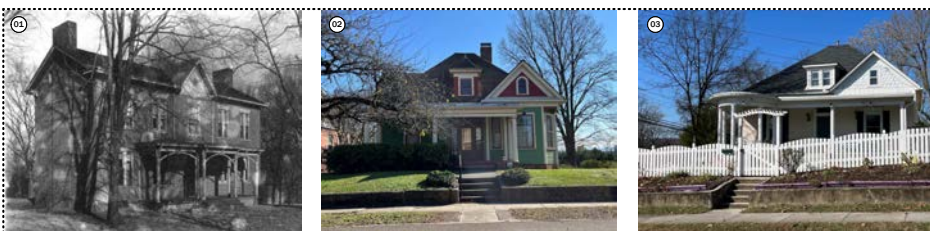
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Design Concepts

**T3.1**



PORCH ROOF + ACCENTUATED RAKE



CUTAWAY BAYS



MIXED ARCHED + RECTILINEAR FENESTRATIONS



1/1 DOUBLE HUNG WINDOWS + 1 LITE FIXED WINDOWS



GINGERBREAD DETAIL (INSPIRATION FOR HOUSE NUMBERS)



- |   |  |  |
|---|--|--|
| <p>01 NAME: CEDAR GROVE<br/>LOCATION: 1304 OGLEWOOD<br/>CITATION BELOW<br/>VIA: UNKNOWN<br/>CIRCA: UNKNOWN</p> <p>02 NAME: UNKNOWN<br/>LOCATION: 810 EAST SCOTT<br/>AARON JERNIGAN<br/>2022</p> <p>03 NAME: UNKNOWN<br/>LOCATION: 501 EAST OAK HILL<br/>AARON JERNIGAN<br/>2022</p> <p>04 NAME: UNKNOWN<br/>LOCATION: 422 EAST SPRINGDALE<br/>AARON JERNIGAN<br/>2022</p> <p>05 NAME: UNKNOWN<br/>LOCATION: 410 EAST SPRINGDALE<br/>AARON JERNIGAN<br/>2022</p> | <p>06 NAME: UNKNOWN<br/>LOCATION: 214 EAST SPRINGDALE<br/>AARON JERNIGAN<br/>2022</p> <p>07 NAME: LOU-MAR<br/>LOCATION: 505 EAST SCOTT<br/>AARON JERNIGAN<br/>2022</p> <p>08 NAME: UNKNOWN<br/>LOCATION: 510 EAST SCOTT<br/>AARON JERNIGAN<br/>2022</p> <p>09 NAME: OAK HILL<br/>LOCATION: FORMER SAINT MARY'S HOSPITAL SITE<br/>CITATION BELOW<br/>VIA: UNKNOWN<br/>CIRCA: UNKNOWN</p> <p>10 NAME: UNKNOWN<br/>LOCATION: 315 EAST BURWELL<br/>AARON JERNIGAN<br/>2022</p> | <p>11 NAME: UNKNOWN<br/>LOCATION: 2426 HARVEY<br/>AARON JERNIGAN<br/>2022</p> <p>12 NAME: OAKWOOD SALES OFFICE<br/>LOCATION: CORNER OF CENTRAL + SPRINGDALE<br/>CITATION BELOW<br/>VIA: UNKNOWN<br/>CIRCA: UNKNOWN</p> <p>13 NAME: UNKNOWN<br/>LOCATION: 406 EAST SPRINGDALE<br/>AARON JERNIGAN<br/>2022</p> <p>14 NAME: UNKNOWN<br/>LOCATION: 301 EAST BURWELL<br/>GOOGLE EARTH<br/>2022</p> <p>15 NAME: UNKNOWN<br/>LOCATION: 1007 LITRELL<br/>GOOGLE EARTH<br/>2019</p> |
|---|--|--|

CITATION: HISTORIC OAKWOOD AND LINCOLN PARK BY DOUGLAS S. MCDANIEL, PARK CITY PRESS, PRINTED IN 2010.

References

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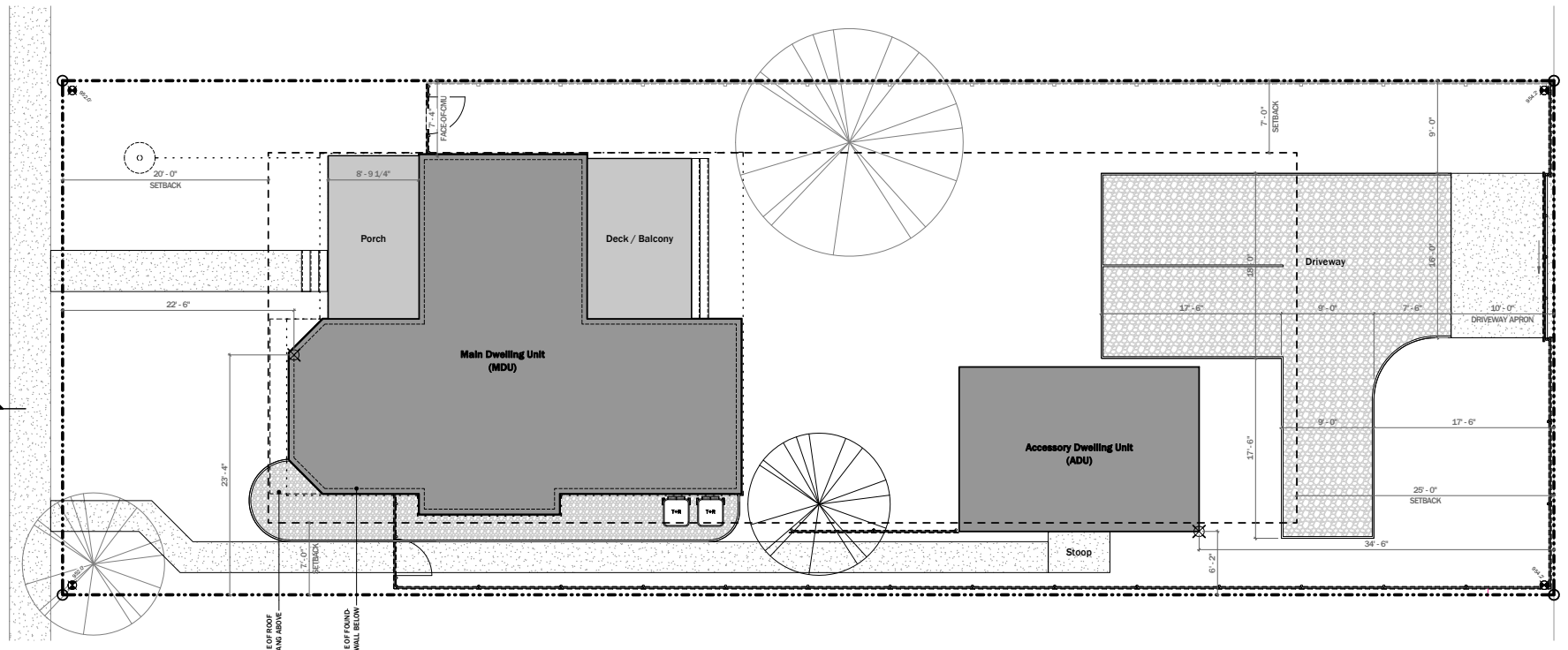
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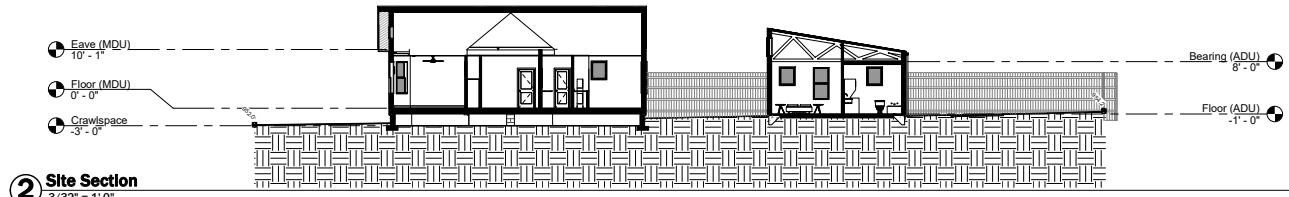
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Site Plan

**A0.1**



**1 Site Plan**  
3/16" = 1'-0"



**2 Site Section**  
3/32" = 1'-0"

**Site Plan Legend**

PROPOSED BUILDING FOOTPRINT	OVERHEAD OUTLINE	PROPERTY BOUNDARY	PROPOSED CONCRETE WALK/DRIVE WAY WITH BROOM FINISH	PROPOSED BOUNDED ROCK GARDEN (SEE WALL SECTIONS + DETAILS)	PROPOSED FENCING EXTENTS
PROPOSED PORCH EXTENTS	FUTURE WORK OUTLINE	SETBACK	EXISTING CONCRETE WALKWAY	PROPOSED BOUNDED GRAVEL DRIVEWAY (SEE SPECIFICATIONS)	EXISTING FENCING EXTENTS
PROPOSED GROUND GUTTER + FOUNDATION DRAIN (SEE SECTIONS)	SPOT / AVERAGE LINEAR ELEVATION	WORK POINT	EXISTING TREE	PROPOSED TREE	PROPOSED DRY WELL

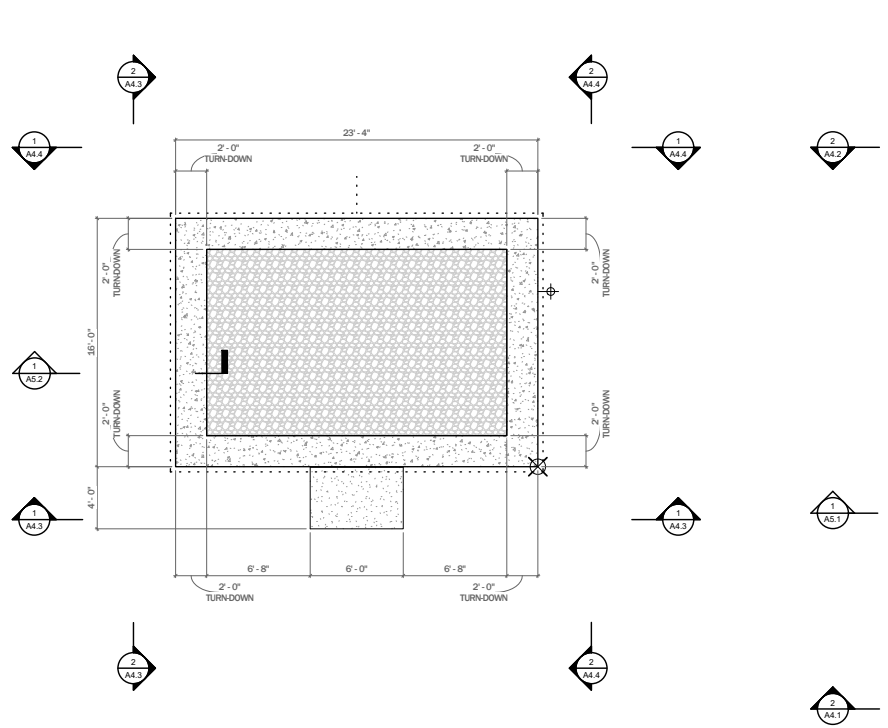
**Zoning Review**

ZONING DISTRICT:	RH-2 (RESIDENTIAL NEIGHBORHOOD DISTRICT)
PARCEL ID:	081F9025
OVERLAYS:	IH (INFILL HOUSING)
FIRE DISTRICT:	NO
DEVELOPMENT TYPE:	SINGLE-FAMILY RESIDENCE + DETACHED ADU
USE PERMITTED:	YES
LOT WIDTH:	50'
LOT AREA:	7,268 SF
BUILDING HEIGHT:	16'-0"
BUILDING FOOTPRINT AREA (MDU):	1300 sf
BUILDING FOOTPRINT AREA (ADU):	397 sf
BUILDING FOOTPRINT AREA (TOTAL):	1,697 sf
BUILDING COVERAGE (30% MAX.):	23.3%
OVERHANGS (MDU):	45 sf
IMPERVIOUS SIDEWALKS:	397 sf
IMPERVIOUS DRIVEWAYS:	160 sf
SEMI-PERVIOUS DRIVEWAYS:	762 sf
50% DEDUCTION:	376 sf
SEMI-PERVIOUS GROUND GUTTER:	233 sf
50% DEDUCTION:	107 sf
IMPERVIOUS SURFACE AREA:	2,782 sf
IMPERVIOUS SURFACE COVERAGE (40% MAX.):	38.3%

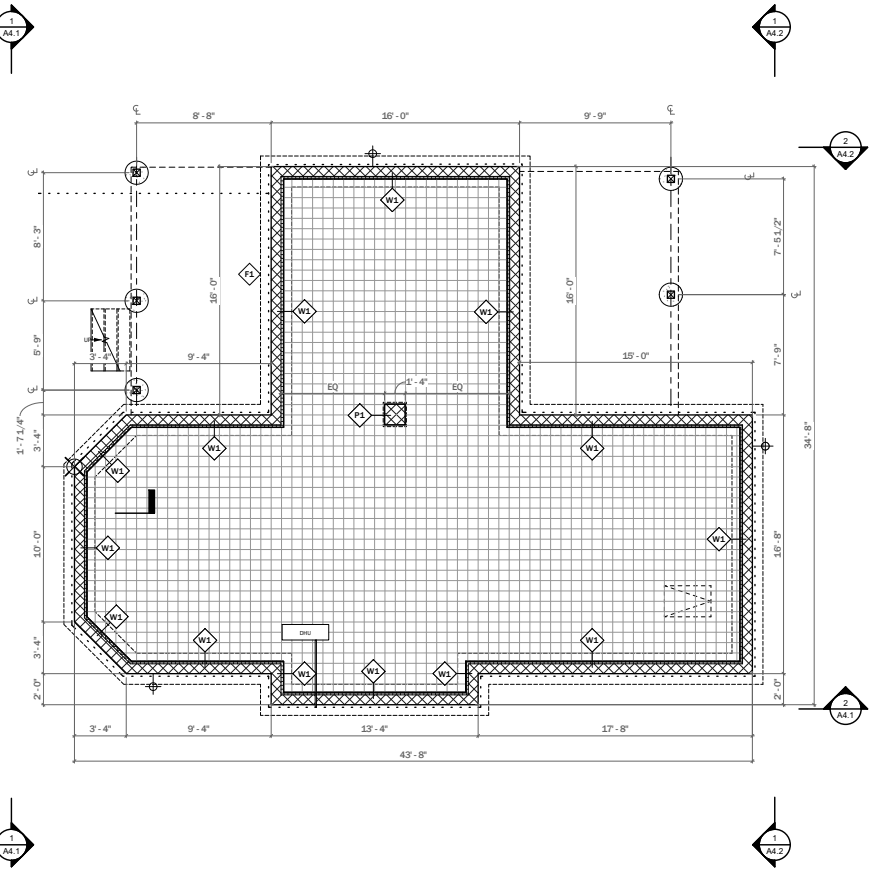
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**2 Foundation Plan (ADU)**  
1/4" = 1'-0"



**1 Foundation Plan (MDU)**  
1/4" = 1'-0"

Foundation Plan Legend

- FOUNDATION WALL**  
8" THICK CMU, 2" THICK RIGID INSULATION (R-10 MIN.) AND 10 MIL VAPOR BARRIER TURNED UP WALL. BELOW GRADE, TRANSITION TO WATERPROOFING OVER 12" CMU AND 2" THICK RIGID INSULATION (SEE SECTIONS). PROVIDE #4 BARS @ 48" OC.
- PIER**  
18" x 16" CMU PIER OVER 18" x 15" x 12" CONCRETE FOOTING. PROVIDE (2) #4 BARS EW @ BOTTOM OF FOOTING.
- SLAB-ON-GRADE**  
4" THICK CONCRETE SLAB-ON-GRADE WITH 6#6 W1.4xW1.4 WWF OVER 10 MIL VAPOR BARRIER WITH ALL JOINTS TAPED AND 4" DEEP CRUSHED STONE.
- COLUMN FOOTING**  
6X6 PT SOUTHERN PINE COLUMN OVER SIMPSON CB566 POST BASE SET INTO 12" DIAMETER CONCRETE FOOTING. EXTEND 12" MIN BELOW GRADE.
- FOUNDATION DRAIN**  
4" DIAMETER PERFORATED SCHEDULE 40 HDPE PIPE WITH PERFORATIONS FACING DOWNWARD. TAKE TO DRY WELL WITH POSITIVE SLOPE. PROVIDE A CLEAN-OUT IN AN INCONSPICUOUS LOCATION.
- VAPOR BARRIER**  
10 MIL THICK WITH ALL JOINTS TAPED AND TURNED UP FOUNDATION WALL PER WALL SECTION.
- WORK POINT**  
INDICATES POINT AT WHICH FOUNDATION IS PLACED IN RELATION TO THE PROPERTY LINES.
- HOSE BIB**  
HOSE BIB WITH TEE OR LEVER STYLE HANDLE.

TYPICAL NOTES:  
\* PROVIDE IRC-COMPLIANT PASSIVE RADON CONTROL SYSTEM. SEE ROOF PLAN FOR VENT LOCATION.

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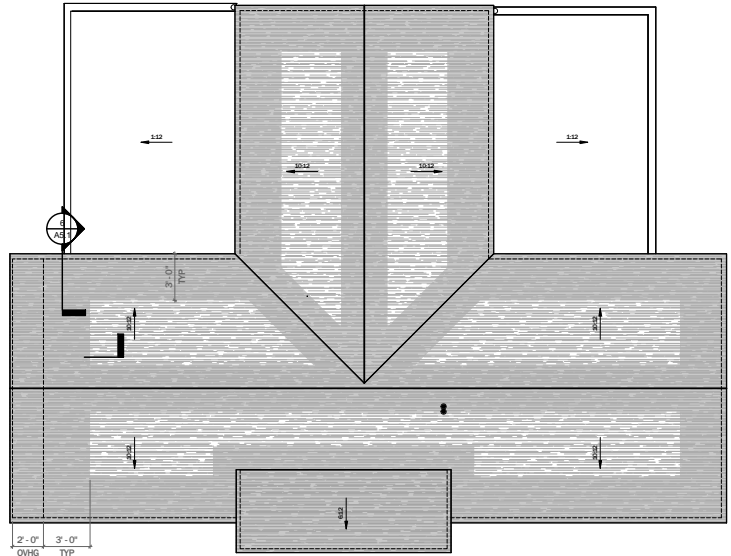
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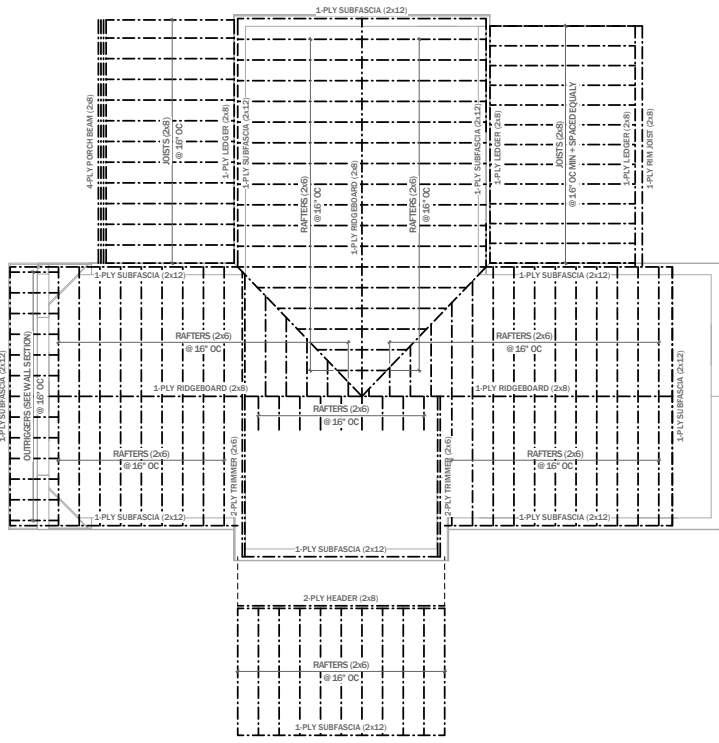
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Roof + Framing  
Plan (MDU)

**A3.1**



**1** Roof Plan (MDU)  
1/4" = 1'-0"

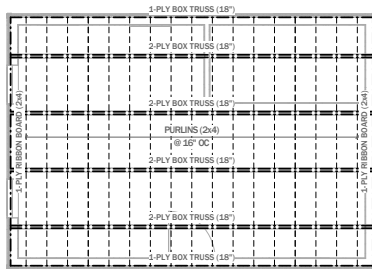


**2** Framing Plan @ Roof (MDU)  
1/4" = 1'-0"

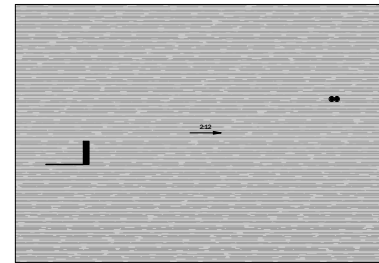
- Roof Plan Legend**
- MID-SLOPE ROOFING**  
ASPHALT SHINGLE WITH 30-YEAR WARRANTY. FINISH / COLOR TBD.
  - ICE + WATER SHIELD ZONE**  
PROVIDE ICE + WATER SHIELD WHERE INDICATED, AT MINIMUM, REGARDLESS OF ROOFING TYPE.
  - HORIZONTAL FRAMING MEMBER**  
AS NOTED ON FRAMING PLAN. ALL ROOF FRAMING MEMBERS TO BE COMPOSED OF #1 SOUTHERN YELLOW PINE.
  - DRAIN WASTE OR RADON VENT PIPE**  
PENETRATE THROUGH ROOF AS SHOWN ON ROOF PLAN 12" ABOVE ROOF SURFACE. VIF THAT VENTS ARE 10" MIN FROM ANY OPERABLE FENESTRATION ELEMENT OR INTAKE.
  - LOW-SLOPE ROOFING**  
SELF-ADHERED, MODIFIED BITUMEN ROOF SYSTEM WITH 15-YEAR WARRANTY.
  - BOX GUTTER**  
6" ALUMINUM BOX GUTTER. FINISH TBD.
  - DOWNPOUT**  
5" DIA DOWNPOUT. TIE TO GROUND GUTTER. FINISH TBD.

TYPICAL NOTES:

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**2 Framing Plan @ Roof (ADU)**  
1/4" = 1'-0"



**1 Roof Plan (ADU)**  
1/4" = 1'-0"

**MID-SLOPE ROOFING**  
ASPHALT SHINGLE WITH 30-YEAR WARRANTY. FINISH / COLOR TBD.

**ICE + WATER SHIELD ZONE**  
PROVIDE ICE + WATER SHIELD WHERE INDICATED, AT MINIMUM, REGARDLESS OF ROOFING TYPE.

**HORIZONTAL FRAMING MEMBER**  
AS NOTED ON FRAMING PLAN. ALL ROOF FRAMING MEMBERS TO BE COMPOSED OF #1 SOUTHERN YELLOW PINE.

**DRAIN WASTE OR RADON VENT PIPE**  
PENETRATE THROUGH ROOF AS SHOWN ON ROOF PLAN 12" ABOVE ROOF SURFACE. VIF THAT VENTS ARE 10" MIN FROM ANY OPERABLE PENETRATION ELEMENT OR INTAKE.

**LOW-SLOPE ROOFING**  
SELF-ADHERED, MODIFIED BITUMEN ROOF SYSTEM WITH 15-YEAR WARRANTY.

**BOX GUTTER**  
6" ALUMINUM BOX GUTTER. FINISH TBD.

**DOWNSPOUT**  
5" DIA DOWNSPOUT. TIE TO GROUND GUTTER. FINISH TBD.

TYPICAL NOTES:



a proposed single-family dwelling and accessory dwelling unit, dubbed:

**Digs Deep**

117 East Springdale Avenue  
Knoxville, Tennessee 37917

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Roof Plan + Roof Framing Plan (ADU)

**A3.2**

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Roof Plan Legend

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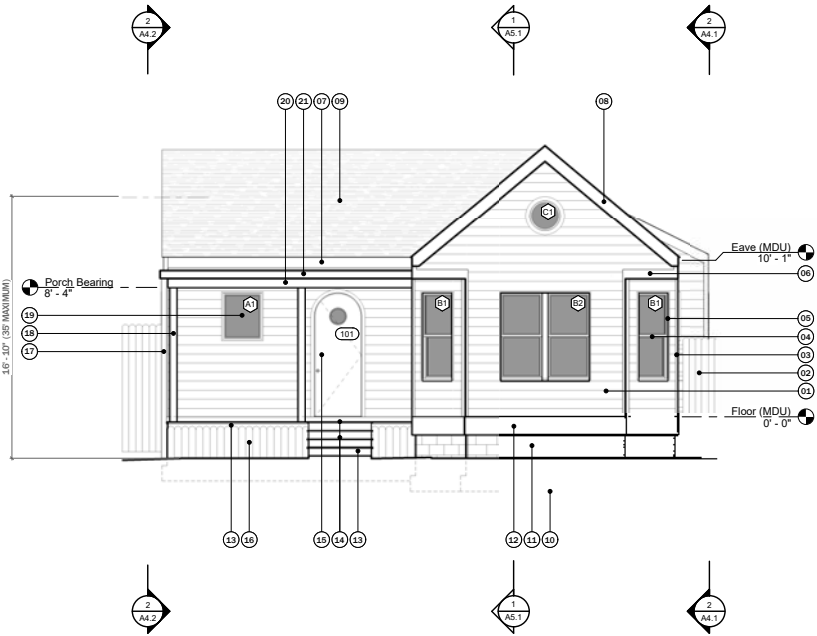
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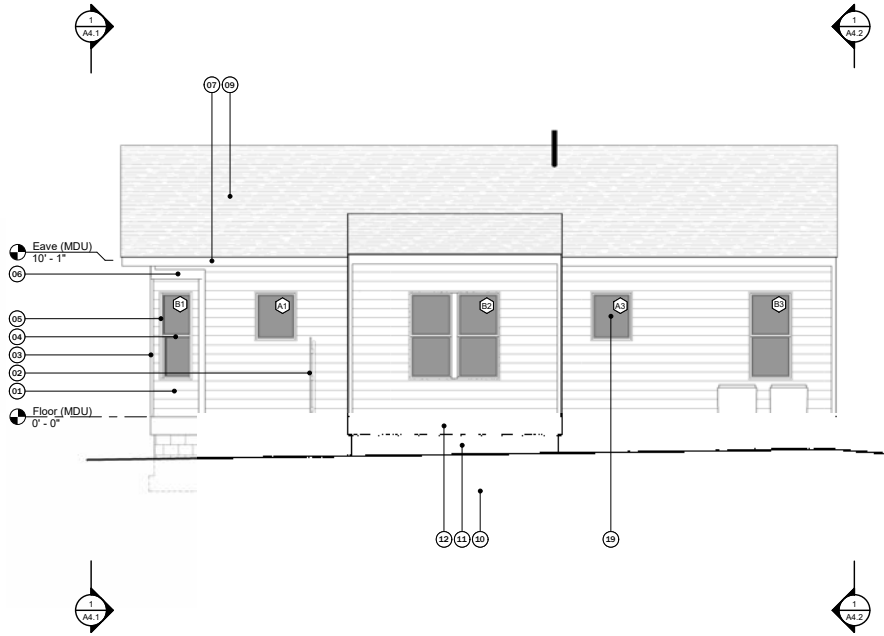
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Facade  
Elevations (MDU)

**A4.1**



**1 Front Elevation @ Southeast (MDU)**  
1/4" = 1'-0"



**2 Side Elevation @ Northeast (MDU)**  
1/4" = 1'-0"

Facade Elevation Keynotes

- 01 COMPONENT: LAP SIDING  
MATERIAL: SMOOTH FIBER-CEMENT  
FINISH: PRIME + PAINT WITH PNS  
NOTES: 7' EXPOSURE
- 02 COMPONENT: FENCE PICKET  
MATERIAL: PT SOUTHERN PINE  
FINISH: NONE  
NOTES: FULL-RADIUS ARCHED TOP
- 03 COMPONENT: CORNER BOARDS (5/4 x 3)  
MATERIAL: SMOOTH FIBER-CEMENT + PT WOOD QUARTER-ROUND  
FINISH: PRIME + PAINT WITH PNS  
NOTES: SEE DETAILS
- 04 COMPONENT: DOUBLE-HUNG WINDOW  
MATERIAL: SEE SCHEDULE  
FINISH: SEE SCHEDULE  
NOTES: SEE SCHEDULE
- 05 COMPONENT: SHADOWBOX TRIM  
MATERIAL: SMOOTH FIBER-CEMENT  
FINISH: PRIME + PAINT WITH PNS  
NOTES: SEE DETAILS
- 06 COMPONENT: CUTAWAY BAY TRIM (5/4 x 8)  
MATERIAL: SMOOTH FIBER-CEMENT  
FINISH: PRIME + PAINT WITH PNS  
NOTES: SEE DETAILS
- 07 COMPONENT: FASCIA (5/4 x 8)  
MATERIAL: SMOOTH FIBER-CEMENT  
FINISH: PRIME + PAINT WITH PNS  
NOTES: SEE DETAILS
- 08 COMPONENT: FASCIA (5/4 x 12)  
MATERIAL: SMOOTH FIBER-CEMENT  
FINISH: PRIME + PAINT WITH PNS  
NOTES: SEE DETAILS
- 09 COMPONENT: MID-SLOPE ROOFING  
MATERIAL: ASPHALT SHINGLE  
FINISH: TBD  
NOTES: 30-YEAR WARRANTY
- 10 COMPONENT: OUTLINE OF FOOTING BEYOND  
MATERIAL: SEE FOUNDATION PLAN + SECTIONS  
FINISH: PRIME + PAINT WITH PNS  
NOTES: NONE
- 11 COMPONENT: FOUNDATION VENEER  
MATERIAL: PARGE COAT  
FINISH: TBD  
NOTES: NONE
- 12 COMPONENT: WEATHERBOARD (5/4 x 12)  
MATERIAL: SMOOTH FIBER-CEMENT  
FINISH: PRIME + PAINT WITH PNS  
NOTES: SEE DETAILS
- 13 COMPONENT: STAIR RISERS / RIM JOIST  
MATERIAL: ALUMINUM  
FINISH: PRIME + PAINT WITH PNS  
NOTES: NONE
- 14 COMPONENT: DECKING BOARDS  
MATERIAL: PT SOUTHERN PINE  
FINISH: NONE  
NOTES: NONE
- 15 COMPONENT: ENTRY DOOR  
MATERIAL: SEE SCHEDULE  
FINISH: SEE SCHEDULE  
NOTES: SEE SCHEDULE
- 16 COMPONENT: UNDERPINNING  
MATERIAL: PT SOUTHERN PINE  
FINISH: NONE  
NOTES: FULL-RADIUS ARCHED TOP
- 17 COMPONENT: DOWNSPOUT (4" DIA)  
MATERIAL: ALUMINUM  
FINISH: TBD  
NOTES: TIE TO GROUND GLUTTER
- 18 COMPONENT: POST (6x6)  
MATERIAL: PT SOUTHERN PINE  
FINISH: PRIME + PAINT WITH PNS  
NOTES: NONE
- 19 COMPONENT: CASEMENT WINDOW  
MATERIAL: SEE SCHEDULE  
FINISH: SEE SCHEDULE  
NOTES: SEE SCHEDULE
- 20 COMPONENT: PORCH BEAM + H/RAP  
MATERIAL: PT SOUTHERN PINE + FIBER CEMENT  
FINISH: PRIME + PAINT WITH PNS  
NOTES: SEE DETAILS
- 21 COMPONENT: BOX GUTTER  
MATERIAL: TPO-COATED ALUMINUM  
FINISH: TBD  
NOTES: NONE
- 22 COMPONENT: SCREEN DOOR  
MATERIAL: SEE SCHEDULE  
FINISH: SEE SCHEDULE  
NOTES: SEE SCHEDULE
- 23 COMPONENT: COLUMN CAP  
MATERIAL: PT SOUTHERN PINE  
FINISH: NONE  
NOTES: SEE DETAILS
- 24 COMPONENT: SCREENING  
MATERIAL: MATCH WINDOW SCREENING  
FINISH: MATCH WINDOW SCREENING  
NOTES: NONE

TYPICAL NOTES:  
\* ELEVATIONS SHOW GENERAL COMPONENTS. SEE ALL SECTIONS, DETAILS, + SPECIFICATIONS FOR MORE DETAILED INFORMATION.

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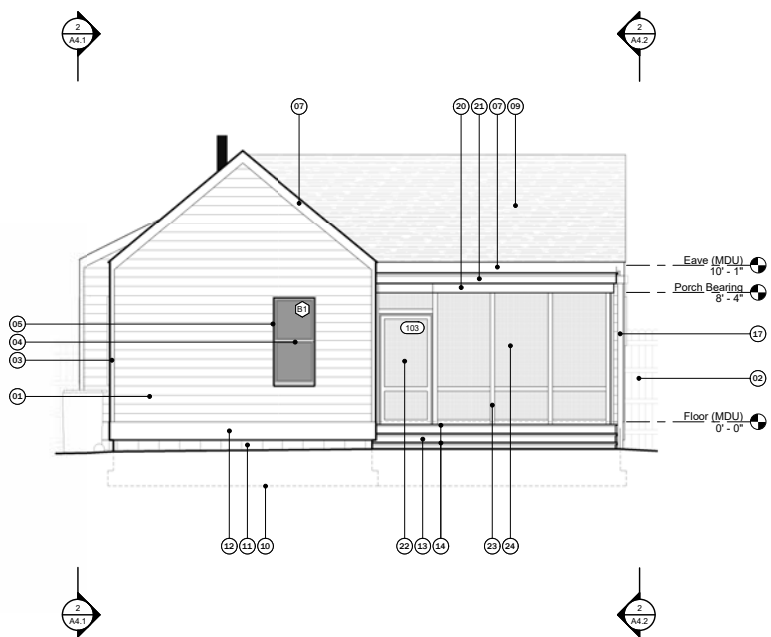
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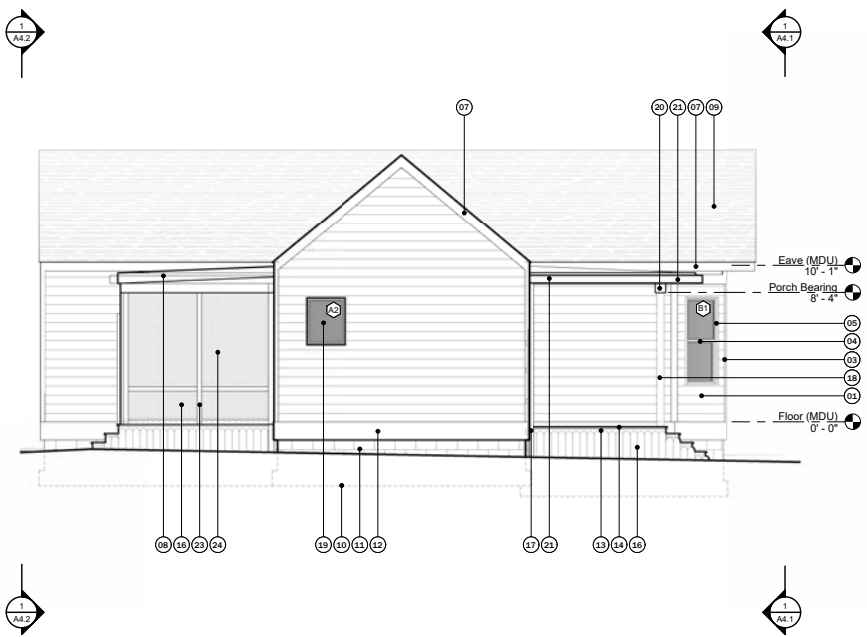
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Facade Elevations (MDU)

**A4.2**



**1 Rear Elevation @ Northwest (MDU)**  
1/4" = 1'-0"



**2 Side Elevation @ Southwest (MDU)**  
1/4" = 1'-0"

- |  |  |  |   |  |  |
|--|--|--|---|--|--|
| <p><b>01</b> COMPONENT: LAP SIDING<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PNS<br/>NOTES: 7' EXPOSURE</p> <p><b>02</b> COMPONENT: FENCE PICKET<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: NONE<br/>NOTES: FULL-RADIUS ARCHED TOP</p> <p><b>03</b> COMPONENT: CORNER BOARDS (5/4 x 3)<br/>MATERIAL: SMOOTH FIBER-CEMENT + PT WOOD QUARTER-ROUND<br/>FINISH: PRIME + PAINT WITH PNS<br/>NOTES: SEE DETAILS</p> <p><b>04</b> COMPONENT: DOUBLE-HUNG WINDOW<br/>MATERIAL: SEE SCHEDULE<br/>FINISH: SEE SCHEDULE<br/>NOTES: SEE SCHEDULE</p> | <p><b>05</b> COMPONENT: SHADOWBOX TRIM<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PNS<br/>NOTES:</p> <p><b>06</b> COMPONENT: CUTAWAY BAY TRIM (5/4 x 8)<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PNS<br/>NOTES: SEE DETAILS</p> <p><b>07</b> COMPONENT: FASCIA (5/4 x 8)<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PNS<br/>NOTES: SEE DETAILS</p> <p><b>08</b> COMPONENT: FASCIA (5/4 x 12)<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PNS<br/>NOTES: SEE DETAILS</p> | <p><b>09</b> COMPONENT: MID-SLOPE ROOFING<br/>MATERIAL: ASPHALT SHINGLE<br/>FINISH: TBD<br/>NOTES: 30-YEAR WARRANTY</p> <p><b>10</b> COMPONENT: OUTLINE OF FOOTING BEYOND<br/>MATERIAL: SEE FOUNDATION PLAN + SECTIONS<br/>FINISH: NONE<br/>NOTES: NONE</p> <p><b>11</b> COMPONENT: FOUNDATION VENEER<br/>MATERIAL: PARGE COAT<br/>FINISH: TBD<br/>NOTES: NONE</p> <p><b>12</b> COMPONENT: WEATHERBOARD (5/4 x 12)<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PNS<br/>NOTES: SEE DETAILS</p> | <p><b>13</b> COMPONENT: STAIR RISERS / RIM JOIST<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: PRIME + PAINT WITH PNS<br/>NOTES: NONE</p> <p><b>14</b> COMPONENT: DECKING BOARDS<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: NONE<br/>NOTES: NONE</p> <p><b>15</b> COMPONENT: ENTRY DOOR<br/>MATERIAL: SEE SCHEDULE<br/>FINISH: SEE SCHEDULE<br/>NOTES: SEE SCHEDULE</p> <p><b>16</b> COMPONENT: UNDERPINNING<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: NONE<br/>NOTES: FULL-RADIUS ARCHED TOP</p> | <p><b>17</b> COMPONENT: DOWNSPOUT (4" DIA)<br/>MATERIAL: ALUMINUM<br/>FINISH: TBD<br/>NOTES: TIE TO GROUND GUTTER</p> <p><b>18</b> COMPONENT: POST (6x6)<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: PRIME + PAINT WITH PNS<br/>NOTES: NONE</p> <p><b>19</b> COMPONENT: CASEMENT WINDOW<br/>MATERIAL: SEE SCHEDULE<br/>FINISH: SEE SCHEDULE<br/>NOTES: SEE SCHEDULE</p> <p><b>20</b> COMPONENT: PORCH BEAM + WRAP<br/>MATERIAL: PT SOUTHERN PINE + FIBER CEMENT<br/>FINISH: PRIME + PAINT WITH PNS<br/>NOTES: SEE DETAILS</p> | <p><b>21</b> COMPONENT: BOX GUTTER<br/>MATERIAL: TPO-COATED ALUMINUM<br/>FINISH: TBD<br/>NOTES: NONE</p> <p><b>22</b> COMPONENT: SCREEN DOOR<br/>MATERIAL: SEE SCHEDULE<br/>FINISH: SEE SCHEDULE<br/>NOTES: SEE SCHEDULE</p> <p><b>23</b> COMPONENT: COLUMN CAP<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: NONE<br/>NOTES: SEE DETAILS</p> <p><b>24</b> COMPONENT: SCREENING<br/>MATERIAL: MATCH WINDOW SCREENING<br/>FINISH: MATCH WINDOW SCREENING<br/>NOTES: NONE</p> |
|--|--|--|---|--|--|

TYPICAL NOTES:  
\* ELEVATIONS SHOW GENERAL COMPONENTS. SEE ALL SECTIONS, DETAILS, + SPECIFICATIONS FOR MORE DETAILED INFORMATION.

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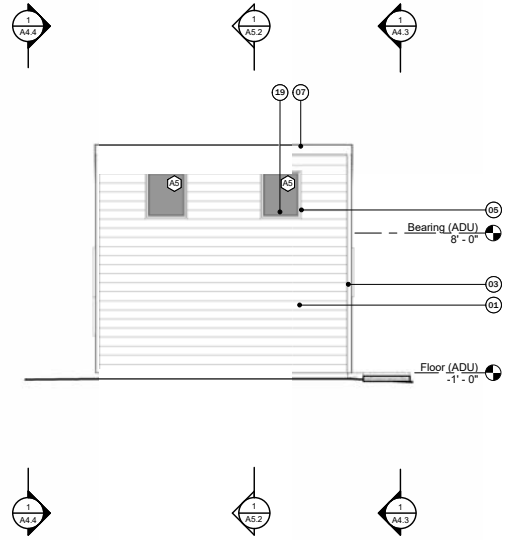
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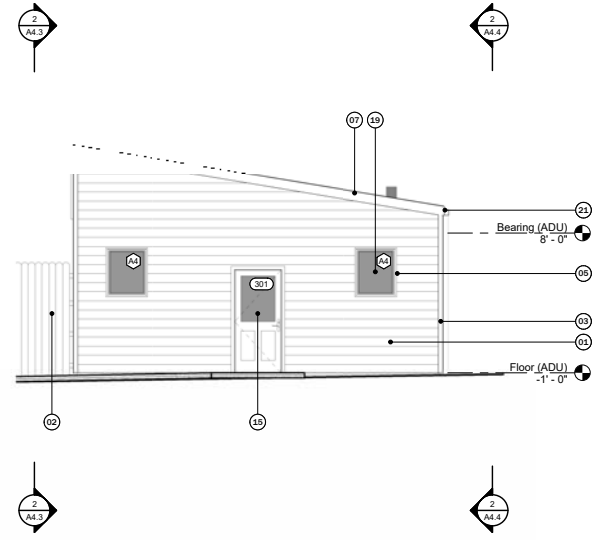
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Facade Elevations (ADU)

**A4.3**



**2 Side Elevation @ Southeast (ADU)**  
1/4" = 1'-0"



**1 Front Elevation @ Northeast (ADU)**  
1/4" = 1'-0"

**Facade Elevation Keynotes**

- 02 COMPONENT: FENCE PICKET  
MATERIAL: PT SOUTHERN PINE  
FINISH: NONE  
NOTES: 7' EXPOSURE  
FULL-RADIUS ARCHED TOP
- 03 COMPONENT: CORNER BOARDS (5/4 x 3)  
MATERIAL: SMOOTH FIBER-CEMENT + PT WOOD QUARTER-ROUND  
FINISH: PRIME + PAINT WITH PWS  
NOTES: SEE DETAILS
- 04 COMPONENT: DOUBLE-HUNG WINDOW  
MATERIAL: SEE SCHEDULE  
FINISH: SEE SCHEDULE  
NOTES: SEE SCHEDULE
- 05 COMPONENT: LAP SIDING  
MATERIAL: SMOOTH FIBER-CEMENT  
FINISH: PRIME + PAINT WITH PWS  
NOTES: 7' EXPOSURE
- 06 COMPONENT: SHADOWBOX TRIM  
MATERIAL: SMOOTH FIBER-CEMENT  
FINISH: PRIME + PAINT WITH PWS  
NOTES: SEE DETAILS
- 07 COMPONENT: CUTAWAY BAY TRIM (5/4 x 8)  
MATERIAL: SMOOTH FIBER-CEMENT  
FINISH: PRIME + PAINT WITH PWS  
NOTES: SEE DETAILS
- 08 COMPONENT: FASCIA (5/4 x 8)  
MATERIAL: SMOOTH FIBER-CEMENT  
FINISH: PRIME + PAINT WITH PWS  
NOTES: SEE DETAILS
- 09 COMPONENT: MID-SLOPE ROOFING  
MATERIAL: ASPHALT SHINGLE  
FINISH: TBD  
NOTES: 30-YEAR WARRANTY
- 10 COMPONENT: OUTLINE OF FOOTING BEYOND  
MATERIAL: SEE FOUNDATION PLAN + SECTIONS  
FINISH: PRIME + PAINT WITH PWS  
NOTES: SEE DETAILS
- 11 COMPONENT: FOUNDATION VENEER  
MATERIAL: PARGE COAT  
FINISH: TBD  
NOTES: NONE
- 12 COMPONENT: WEATHERBOARD (5/4 x 12)  
MATERIAL: SMOOTH FIBER-CEMENT  
FINISH: PRIME + PAINT WITH PWS  
NOTES: SEE DETAILS
- 13 COMPONENT: STAIR RISERS / RIM JOIST  
MATERIAL: PT SOUTHERN PINE  
FINISH: PRIME + PAINT WITH PWS  
NOTES: NONE
- 14 COMPONENT: DECKING BOARDS  
MATERIAL: PT SOUTHERN PINE  
FINISH: NONE  
NOTES: NONE
- 15 COMPONENT: ENTRY DOOR  
MATERIAL: SEE SCHEDULE  
FINISH: SEE SCHEDULE  
NOTES: SEE SCHEDULE
- 16 COMPONENT: UNDERPINNING  
MATERIAL: PT SOUTHERN PINE  
FINISH: NONE  
NOTES: FULL-RADIUS ARCHED TOP
- 17 COMPONENT: DOWNSPOUT (4" DIA)  
MATERIAL: ALUMINUM  
FINISH: TBD  
NOTES: TIE TO GROUND GUTTER
- 18 COMPONENT: POST (6x6)  
MATERIAL: PT SOUTHERN PINE  
FINISH: PRIME + PAINT WITH PWS  
NOTES: NONE
- 19 COMPONENT: CASEMENT WINDOW  
MATERIAL: SEE SCHEDULE  
FINISH: SEE SCHEDULE  
NOTES: SEE SCHEDULE
- 20 COMPONENT: PORCH BEAM + WRAP  
MATERIAL: PT SOUTHERN PINE + FIBER CEMENT  
FINISH: PRIME + PAINT WITH PWS  
NOTES: SEE DETAILS
- 21 COMPONENT: BOX GUTTER  
MATERIAL: TPO-COATED ALUMINUM  
FINISH: TBD  
NOTES: NONE
- 22 COMPONENT: SCREEN DOOR  
MATERIAL: SEE SCHEDULE  
FINISH: SEE SCHEDULE  
NOTES: SEE SCHEDULE
- 23 COMPONENT: COLUMN CAP  
MATERIAL: PT SOUTHERN PINE  
FINISH: NONE  
NOTES: SEE DETAILS
- 24 COMPONENT: SCREENING  
MATERIAL: MATCH WINDOW SCREENING  
FINISH: MATCH WINDOW SCREENING  
NOTES: NONE

TYPICAL NOTES:  
\* ELEVATIONS SHOW GENERAL COMPONENTS. SEE ALL SECTIONS, DETAILS, + SPECIFICATIONS FOR MORE DETAILED INFORMATION.

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THESE PLANS ARE  
INCOMPLETE AND THIS  
ARE NOT INTENDED FOR  
CONSTRUCTION.

Phase: CD  
Date: 02.26.2023

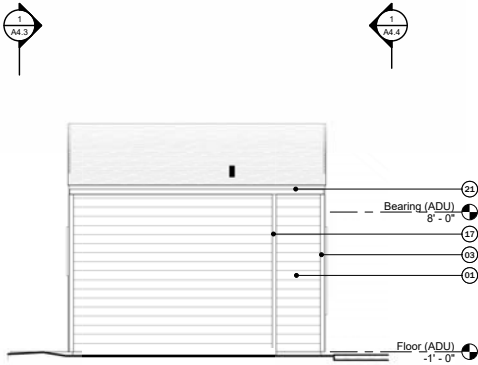
Revisions to Sheet:

#	Date

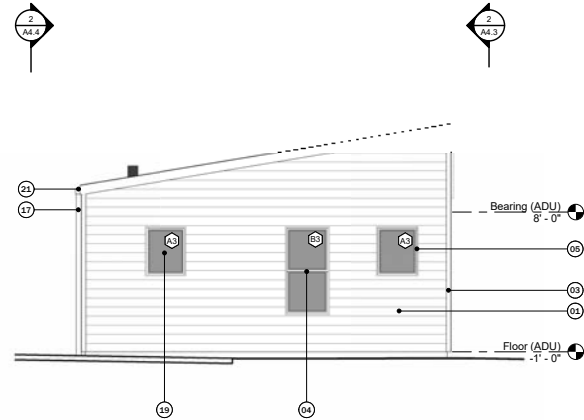
#: 2102

Facade  
Elevations (ADU)

**A4.4**



**2 Side Elevation @ Northwest (ADU)**  
1/4" = 1'-0"



**1 Rear Elevation @ Southwest (ADU)**  
1/4" = 1'-0"

- |  |  |  |   |  |  |
|--|--|--|---|--|--|
| <p>01 COMPONENT: LAP SIDING<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PMS<br/>NOTES: 7" EXPOSURE</p> <p>02 COMPONENT: FENCE PICKET<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: NONE<br/>NOTES: FULL-RADIUS ARCHED TOP</p> <p>03 COMPONENT: CORNER BOARDS (5/4 x 3)<br/>MATERIAL: SMOOTH FIBER-CEMENT + PT WOOD QUARTER-ROUND<br/>FINISH: PRIME + PAINT WITH PMS<br/>NOTES: SEE DETAILS</p> <p>04 COMPONENT: DOUBLE-HUNG WINDOW<br/>MATERIAL: SEE SCHEDULE<br/>FINISH: SEE SCHEDULE<br/>NOTES: SEE SCHEDULE</p> | <p>05 COMPONENT: SHADOWBOX TRIM<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PMS<br/>NOTES: SEE DETAILS</p> <p>06 COMPONENT: CUTAWAY BAY TRIM (5/4 x 8)<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PMS<br/>NOTES: SEE DETAILS</p> <p>07 COMPONENT: FASCIA (5/4 x 8)<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PMS<br/>NOTES: SEE DETAILS</p> <p>08 COMPONENT: FASCIA (5/4 x 12)<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PMS<br/>NOTES: SEE DETAILS</p> | <p>09 COMPONENT: MID-SLOPE ROOFING<br/>MATERIAL: ASPHALT SHINGLE<br/>FINISH: TBD<br/>NOTES: 30-YEAR WARRANTY</p> <p>10 COMPONENT: OUTLINE OF FOOTING BEYOND<br/>MATERIAL: SEE FOUNDATION PLAN + SECTIONS<br/>FINISH: NONE<br/>NOTES: NONE</p> <p>11 COMPONENT: FOUNDATION VENEER<br/>MATERIAL: PARGE COAT<br/>FINISH: TBD<br/>NOTES: NONE</p> <p>12 COMPONENT: WEATHERBOARD (5/4 x 12)<br/>MATERIAL: SMOOTH FIBER-CEMENT<br/>FINISH: PRIME + PAINT WITH PMS<br/>NOTES: SEE DETAILS</p> | <p>13 COMPONENT: STAIR RISERS / RIM JOIST<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: PRIME + PAINT WITH PMS<br/>NOTES: NONE</p> <p>14 COMPONENT: DECKING BOARDS<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: NONE<br/>NOTES: NONE</p> <p>15 COMPONENT: ENTRY DOOR<br/>MATERIAL: SEE SCHEDULE<br/>FINISH: SEE SCHEDULE<br/>NOTES: SEE SCHEDULE</p> <p>16 COMPONENT: UNDERPINNING<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: NONE<br/>NOTES: FULL-RADIUS ARCHED TOP</p> | <p>17 COMPONENT: DOWNSPOUT (4" DIA)<br/>MATERIAL: ALUMINUM<br/>FINISH: TBD<br/>NOTES: TIE TO GROUND GUTTER</p> <p>18 COMPONENT: POST (6x6)<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: PRIME + PAINT WITH PMS<br/>NOTES: NONE</p> <p>19 COMPONENT: CASEMENT WINDOW<br/>MATERIAL: SEE SCHEDULE<br/>FINISH: SEE SCHEDULE<br/>NOTES: SEE SCHEDULE</p> <p>20 COMPONENT: PORCH BEAM + WRAP<br/>MATERIAL: PT SOUTHERN PINE + FIBER CEMENT<br/>FINISH: PRIME + PAINT WITH PMS<br/>NOTES: SEE DETAILS</p> | <p>21 COMPONENT: BOX GUTTER<br/>MATERIAL: TPO-COATED ALUMINUM<br/>FINISH: TBD<br/>NOTES: NONE</p> <p>22 COMPONENT: SCREEN DOOR<br/>MATERIAL: SEE SCHEDULE<br/>FINISH: SEE SCHEDULE<br/>NOTES: SEE SCHEDULE</p> <p>23 COMPONENT: COLUMN CAP<br/>MATERIAL: PT SOUTHERN PINE<br/>FINISH: NONE<br/>NOTES: SEE DETAILS</p> <p>24 COMPONENT: SCREENING<br/>MATERIAL: MATCH WINDOW SCREENING<br/>FINISH: MATCH WINDOW SCREENING<br/>NOTES: NONE</p> |
|--|--|--|---|--|--|

TYPICAL NOTES:  
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