

**Meeting:** 7/19/2023  
**Project:** Vintage Cal, 121 Union Avenue  
**Applicant:** Sean Hackett McCarty Holsaple McCarty Architects

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## Property Information

**Location:** 121 Union Ave. **Parcel ID** 95 I A 016  
**Zoning:** DK (Downtown Knoxville)  
**Description:**  
New construction mixed-use building proposed for a surface parking lot.

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## Description of Work

Level III Construction of a New Building/Structure

**SUMMARY:** Proposed new 6-story, mixed-use construction (five stories of residential apartments above a mixed-use ground-floor level, with two stories of structured parking to the rear (east). The building is proposed for a rectangular site at the intersection of Union Avenue and State Street, currently featuring a surface parking lot. The building features a two-story parking garage underneath the building. The building is S-shaped, featuring two amenity decks on the second floor, with one facing the west and one facing the east.

**SITE LAYOUT AND ACCESS:** The parking garage features two access points for the separate levels: one 24'-2" wide access drive on the basement level extending north off Union Ave, and one 24' wide on the ground floor, extending east off State Street. The building features multiple ground-level pedestrian access points, including off private stoops on the State Street elevation, and several entries to the retail tenant, private office spaces, and the apartment leasing office on the southwest corner of the building.

**DESIGN ELEMENTS:** The flat roof building rests on a foundation of cast-in-place concrete. The design features a primary exterior element of Nichiha fiber cement panels of grey architectural block, with recessed panels of wood-look fiber cement panels and ribbed black metal-look fiber cement panels on recessed vertical bands. Vertical bays extend upwards on the five residential stories, featuring single and paired single-light fiberglass windows, and full-light paired aluminum-clad wood entry doors with balconies. The ground level fronting State Street features dark gray brick and wood-look fiber cement panel accents, and with single door entries along State Street and multiple storefront systems on the southwest corner. A flat metal awning projects above recessed patio space on the southwest corner.

The application also includes information on the building's lighting program, with landscaping indicated on renderings. The waste management room is indicated on the northwest corner of the building, with waste pickup locations on the north end of the building fronting State Street.

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## Applicable Design Guidelines

Downtown Design Guidelines

A. Public Realm

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## 1. Pedestrian and Bicycle Safety

1g. Consolidate curb-cuts and locate driveways near mid-block, when necessary; alley access should be provided for service and parking, if feasible.

## 3. Parking Facilities

3a. Create parking garages that do not contain blank walls. Allow for future commercial uses that may not be feasible at the time of construction.

3b. Locate parking garages under structures, or provide for retail, residential or office uses that line the garage. Corner locations are preferable for commercial uses.

3g. Access to parking garages should not limit options for future development of contiguous or adjoining space, especially on corners.

## 4. Downtown Beautification

4a. Foster downtown beautification with landscaping and plantings, public art, and public open space.

4c. Plant street trees where possible. Choose tree planting locations that will not significantly alter the setting of or harm the materials of historic buildings.

## B. Private Realm

### 1. Building Mass, Scale and Form

1a. Maintain a pedestrian-scaled environment from block to block.

1b. Foster air circulation and sunlight penetration around new buildings. Buildings may be designed with open space, as allowed under existing DK zoning; or buildings may be 'stepped back' on upper floors with lower floors meeting the sidewalk edge.

1c. Use building materials, cornice lines, signs, and awnings of a human scale in order to reduce the mass of buildings as experienced at the street level.

1d. Divide larger buildings into 'modules' that are similar in scale to traditional downtown buildings. Buildings should be designed with a recognizable base, middle, and top on all exposed elevations.

1e. Avoid blank walls along street-facing elevations.

### 2. Building Location

2a. Set buildings back five feet in order to provide wider sidewalk space when new construction in non-historic areas is to be more than half the length of the block.

2b. Consider using landscape elements to define the sidewalk edge where a building is to be set back from the sidewalk.

2d. Limit grade separations above or below the sidewalk, generally no more than 3 feet. Allow for clear sightlines into and out of buildings and plazas.

2e. Design private plazas to be pedestrian-friendly. Provide human-scale amenities and include landscaping.

### 3. Building Materials

3a. Use complimentary materials and elements, especially next to historic buildings.

### 4. Architectural Character

4a. Encourage first floor uses that draw walk-in traffic; businesses that do not require pedestrian traffic should be located on other floors.

4b. Enhance pedestrian interest in commercial and office buildings by creating a largely transparent and consistent rhythm of entrances and windows.

4c. Scale first floor signs to pedestrians.

4d. Differentiate the architectural features of ground floors from upper floors with traditional considerations such as show-windows, transoms, friezes, and sign boards.

4e. Design top floors to enhance the skyline of the block through cornices and details that are harmonious with adjacent architecture. 4f. Encourage the use of 'green roofs' and other sustainable practices, while minimizing the

visual impact from the street.

#### 5. Ground Floor Doors and Windows

- 5a. Use consistent rhythm of openings, windows, doorways, and entries.
- 5b. Orient primary front entrances to the main street; secondary entrances should be clearly defined and oriented to streets or alleys, as appropriate.
- 5c. Design entrances according to the proportions of the building's height and width.
- 5d. Consider corner entrances at the ends of blocks.
- 5e. All windows at the pedestrian level should be clear
- 5f. Recess ground floor window frames and doors from the exterior building face to provide depth to the facade.

#### 6. Residential Buildings

- 6a. Elevate the first floor of townhouses and apartment buildings so that pedestrians cannot look directly into the residence from the sidewalk level.
- 6b. Design entrances to residential buildings so that access is separated from pedestrian flow on the sidewalk.
- 6c. Encourage the development of mixed-use buildings with apartments over lower story commercial uses.

#### 7. Mechanical Equipment and Service Utilities

- 7a. Minimize the visual impact of mechanical equipment through screens or recessed/ low-profile equipment.
- 7b. Do not locate units on a primary façade.
- 7c. Screen rooftop vents, heating/ cooling units and related utilities with parapet walls or other screens. Consider sound-buffering of the units as part of the design.
- 7d. Locate utility connections and service boxes on secondary walls.
- 7e. Reduce the visual impacts of trash storage and service areas by locating them at the rear of a building or off an alley, when possible.
- 7f. Screen dumpsters from view.
- 7g. Locate satellite dishes out of public view, where possible.
- 7h. Allow solar panels and other technological advances on rooftops and other unobtrusive locations. Solar panels should not be considered on the elevations of historic buildings.

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## Comments

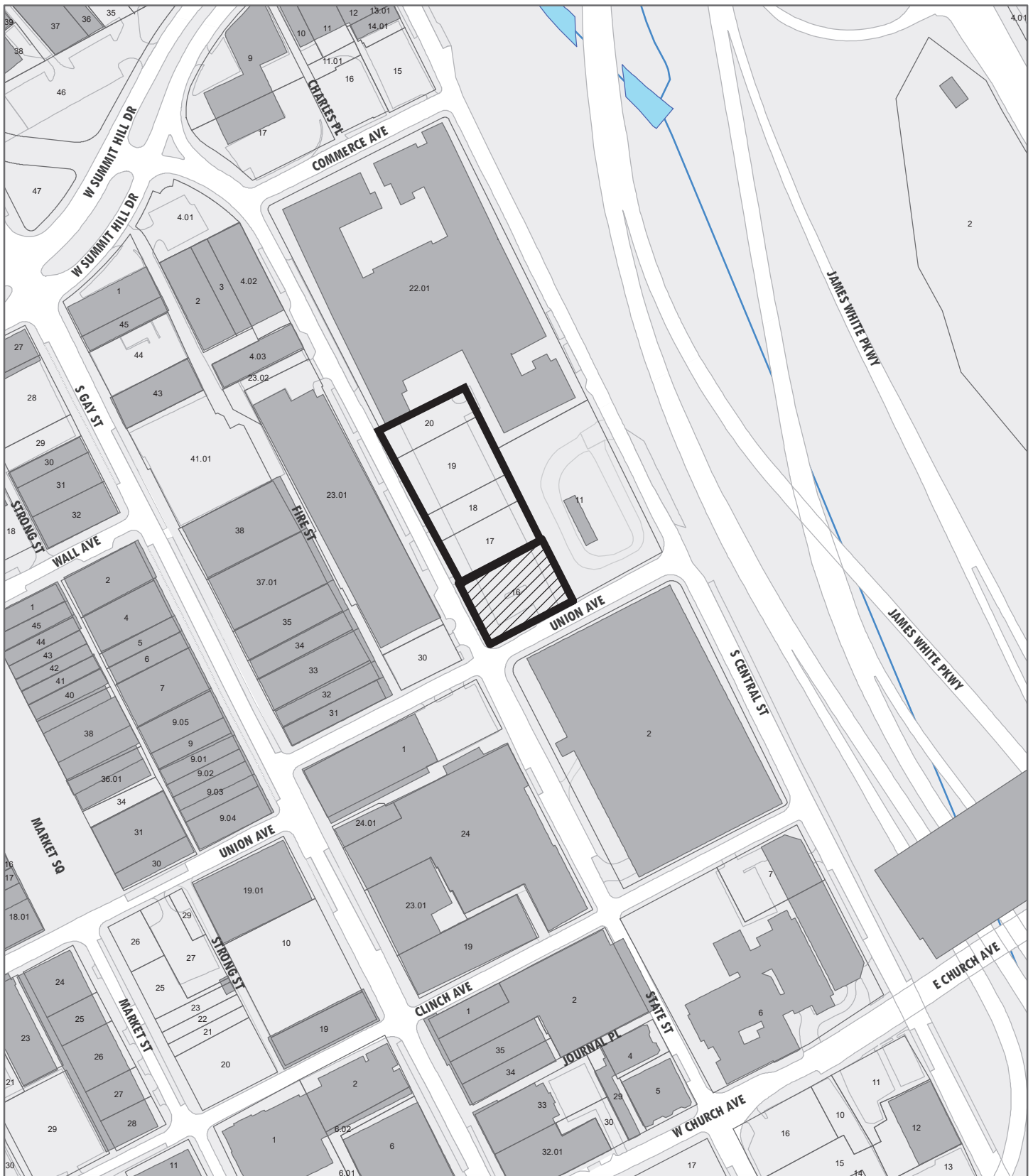
1. The building is proposed for a surface parking lot, surrounded by c.2015 multi-family residential to the north, a structured parking lot to the west, and the State Street parking garage to the south. To the east is a KUB substation and James White Parkway. Non-parking structures on this block are largely residential, including the Cal Johnson Building at 301 State Street, with the Marble Alley apartments as contemporary-style new construction. These blocks do not feature a consistent architectural context.
2. The application includes a two-level parking garage, with access to each level off Union Avenue and State Street. The Union Avenue parking access will replace an existing curb cut to the surface parking lot, so only one new curb cut will be created in the sidewalk. The curb cut on the north end will be close in proximity to an existing curb cut/garage access for the Marble Alley development. Overall, the access points meet the design guidelines as they will not create additional safety issues for pedestrians. The parking garage meets the guidelines as it's located under the structure, providing for retail, residential, and office uses that line the garage, with a commercial use at a corner location. The final site plan and garage should meet City Engineering standards.
3. Guidelines encourage maintaining a pedestrian-scaled environment from block to block; this building will reinforce the pedestrian environment along State Street, creating additional pedestrian traffic to residential and commercial uses within the building. The building has a distinct ground floor, separated from the upper-level residential floors, divided into a base and top. The building avoids blank walls along street facing elevations; the garage on the east side faces a KUB substation with minimal pedestrian traffic.

4. The design includes retail and office uses on the first story, meeting the guidelines which encourage incorporating first floor uses open to pedestrians. This area is downtown is mostly residential. Guidelines also encourage creating a "largely transparent and consistent rhythm of entrances and windows" on the ground floor. The building meets these guidelines, with entrances proportionate to the building's height and width, and primary front entrances oriented to the main street.
  5. Guidelines recommend the use of building materials that "relate to the scale, durability, color, and texture of the predominate building materials in the area." The surrounding area is characterized by new infill construction and concrete parking garages, though historic masonry buildings are located further to the northwest, west, and south. Fiber cement siding does not demonstrate the same durability or detail as historic masonry. In the opinion of staff, the vertical "wood-look" fiber cement does not usually complement the character of downtown Knoxville, as unfinished wood siding would not have been applied to multi-story downtown buildings. In this instance, it is on recessed massings, which does contribute depth, and used as a secondary material.
  6. The proposal meets the guidelines for residential buildings, with residential accesses elevated "so that pedestrians cannot look directly into the residence from the street level," and separating entrances to residential sections from pedestrian flow on the sidewalk via stoops.
  7. Any exterior mechanical equipment or service utilities not indicated on plans should be located on secondary elevations and receive screening as necessary. Lighting should meet City standards for exterior lighting.
  8. The signs depicted on the elevation drawings do not contain sufficient information for the DRB's review at this time. A separate signage application should be submitted to the DRB for further review.
  9. As proposed, the design currently incorporates ground-floor residential uses in the DK-G subdistrict. The applicant intends to pursue a rezoning to a subdistrict of DK zoning which allows ground-floor residential uses. DRB approval would be contingent on the applicant receiving the rezoning. As currently proposed, the design meets the dimensional and design standards of the DK-B district.
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## Recommendation

Staff recommends approval of Certificate 7-C-23-DT, subject to the following conditions:

- 1) Final site plan and parking garage to meet City Engineering standards;
- 2) Final landscaping plan to meet standards of City zoning code (12.2) and design guidelines;
- 3) Any mechanical equipment or service utilities not shown on plans to be placed on secondary elevations and receive screening as necessary;
- 4) Signage to return to Design Review Board as a separate application;
- 5) Final project to comply with any applicable redevelopment agreements with the City of Knoxville;
- 6) Applicant to pursue necessary rezoning within DK subdistricts to allow for current program, or submit revised designs to Design Review Board.



**7-C-23-DT**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

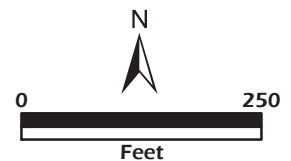
**DOWNTOWN  
DESIGN  
REVIEW  
BOARD**



**121 Union Ave.**  
**Level 3: Construction of new  
building/structure**

Petitioner: Sean Hackett McCarty  
Holsaple McCarty Architects

Original Print Date: 7/3/2023  
Revised:  
Knoxville/Knox County Planning · Downtown Design Review Board





# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Sean Hackett

Applicant

06/23/2023

07/19/2023

7-C-23-DT

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Sean Hackett

MHM Architects

Name

Company

550 W. Main St Ste 300

Knoxville

TN

37902

Address

City

State

Zip

865.357.5611

shackett@mhminc.com

Phone

Email

## CURRENT PROPERTY INFO

MARBLE ALLEY DEVELOPMENT

110 W Summit Hill Dr, Knoxville TN 37902

(865) 546-1973

Owner Name (if different from applicant)

Owner Address

Owner Phone

121 Union Ave.

095IA016

Property Address

Parcel ID

Vanderhoof S/D

DK-G

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*  
Staff Signature

Lindsay Crockett

6.23.23

Please Print

Date

SEAN HACKETT

Digitally signed by SEAN HACKETT  
DN: C=US, E=shackett@mhminc.com,  
CN=SEAN HACKETT  
Date: 2023.06.01 15:41:54-04'00'

Sean Hackett

06/01/2023

Applicant Signature

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

**See required Downtown Design attachment for more details.**

- Brief description of work: New construction of mixed-use apartment building.
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## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

**See required Historic Zoning attachment for more details.**

- Brief description of work: \_\_\_\_\_
- 
- 

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

**See required Infill Housing attachment for more details.**

- Brief description of work: \_\_\_\_\_
- 
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## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

**FEE 1:**

250.00

**FEE 2:**

**FEE 3:**

**TOTAL:**

250.00

# VINTAGE CAL | LUXURY APARTMENTS

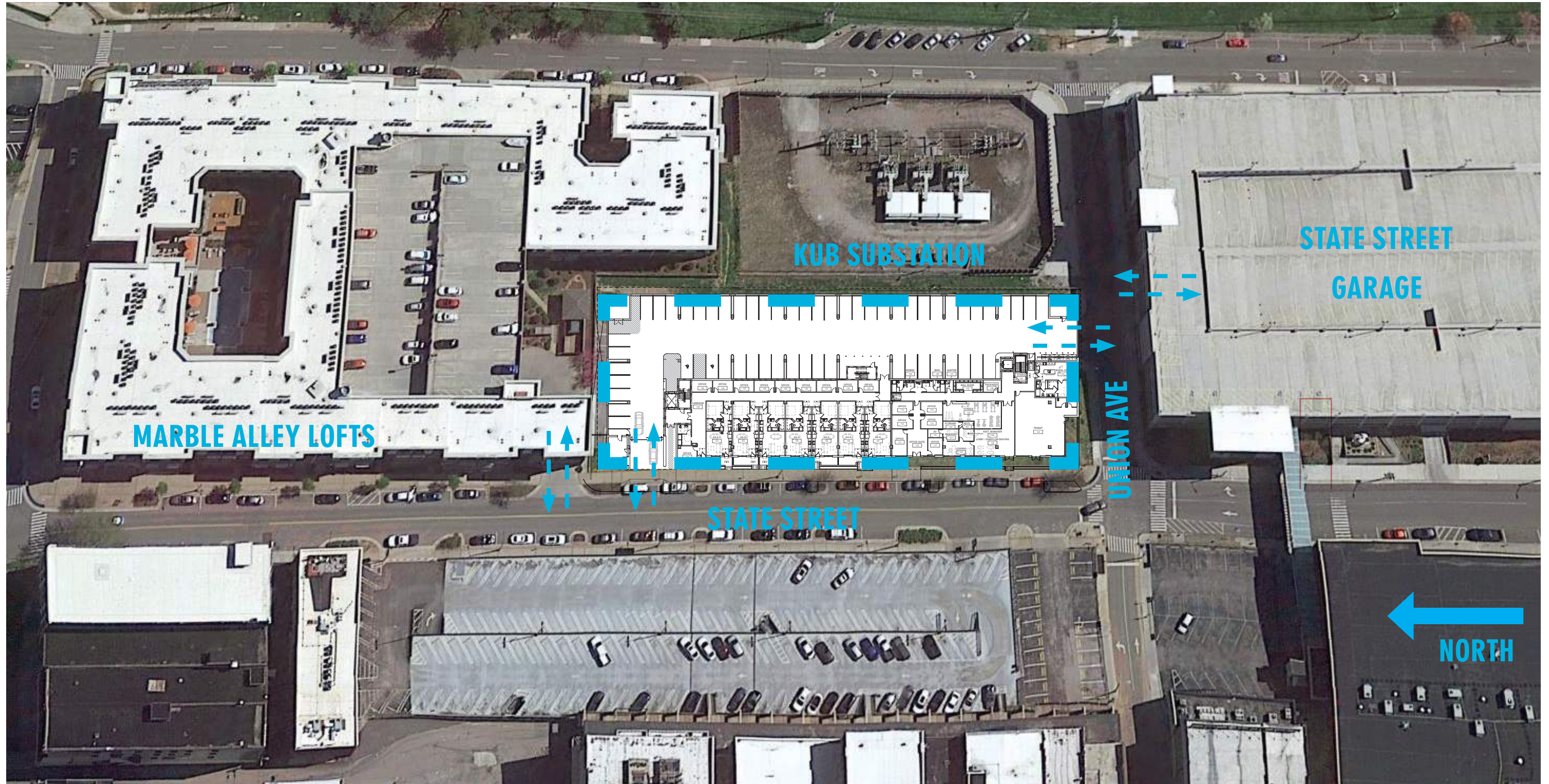
DRB PRESENTATION  
JULY 19TH, 2023





# SITE

121 UNION AVE.  
KNOXVILLE, TN 37902



# SITE PHOTOS



STATE STREET LOOKING EAST

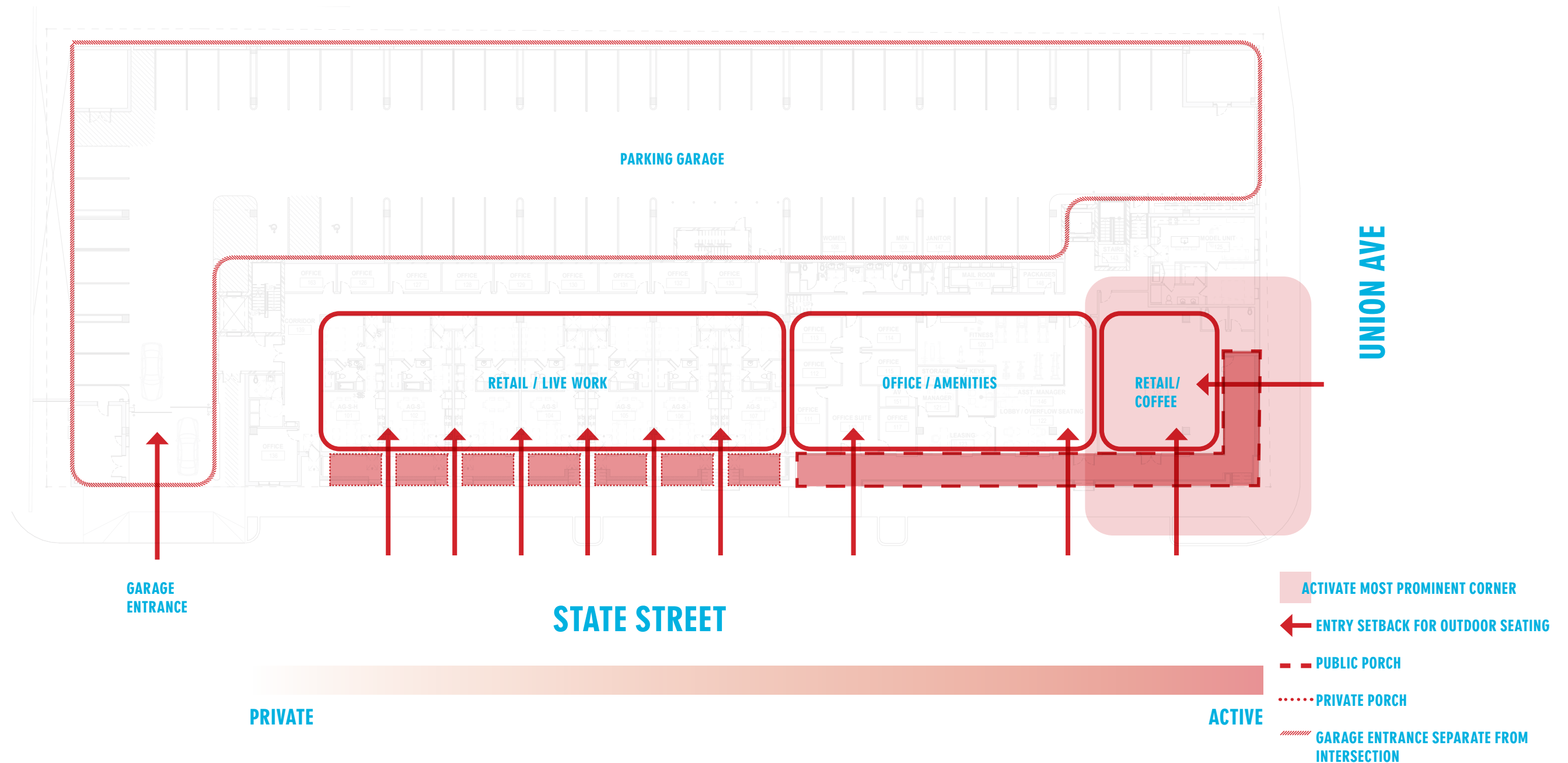


STATE STREET GARAGE LOOKING NORTH EAST

# FLOOR PLANS

# GROUND FLOOR DIAGRAM

SCALE 1/32" = 1'-0"

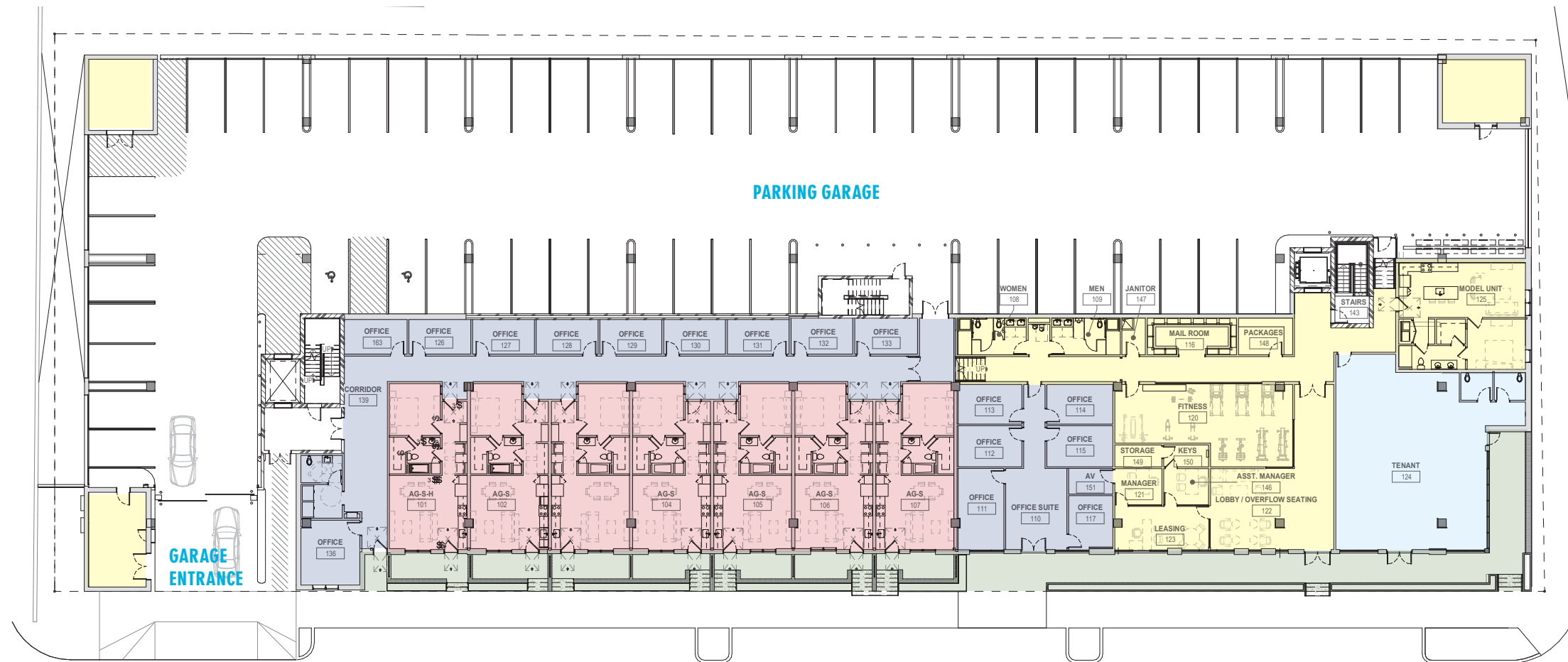


# GROUND FLOOR PLAN

SCALE 1/32" = 1'-0"

PROGRAM:

- 7 TOWNHOMES
- 2000 S.F. RETAIL TENANT
- 4400 S.F. LEASABLE OFFICE SPACES
- 57 PARKING SPACES



UNION AVE

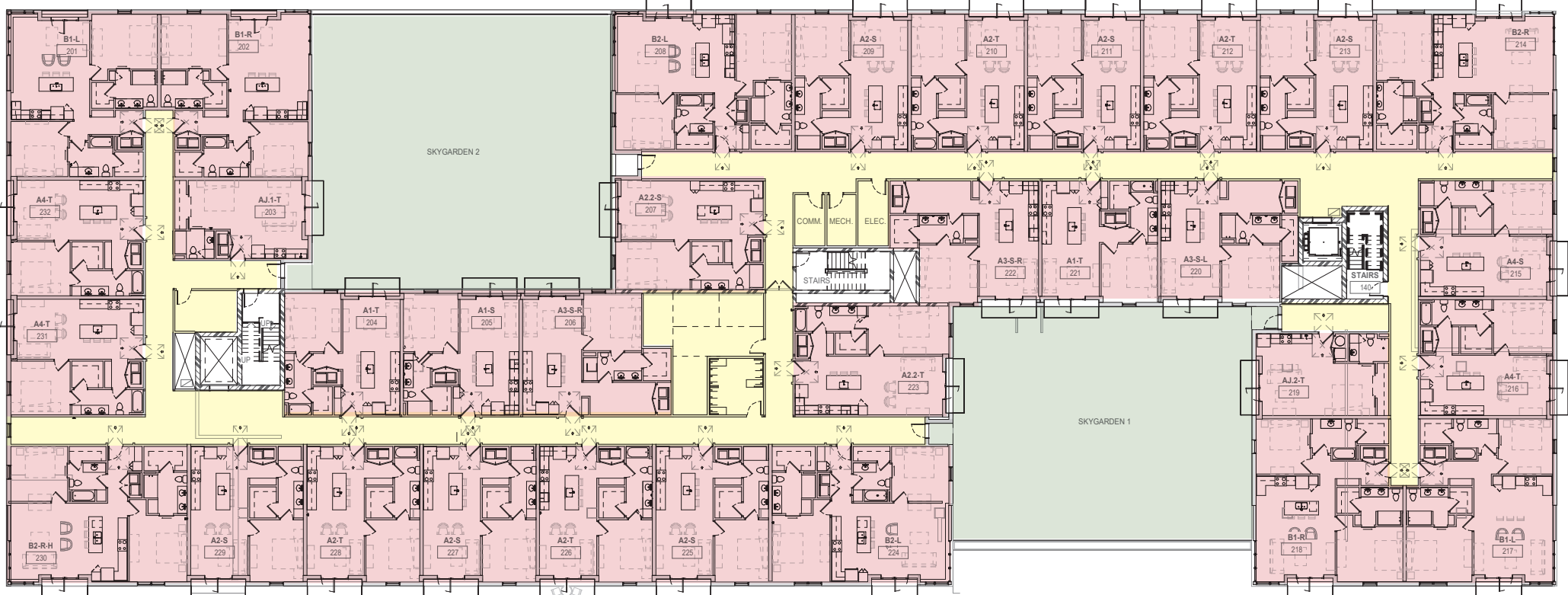
STATE STREET

- RETAIL TENANT
- RETAIL / LIVE WORK
- APARTMENT SERVICES
- OFFICE TENANT
- COVERED PATIOS

# 2ND FLOOR PLAN

SCALE 1/32" = 1'-0"

PROGRAM:  
- 32 UNITS  
- 7200 S.F. OUTDOOR AMENITY DECKS

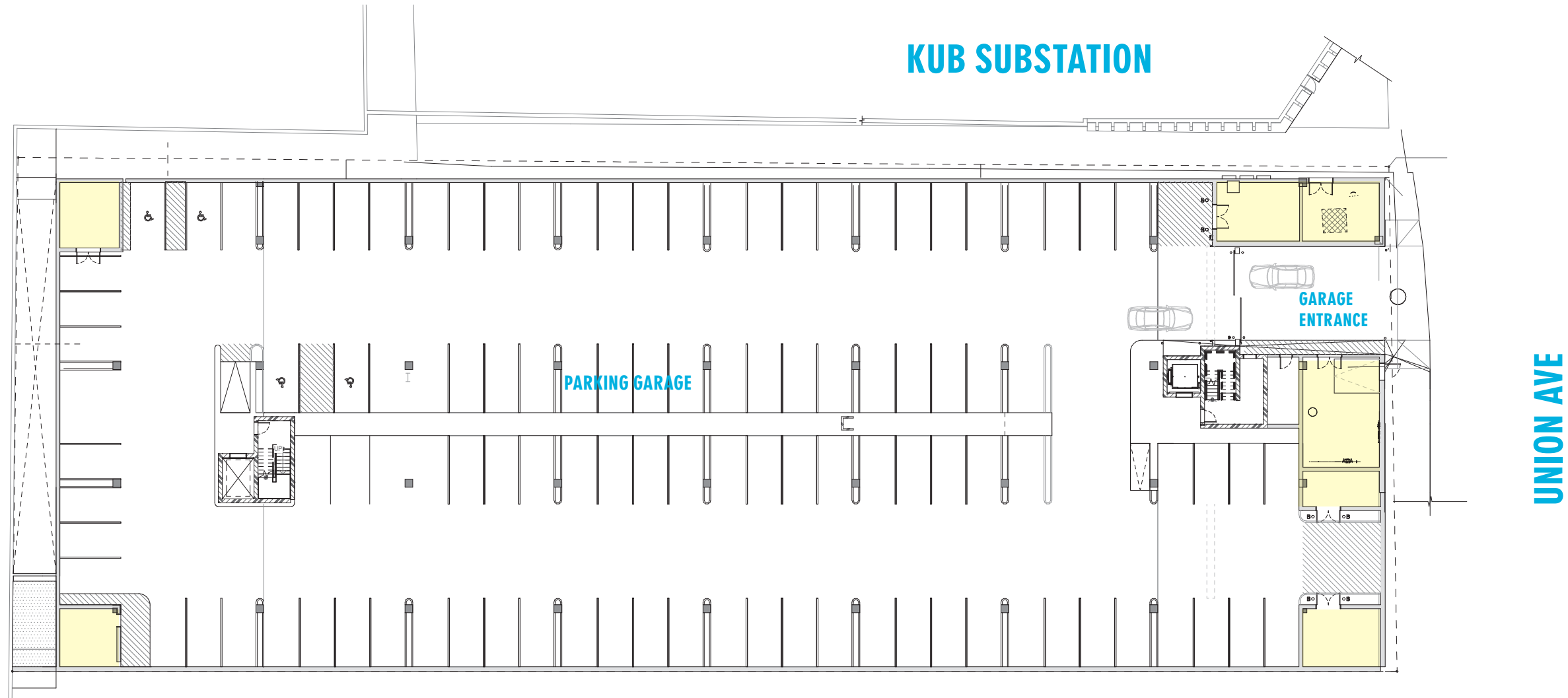


- APARTMENTS
- APARTMENT SERVICES
- AMENITY DECKS

# BASEMENT PLAN

SCALE 1/32" = 1'-0"

PROGRAM:  
- 110 PARKING SPACES



APARTMENT SERVICES

**RENDERINGS**









**MHM**  
McCARTY HOLSAPLE McCARTY  
ARCHITECTS INTERIOR DESIGNERS

**sb**  
SMEE + BUSBY ARCHITECTS

**VINTAGE CAL | APPROACH**

**MHM + SBA**

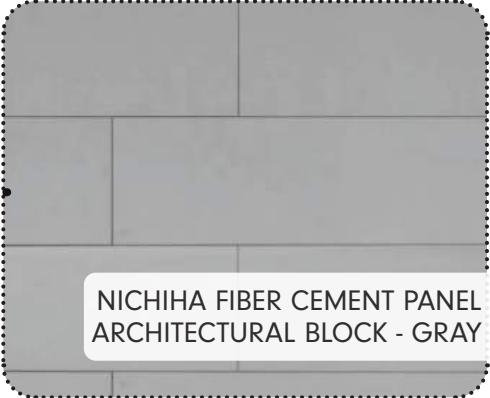
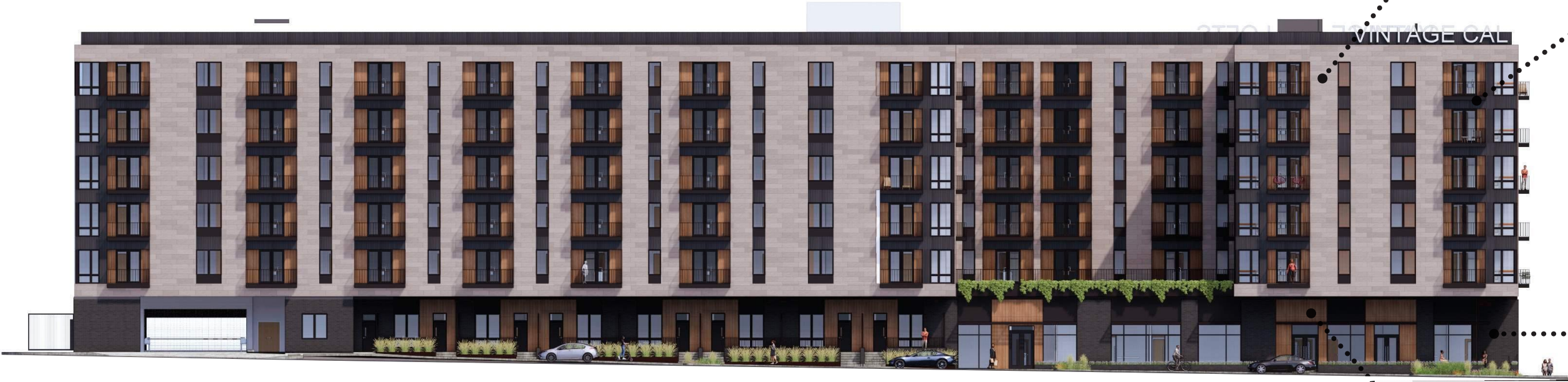


**MHM**  
McCARTY HOLSAPLE McCARTY  
ARCHITECTS INTERIOR DESIGNERS

**sb**  
SMEE + BUSBY ARCHITECTS

# ELEVATIONS

# WEST ELEVATION



NICHIHA FIBER CEMENT PANEL  
ARCHITECTURAL BLOCK - GRAY



NICHIHA FIBER CEMENT PANEL  
RIBBED - SLATE

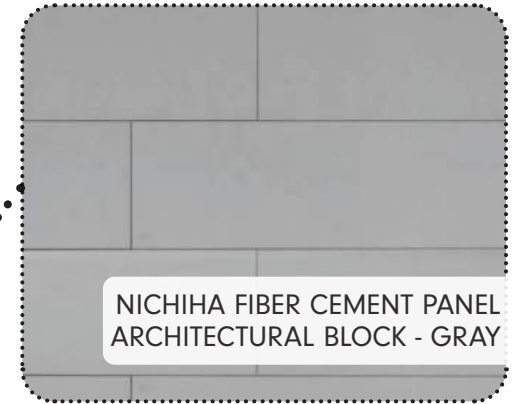


GENERAL SHALE BRICK  
DARK GRAY



NICHIHA FIBER CEMENT PANEL  
VINTAGEWOOD - CEDAR

# EAST ELEVATION



NICHIHA FIBER CEMENT PANEL  
ARCHITECTURAL BLOCK - GRAY



NICHIHA FIBER CEMENT PANEL  
RIBBED - SLATE



CAST-IN-PLACE CONCRETE

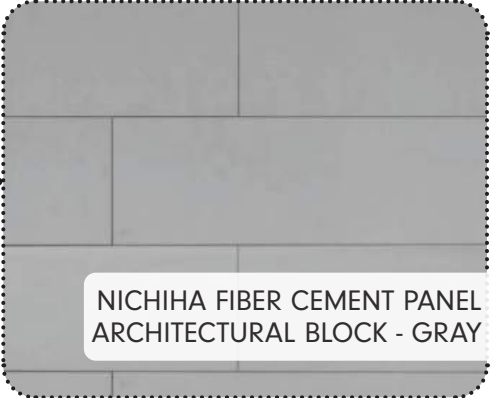


NICHIHA FIBER CEMENT PANEL  
VINTAGEWOOD - CEDAR

# NORTH & SOUTH ELEVATIONS



NORTH



NICHIHA FIBER CEMENT PANEL  
ARCHITECTURAL BLOCK - GRAY



NICHIHA FIBER CEMENT PANEL  
RIBBED - SLATE



SOUTH



GENERAL SHALE BRICK  
DARK GRAY

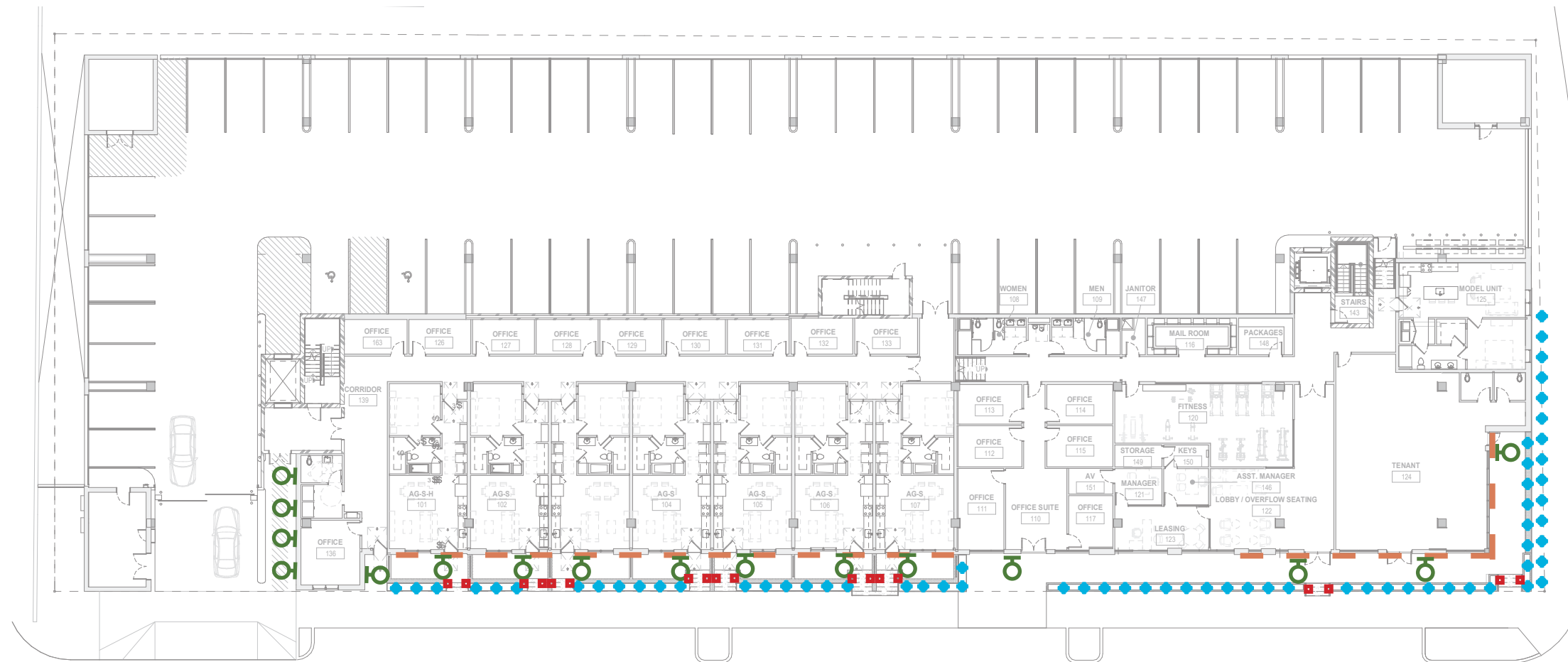


NICHIHA FIBER CEMENT PANEL  
VINTAGEWOOD - CEDAR



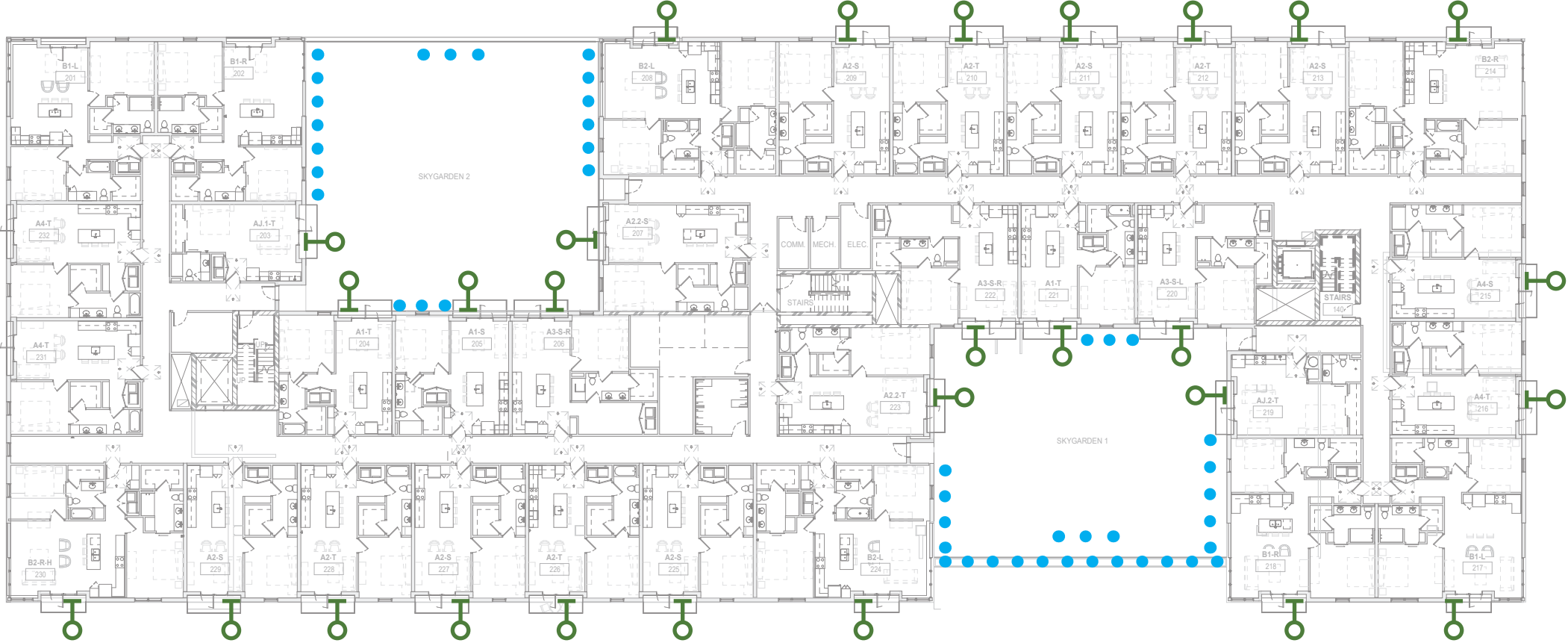
**LIGHTING**

# GROUND FLOOR PLAN



- ◆◆◆ STAKE MOUNTED LIGHTING
- WALL SCONCES
- - - CEILING UPLIGHTING
- STEP LIGHTS


# 2ND FLOOR PLAN



- ◆◆◆ STAKE MOUNTED LIGHTING
- WALL SCONCES

# CUTSHEETS

## WALL SCONCES



**Astoria Outdoor Wall Light**  
ITEM NUMBER: KZC583132

BRAND: Kuzco Lighting

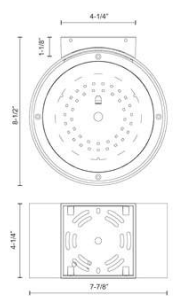
**DESCRIPTION**  
The Astoria Outdoor Wall Light offers a sleek, minimalist design that will add practical up and down lighting to your exterior spaces, featuring a short cylindrical shade with tempered glass panels. Available finished in Grey, ETL listed for wet locations.



Shown in: Black

**SHADE COLOR**: N/A  
**BODY FINISH**: Black  
**WATTAGE**: 24W  
**DIMMER**: Low Voltage Electronic  
**DIMENSIONS**: 8.5"W x 4.25"H x 4.25"D  
**LED MODULE INCLUDED**: 1x LED(24W/120V) LED

**Technical Information**  
**LUMINOUS FLUX**: 1769 lumens  
**LUMENS/WATT**: 73.71  
**LAMP COLOR**: 3000 K  
**COLOR RENDERING**: 90 CRI



COMPANY: LIGHTOLOGY.COM | QUOTES@LIGHTOLOGY.COM

PROJECT: \_\_\_\_\_


FIXTURE TYPE: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

3/14/2023 | 1.866.956.4488

## STEP LIGHTS



**LSW1 LUMINESS**

The LSW1 Luminess is a simple yet effective solution for glare-free pathway or step illumination for interior or wet location use. The unique design features a robust Bronze housing, die-cast, then precision machined on our ultra-modern CNC equipment. When fitted with our Copper Core light engine, the result is a fully integrated led luminaire that is also field serviceable. The one-piece concept creates an ideal heat sink for the high-performance Cree led; this allows exceptional performance and superior longevity. The Luminess is engineered to work together with our innovative Stainless backbox. The box features deep knockouts for masonry use and a mechanized interior that allows vertical alignment for perfect installation. The Luminess is also compatible with most 1/2" "off the shelf" boxes for maximum economy.


**Features include:**

- 3W and up to 31 Lumens at 2700K
- Cree XP® High Power LED
- Precision Machined Acrylic Optic
- 2700K (80 & 90 CRI) or 3000K (80 CRI), or Amber 585-595nm (3W Only)
- Thermally Integrated® w/ Copper Core Technology®
- 12V Integral Constant Current Driver Ac or Dc input.
- Dimmable to <10% (TRIAC/Forward Phase)
- Compatible w/ 12V AC/DC MLV or ELV Transformers
- Solid Brass Construction With Stainless Steel Back Box (Optional)

TYPE: \_\_\_\_\_  
CAT. # LSW1-

**LSW1 LUMINESS**

TYPE: \_\_\_\_\_  
CAT. # HSL16-LM-



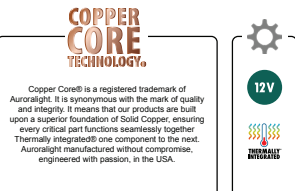
Front View: 2 7/8" (73mm) x 4 3/8" (111mm)

Side View: 3 1/8" (79mm) x 1/4" (6mm)

Top View: 2 1/2" (64mm) x 1 3/4" (44mm)

Top View (No Box): 1 3/4" (44mm)

Side View (No Box): 3 3/8" (86mm) x 1/4" (6mm)




**COPPER CORE TECHNOLOGY**

Copper Core® is a registered trademark of Auroralight. It is synonymous with the mark of quality and integrity. It means that our products are built upon a superior foundation of Solid Copper, ensuring every critical part functions seamlessly together. Thermally integrated® one component to the next. Auroralight manufactured without compromise, engineered with passion, in the USA.


**SEE NEXT PAGE FOR ORDERING INFORMATION**

CARLSBAD, CA | PHONE 877 942 1179 | FAX 760 931 2916 | E-MAIL SALES@AUORALIGHT.COM | AUORALIGHT.COM

In a continuing product improvement program. Auroralight reserves the right to modify product specifications without notification. © 2023 Auroralight, Inc. REV-8.0 (5/2021)



## STAKE MOUNTED LIGHTING



**HSL16-LM TELLURIDE**

The HSL16-LM Telluride, the flagship directional from Auroralight, utilizes our Thermally Integrated™ interchangeable LED Module coupled to an all brass body. This union provides superior heat dissipation critical for long life and high performance. The HSL16 includes our Storm Drain™ lens drainage allowing water and dirt to wash away for optimal light transmission. The Telluride features the Aurora Mount System (AMS™), which provides 360° of fixture rotation on over 8 unique mounting devices for precise aiming without compromising wire integrity. Offered in 2 versions: (LM, & XO) to meet the specific demands of our top tier customers.


**Features include:**

- Interchangeable LED Module in 4, 6, 8 or 12 Watts up to 676 Lumens
- 6 Interchangeable PMMA Acrylic Optics from 20° to 75°
- 2700K (80 & 90 CRI), 3000K (80 CRI), or 4000K (80 CRI)
- Thermally Integrated® w/ Copper Core Technology®
- Storm Drain™ Lens Drainage System
- Aurora Mount System (AMS™) Compatible
- 12V Integral Constant Current Driver (Remote 12V AC/DC Transformer Required)
- Dimmable to <10% (TRIAC/Forward Phase) via Compatible Transformer
- Compatible w/ 12V AC/DC MLV or ELV Transformers
- Solid Brass Construction

TYPE: \_\_\_\_\_  
CAT. # HSL16-LM-

**HSL16-LM TELLURIDE**

TYPE: \_\_\_\_\_  
CAT. # HSL16-LM-



HSL16-LM-S-60-NG-BLP-XD

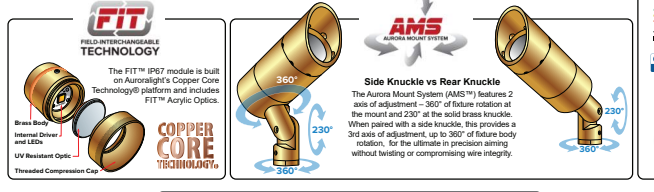
HSL16-LM-R-60-G-NAT

[S-60] Side Knuckle w/ 60° Angled Shield

[S-90] Side Knuckle w/ 90° Straight Shield

[R-60] Rear Knuckle w/ 60° Angled Shield

[R-90] Rear Knuckle w/ 90° Straight Shield



**FIT FIELD INTERCHANGEABLE TECHNOLOGY**

The FIT™ P57 module is built on Auroralight's Copper Core Technology® platform and includes FIT™ Acrylic Optics.


**AMS AURORA MOUNT SYSTEM**

**Side Knuckle vs Rear Knuckle**  
The Aurora Mount System (AMS™) features 2 axis of adjustment - 360° of fixture rotation at the mount and 230° at the solid brass knuckle. When paired with a side knuckle, this provides a 3rd axis of adjustment, up to 300° of fixture body rotation, for the ultimate in precision aiming without twisting or compromising wire integrity.

**SEE NEXT PAGE FOR ORDERING INFORMATION**

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## CEILING UPLIGHTING


OVERVIEW • SPECIFICATIONS • ORDERING

DATE: \_\_\_\_\_ PROJECT: \_\_\_\_\_ FIRM: \_\_\_\_\_ TYPE: \_\_\_\_\_

THE L50 INCLUDES PATENTED OPTICAL DESIGN THAT DELIVERS THE WIDEST RANGE OF BEAM ANGLE OPTIONS FOR PRECISE CONE, WALL GRAZING, WALL WASHING OR LINE OF LIGHT APPLICATIONS. EXCLUSIVE FLIP TO FLAT™ HINGE DESIGN PROVIDES FLEXIBILITY WHEN MANAGING SMALL COVE DETAILS. TROV OFFERS SMOOTH, FLICKER FREE DIMMING DOWN TO 0%.

**FEATURES:**

- DIM TO 0% ELV REVERSE PHASE
- 24 BEAM ANGLES
- MULTI-VOLT
- FLIP TO FLAT™
- 6 CCT OPTIONS
- 80+ AND 90+ CRI OPTIONS
- IP54 INTERIOR AND IP66 EXTERIOR OPTIONS



MODEL/ SIZE	INTERIOR/ EXTERIOR	LENGTH	POWER	CCT	CRI	VOLTAGE	OPTICS
L50	I E	12" 48"	02 04 06 08 10 12	WHITE CCT 22 06 08 10 30 40 50	MONO COLOR 90+ Blank For Color	MULT (120-277V)	GRAZING 9 x 9 9 x 17 9 x 24 9 x 36 9 x 48 15 x 15 15 x 24 15 x 36 15 x 48 20 x 20 20 x 36 20 x 48 20 x 60 30 x 30 30 x 48 30 x 60 40 x 40 40 x 60 40 x 72 40 x 90 48 x 48 48 x 72 48 x 90 60 x 60 60 x 72 60 x 90

**EXAMPLE:** L50-I-48-10-27-90-MULT-15x65

\*90 CRI not available in 2200K or 5000K. \*\*D0 is only available with Exterior option. See L25 spec sheet for interior cove options. \*\*\*Red is not available in 12W or 10W. \*\*\*\*Green is not available in 12W.

PERFORMANCE	WATTS	OPTIC	LUMEN OUTPUT	EFFICACY
	2W	9° x 29°	158 lm/LF ( 519 lm/m )	79 lm/W
	4W	9° x 29°	389 lm/LF ( 1277 lm/m )	97 lm/W
	6W	9° x 29°	620 lm/LF ( 2035 lm/m )	103 lm/W
	8W	9° x 29°	864 lm/LF ( 2833 lm/m )	108 lm/W
	10W	9° x 29°	1046 lm/LF ( 3433 lm/m )	105 lm/W
	12W	9° x 29°	1237 lm/LF ( 3990 lm/m )	101 lm/W

ALL LUMEN DATA IS FROM 4000K 80CRI FIXTURES. PLEASE SEE PHOTOMETRY SPEC SHEET FOR ADDITIONAL LUMEN DATA.

**COLOR RENDERING INDEX**: 80+ 90+  
**COLOR CONSISTENCY**: 2-STEP MACADAM ELLIPSE  
**LUMEN DEPRECIATION / RATED LIFE**: WATTS | L70 @ 25C | L70 @ 50C | L90 @ 25C | L90 @ 50C

\* CALCULATIONS FOR LED FIXTURES ARE BASED ON MEASUREMENTS THAT COMPLY WITH IES LM-80 TESTING PROCEDURES AND IES TM-21 CALCULATOR

ELECTRICAL	POWER CONSUMPTION	MAX FIXTURE RUN LENGTH											
		2W/LF (8.6W/M)		4W/LF (15.2W/M)		6W/LF (21.8W/M)		8W/LF (28.4W/M)		10W/LF (35.0W/M)		12W/LF (41.6W/M)	
		2W	4W	6W	8W	10W	12W	2W	4W	6W	8W	10W	12W
		120	214	214	186	186	152	152	134	134	91	91	76
		220	374	392	340	340	277	277	209	209	95	167	95
		277	374	494	374	428	349	349	263	263	95	190	95

**POWER FACTOR**: 4W, 6W, 8W, 10W, 12W > 0.9, 2W > 0.9  
**OPERATING VOLTAGE DRIVER**: MULTIVOLT: 110-277VAC, 50/60 HZ  
**STARTUP TEMPERATURE**: INTEGRAL TO FIXTURE, DE-RATED POWER AND SYNCHRONOUS START-UP AT FULL BRIGHTNESS  
**OPERATING TEMPERATURE**: -40°F TO 122°F (-40°C TO 50°C)  
**STORAGE TEMPERATURE**: -40°F TO 176°F (-40°C TO 80°C)

NOTE: Information on this Spec Sheet is subject to change, please visit [ecosenselighting.com/downloads/riser](https://www.ecosenselighting.com/downloads/riser) for the most updated information.

**ECOSENSE**

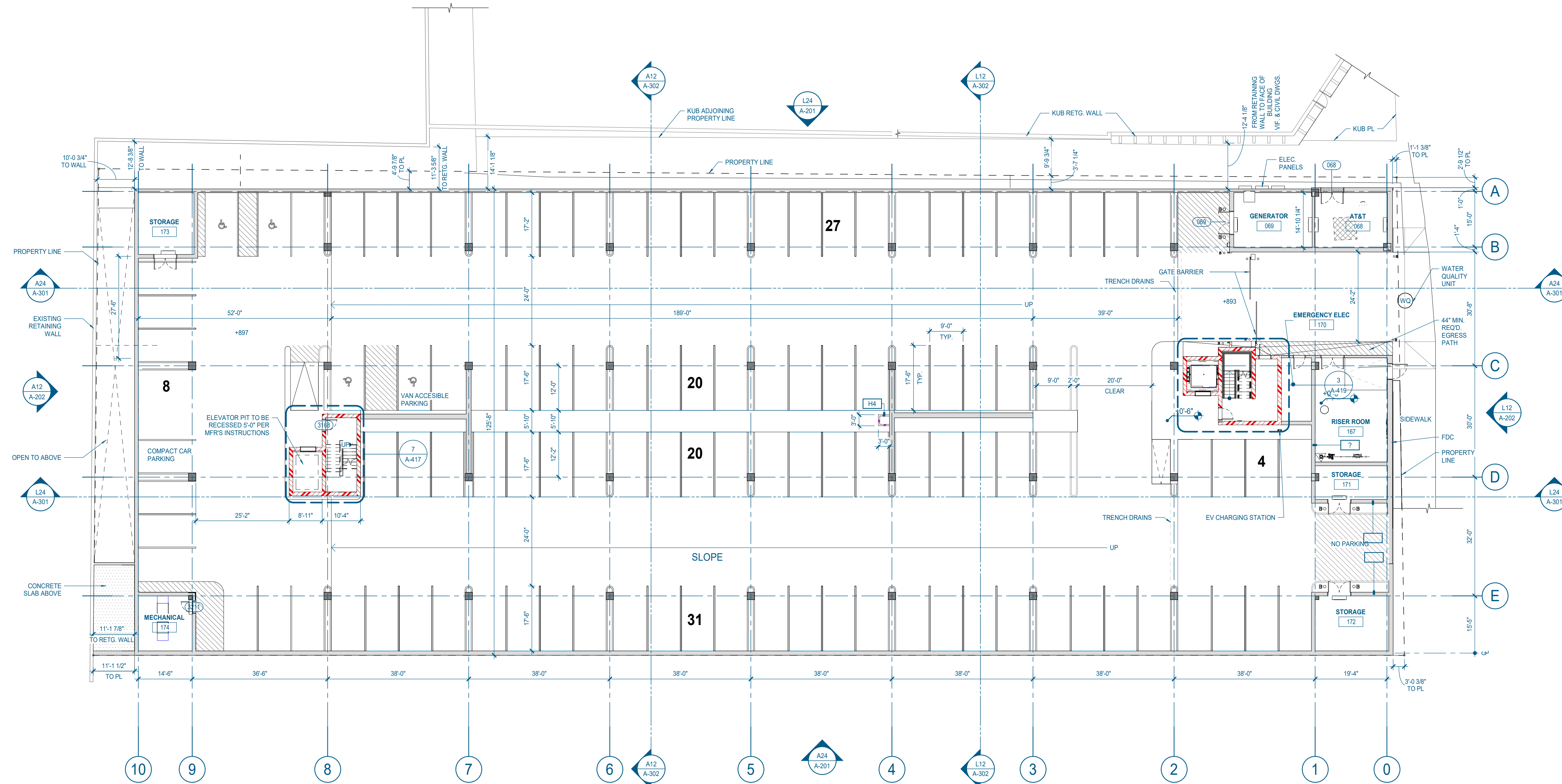
ECOSENSE LIGHTING INC.  
837 NORTH SPRING STREET  
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SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE. VISIT [www.ecosenselighting.com](https://www.ecosenselighting.com) FOR THE MOST CURRENT SPECIFICATIONS.  
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**DOCUMENTS**



**D22** FLOOR PLAN - LEVEL 00 - BASEMENT  
1/16" = 1'-0" | A-100

### PARKING INFORMATION

BASEMENT - 110  
GROUND FLOOR - 57

TOTAL PARKING - 167

A PARKING SPACES: 127  
B PARKING SPACES: 78  
TOTAL REQUIRED: 205

ADDITIONAL SPACES NEEDED IN  
STATE STREET GARAGE (MIN): 38

### FLOOR PLAN GENERAL NOTES

- REFER TO SHEET A-001 FOR ADDITIONAL GENERAL NOTES.
- ALL NEW PARTITIONS SHALL BE TYPE **A60** UNO. REFER TO PARTITION SCHEDULE FOR MORE INFORMATION.
- REFER TO PARTITION TYPE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
- PARTITION TYPES ARE SCHEDULED IN THE A-000 SERIES. RE: G-100 SERIES "CODE COMPLIANCE PLANS/LIFE SAFETY PLANS" FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
- TYPICAL DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO THE FACE OF STUD. TO CENTER LINE OF COLUMNS AND TO FACE OF CONCRETE OR MASONRY WALLS. UNLESS OTHERWISE NOTED, DIMENSIONS IN RENOVATED AREAS ARE FROM FINISH FACE OF EXISTING WALLS TO FINISH FACE OF NEW STUD WALLS. UNLESS OTHERWISE INDICATED, DIMENSIONS NOTED AS MINIMUM, CLEAR, OR 25% ARE TO FACE OF PARTITION FINISH. MAINT. DIMENSIONS NOTED.
- PARTITIONS NOT DIMENSIONED ARE GENERALLY LOCATED BY ONE OF THE FOLLOWING CRITERIA:
  - CENTERLINE: CENTER OF PARTITION ALIGNS WITH THE CENTER OF GRIDLINE OR OBJECT CENTERLINE (SUCH AS A COLUMN OR MULLION). CENTER THE OVERALL PARTITION WIDTH RATHER THAN STUD WIDTH ON THE LINE.
  - ALIGN: LOCATE PARTITION FLUSH WITH FACE OF GYPSUM BOARD, OR OTHER SURFACE INDICATED.
- WHERE EXISTING WALL BASE OR WALL COVERING HAS BEEN REMOVED, SKIM COAT WALL SURFACE TO MAKE SMOOTH TO MATCH ADJACENT CONSTRUCTION SO AS NOT TO TELEGRAPH THROUGH FOR NEW FINISH.
- WHERE PARTITION IS TO ALIGN WITH THE FACE OF AN EXISTING DRYWALL CORNER OR EDGE, REMOVE THE EXISTING CORNER BEAD, TAPE, SPRINKLE AND SAME SMOOTH. NEW AND EXISTING DRYWALL TO BE IN THE SAME PLANE WITH NO VISIBLE JOINTS.
- WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. STUDS SHALL BE OFFSET AND ADDITIONAL LAYERS OF GYPSUM BOARD SHALL BE PROVIDED AS REQUIRED TO PROVIDE FACE ALIGNMENT OF GYPSUM BOARD.
- SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF VERTICAL EXPANSION JOINTS IN MASONRY.
- SEE EQUIPMENT DRAWINGS (G-XXX) FOR LOCATION OF FOOD SERVICE, EQUIPMENT NOT SHOWN - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL.
- PROVIDE MINIMUM 1'-0" CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR WITH A CLOSER. PROVIDE MINIMUM 1'-6" CLEAR AT THE PULL SIDE OF EVERY DOOR, UNLESS SPECIFICALLY DIMENSIONED, NOTED OR SHOWN OTHERWISE.
- LOCATE DOORS 0'-4" FROM FACE OF INTERSECTING STUD PARTITION TO INSIDE EDGE OF DOOR FRAME UNO. LOCATE DOORS, IN MASONRY, 0'-6" FROM FACE OF INTERSECTING MASONRY PARTITION TO INSIDE EDGE OF DOOR FRAME UNO.
- THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF WALL UNDIMENSIONED SHOULD BE CENTERED ON THAT ROOMSPACE.
- ALL EXPOSED CMU CORNERS, VERTICAL AND HORIZONTAL, SHALL BE BULL-NOSED.
- SEE G-003 FOR TYPICAL MOUNTING HEIGHTS.
- VERIFY LOCATION OF MARKERBOARDS, TACKBOARDS, AND MONITORS PRIOR TO INSTALLATION.
- FIELD MEASURE AND CONFIRM DIMENSIONS FOR EQUIPMENT, FURNISHINGS & ARCHITECTURAL WOODWORK (MILLWORK).
- LAVATORIES AND SINKS SHALL BE ACCOMPANIED BY A PAPER TOWEL DISPENSER AND SOAP DISPENSER UNLESS OTHERWISE NOTED ON THE FLOOR PLANS.
- SEE DOOR SCHEDULE FOR DOOR FRAME MATERIAL & FINISHES AND ALL HARDWARE COMBINATIONS. REFER TO PROJECT MANUAL.
- REFER TO MOUNTING DIAGRAMS AND ELEVATIONS FOR LOCATION OF SWITCHES, DIMMERS, THERMOSTATS AND OUTLETS.

### FLOOR PLAN KEYED NOTES

Project Information:  
**22036**

**VINTAGE CAL.**  
121 UNION AVENUE KNOXVILLE,  
TN 37902  
**Goss Design &  
Development + TDK  
Companies**

Seal:  
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Consultant:

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PIC: N. HONEYCUTT  
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Checked By:

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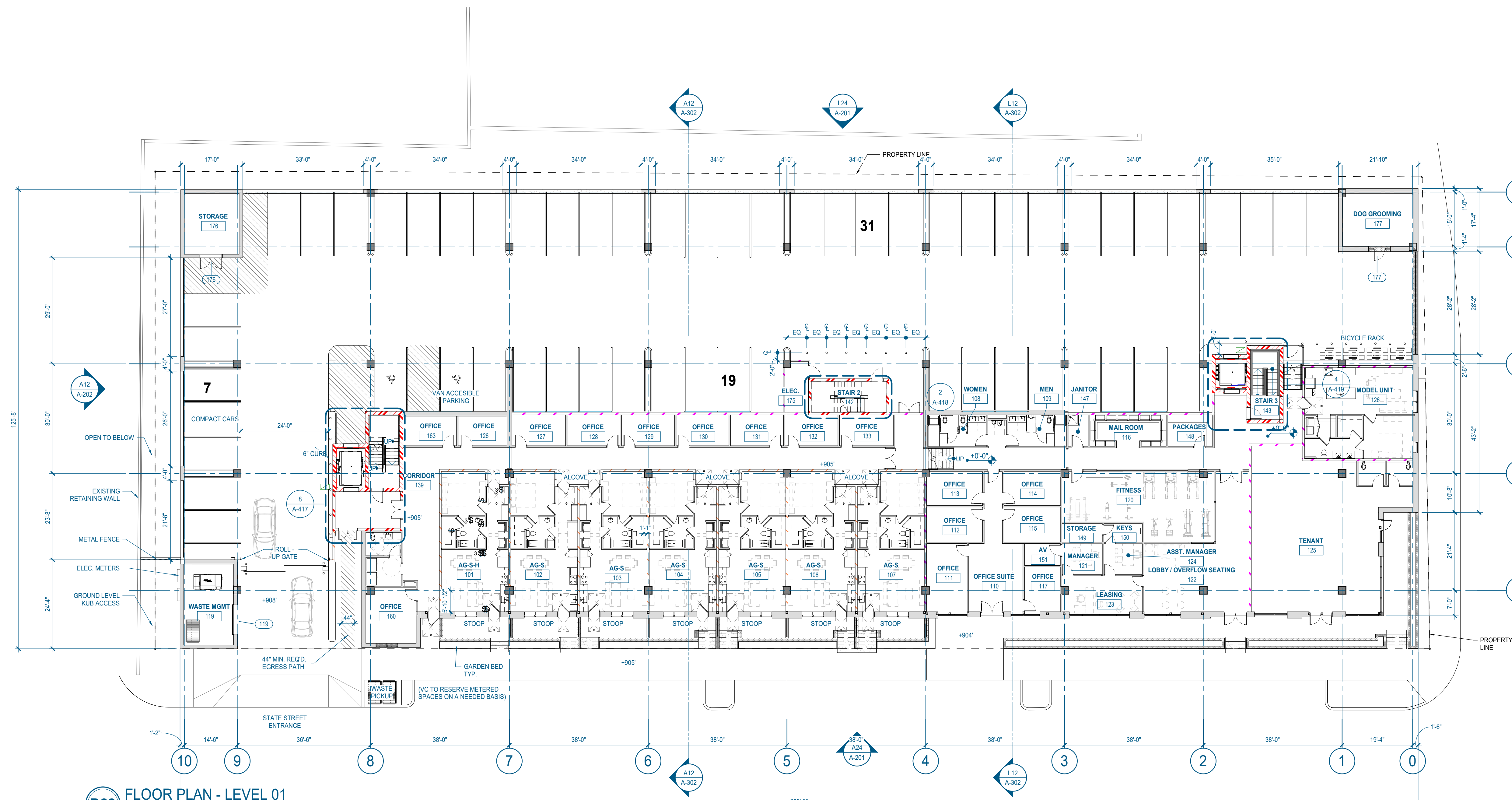
**A-100**

FLOOR PLAN - LEVEL  
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**D22 FLOOR PLAN - LEVEL 01**  
1/16" = 1'-0" | A-101

**PARKING INFORMATION**

BASEMENT - 110  
GROUND FLOOR - 57

TOTAL PARKING - 167

A PARKING SPACES: 127  
B PARKING SPACES: 78  
TOTAL REQUIRED: 205

ADDITIONAL SPACES NEEDED IN  
STATE STREET GARAGE (MIN): 38

**FLOOR PLAN GENERAL NOTES**

- REFER TO SHEET A-001 FOR ADDITIONAL GENERAL NOTES.
- ALL NEW PARTITIONS SHALL BE TYPE **A65**. UNO. REFER TO PARTITION SCHEDULE FOR MORE INFORMATION.
- REFER TO PARTITION TYPE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
- PARTITION TYPES ARE SCHEDULED IN THE A-000 SERIES. RE: G-100 SERIES \*CODE COMPLIANCE PLANS/LIFE SAFETY PLANS FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
- TYPICAL DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO THE FACE OF STUD. TO CENTERLINE OF COLUMNS AND TO FACE OF CONCRETE OR MASONRY WALLS. UNLESS OTHERWISE NOTED DIMENSIONS IN **RENOVATED AREAS** ARE FROM FINISH FACE OF EXISTING WALLS TO FINISH FACE OF NEW STUD WALLS. UNLESS OTHERWISE INDICATED DIMENSIONS NOTED AS **MINIMUM CLEAR** OR **25/24** ARE TO FACE OF PARTITION FINISH. MAINT. DIMENSIONS NOTED.
- PARTITIONS NOT DIMENSIONED ARE GENERALLY LOCATED BY ONE OF THE FOLLOWING CRITERIA:  
A. CENTERLINE: CENTER OF PARTITION ALIGNS WITH THE CENTER OF GRIDLINE OR OBJECT CENTERLINE (SUCH AS A COLUMN OR MULLION). CENTER THE OVERALL PARTITION WIDTH RATHER THAN STUD WIDTH ON THE LINE.  
B. ALIGN: LOCATE PARTITION FLUSH WITH FACE OF GYPSUM BOARD, OR OTHER SURFACE INDICATED.
- WHERE EXISTING WALL BASE OR WALLCOVERING HAS BEEN REMOVED, SKIM COAT WALL SURFACE TO MAKE SMOOTH TO MATCH ADJACENT CONSTRUCTION SO AS NOT TO TELEGRAPH THROUGH FOR NEW FINISH.
- WHERE PARTITION IS TO ALIGN WITH THE FACE OF AN EXISTING DRYWALL CORNER OR EDGE, REMOVE THE EXISTING CORNER BEAD, TAPE, SPACKLE AND SAND SMOOTH. NEW AND EXISTING DRYWALL TO BE IN THE SAME PLANE WITH NO VISIBLE JOINTS.
- WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. STUDS SHALL BE OFFSET AND ADDITIONAL LAYERS OF GYPSUM BOARD SHALL BE PROVIDED AS REQUIRED TO PROVIDE FACE ALIGNMENT OF GYPSUM BOARD.
- SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF VERTICAL EXPANSION JOINTS IN MASONRY.
- SEE EQUIPMENT DRAWINGS (E-XXX) FOR LOCATION OF FOOD SERVICE, EQUIPMENT NOT SHOWN - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL.
- PROVIDE MINIMUM 1'-0" CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR WITH A CLOSER. PROVIDE MINIMUM 1'-6" CLEAR AT THE PULL SIDE OF EVERY DOOR, UNLESS SPECIFICALLY DIMENSIONED, NOTED OR SHOWN OTHERWISE.
- LOCATE DOORS 6'-4" FROM FACE OF INTERSECTING STUD PARTITION TO INSIDE EDGE OF DOOR FRAME. UNO. LOCATE DOORS, IN MASONRY 0'-3" FROM FACE OF INTERSECTING MASONRY PARTITION TO INSIDE EDGE OF DOOR FRAME. UNO.
- THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF WALL UNDIMENSIONED SHOULD BE CENTERED ON THAT ROOMSPACE.
- ALL EXPOSED CMU CORNERS, VERTICAL AND HORIZONTAL, SHALL BE BULL-NOSED.
- SEE G-003 FOR TYPICAL MOUNTING HEIGHTS.
- VERIFY LOCATION OF MARKERBOARDS, TACKBOARDS, AND MONITORS PRIOR TO INSTALLATION.
- FIELD MEASURE AND CONFIRM DIMENSIONS FOR EQUIPMENT, FURNISHINGS & ARCHITECTURAL WOODWORK (MILLWORK).
- LAVATORIES AND SINKS SHALL BE ACCOMPANIED BY A PAPER TOWEL DISPENSER, AND SOAP DISPENSER UNLESS OTHERWISE NOTED ON THE FLOOR PLANS.
- SEE DOOR SCHEDULE FOR DOOR FRAME MATERIAL & FINISHES AND ALL HARDWARE COMBINATIONS. REFER TO PROJECT MANUAL.
- REFER TO MOUNTING DIAGRAMS AND ELEVATIONS FOR LOCATION OF SWITCHES, DIMMERS, THERMOSTATS AND OUTLETS.

**FLOOR PLAN KEYED NOTES**

- Project Information:  
**22036**
- VINTAGE CAL.**  
121 UNION AVENUE KNOXVILLE, TN 37902
- Goss Design & Development + TDK Companies**
- Seal:  
50% DD PRICING PACKAGE
- PRELIMINARY PACKAGE:  
NOT FOR CONSTRUCTION**
- Consultant:

**FLOOR PLAN LEGEND**

NEW	EXISTING
	NON RATED - PARTITION
	1HR RATED - PARTITION
	DOOR OPENING AND REFERENCE TAG W/ TYP. CLEARANCE DIMS. (RE: A-003S FOR DOOR SCHEDULE) (E... DENOTES EXISTING DOOR)
	ITEMS TO BE BUILT IN MILLWORK, REF. INTERIOR ELEVATIONS
	AREA OUT OF ARCHITECTURAL SCOPE - REFERS TO MEP AND STRUCTURAL FOR ADDITIONAL WORK IF REQ'D.
	PARTITION TYPE MARK
	FLOOR PLAN KEYED NOTE MARK
	OPENING TYPE MARK
	CONSTRUCTION JOINT CJ - CONTROL JOINT EJ - EXPANSION JOINT
	OBJECTS OVERHEAD
	CENTERLINE OF OBJECT
	OWNER FURNISHED ITEM
	FLOOR RECEPTACLE

**MHM**

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Project Information:  
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**Goss Design & Development + TDK Companies**

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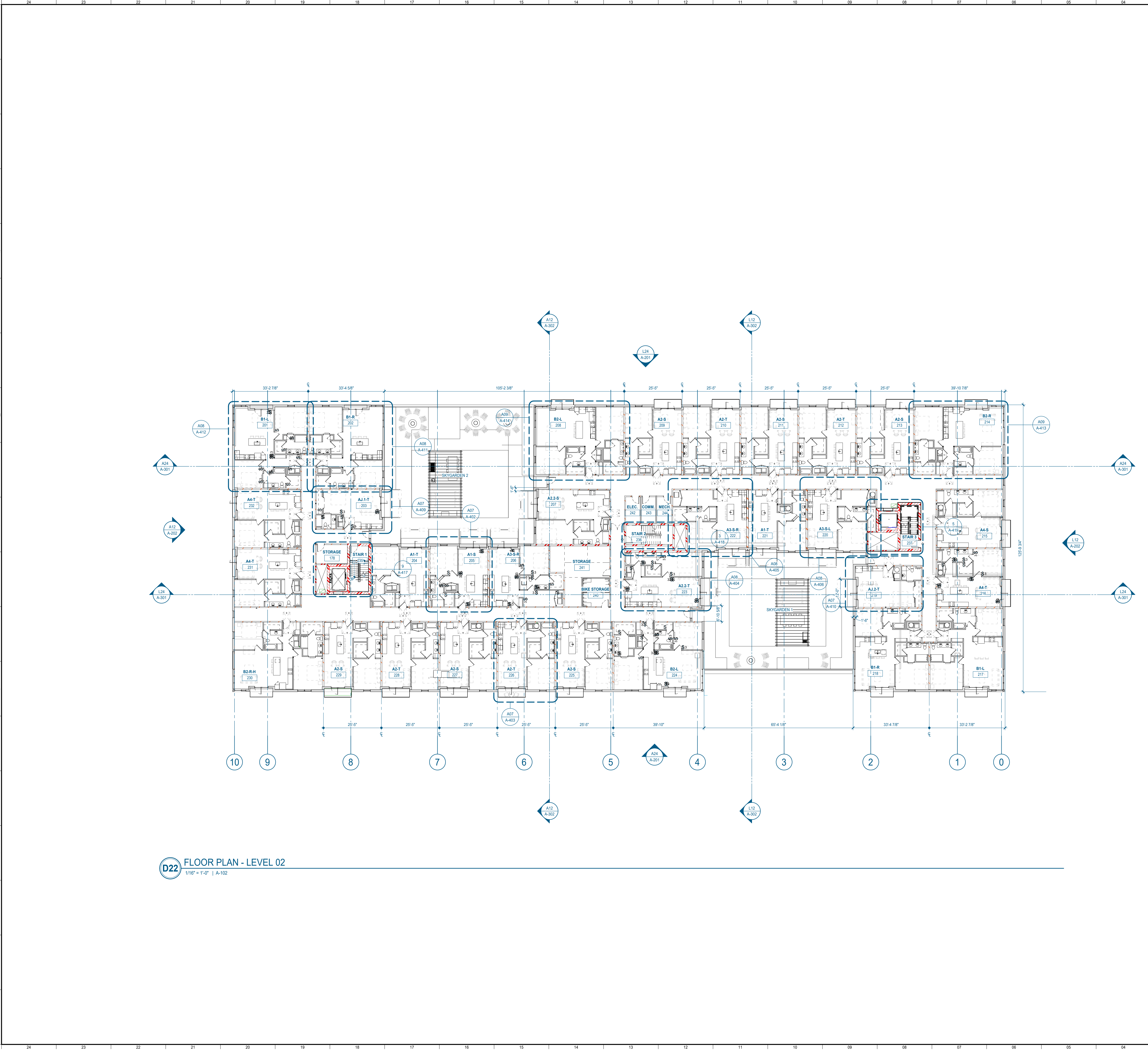
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Consultant:

# ISSUED BY: DATE

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PIC: N. HONEYCUTT  
PM: K. GREER  
PA: C. BOLIN  
Drawn By: L.MARTIN  
Checked By:

Sheet Information:  
**A-101**  
FLOOR PLAN - LEVEL 01  
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**D22 FLOOR PLAN - LEVEL 02**  
 1/16" = 1'-0" | A-102

**FLOOR PLAN GENERAL NOTES**

- REFER TO SHEET A-001 FOR ADDITIONAL GENERAL NOTES.
- ALL NEW PARTITIONS SHALL BE TYPE **A&L** UNLESS REFERRED TO PARTITION SCHEDULE FOR MORE INFORMATION.
- REFER TO PARTITION TYPE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
- PARTITION TYPES ARE SCHEDULED IN THE A-080 SERIES. SEE G-100 SERIES "CODE COMPLIANCE PLANS/LIFE SAFETY PLANS" FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
- TYPICAL DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO THE FACE OF STUD. TO CENTER LINE OF COLUMNS AND TO FACE OF CONCRETE OR MASONRY WALLS. UNLESS OTHERWISE NOTED, DIMENSIONS IN REMODELING AREAS ARE FROM FINISH FACE OF EXISTING WALLS TO FINISH FACE OF NEW STUD WALLS. UNLESS OTHERWISE INDICATED, DIMENSIONS NOTED AS **MINIMUM CLEAR** OR **2XLS** ARE TO FACE OF PARTITION FINISH. MAINTAIN DIMENSIONS NOTED.
- PARTITIONS NOT DIMENSIONED ARE GENERALLY LOCATED BY ONE OF THE FOLLOWING CRITERIA:
  - CENTERLINE CENTER OF PARTITION ALIGNS WITH THE CENTER OF GRIDLINE OR OBJECT CENTERLINE (SUCH AS A COLUMN OR MULLION). CENTER THE OVERALL PARTITION WIDTH RATHER THAN STUD WIDTH ON THE LINE.
  - ALIGN LOCATE PARTITION FLUSH WITH FACE OF GYPSUM BOARD, OR OTHER SURFACE INDICATED.
- WHERE EXISTING WALL BASE OR WALL COVERING HAS BEEN REMOVED, SKIM COAT WALL SURFACE TO MAKE SMOOTH TO MATCH ADJACENT CONSTRUCTION SO AS NOT TO TELEGRAPH THROUGH FOR NEW FINISH.
- WHERE PARTITION IS TO ALIGN WITH THE FACE OF AN EXISTING DRYWALL CORNER OR EDGE, REMOVE THE EXISTING CORNER BEAD, TAPE, SPACKLE AND SAND SMOOTH. NEW AND EXISTING DRYWALL TO BE IN THE SAME PLANE WITH NO VISIBLE JOINTS.
- WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASUREMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. STUDS SHALL BE OFFSET AND ADDITIONAL LAYERS OF GYPSUM BOARD SHALL BE PROVIDED AS REQUIRED TO PROVIDE FACE ALIGNMENT OF GYPSUM BOARD.
- SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF VERTICAL EXPANSION JOINTS IN MASONRY.
- SEE EQUIPMENT DRAWINGS (G-XXX) FOR LOCATION OF FOOD SERVICE, EQUIPMENT NOT SHOWN - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL.
- PROVIDE MINIMUM 1'-0" CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR WITH A CLOSER. PROVIDE MINIMUM 1'-0" CLEAR AT THE PULL SIDE OF EVERY DOOR, UNLESS SPECIFICALLY DIMENSIONED, NOTED OR SHOWN OTHERWISE.
- LOCATE DOORS 0'-4" FROM FACE OF INTERSECTING STUD PARTITION TO INSIDE EDGE OF DOOR FRAME UNLESS NOTED. LOCATE DOORS 0'-0" FROM FACE OF INTERSECTING MASONRY PARTITION TO INSIDE EDGE OF DOOR FRAME UNLESS NOTED.
- THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF WALL UNDIMENSIONED SHOULD BE CENTERED ON THAT ROOMSPACE.
- ALL EXPOSED CMU CORNERS, VERTICAL AND HORIZONTAL, SHALL BE BUILT-NOSED.
- SEE G-003 FOR TYPICAL MOUNTING HEIGHTS.
- VERIFY LOCATION OF MARKERBOARDS, TACKBOARDS, AND MONITORS PRIOR TO INSTALLATION.
- FIELD MEASURE AND CONFIRM DIMENSIONS FOR EQUIPMENT, FURNISHINGS & ARCHITECTURAL WOODWORK (MILLWORK).
- LAVATORIES AND SINKS SHALL BE ACCOMPANIED BY A PAPER TOWEL DISPENSER AND SOAP DISPENSER UNLESS OTHERWISE NOTED ON THE FLOOR PLANS.
- SEE DOOR SCHEDULE FOR DOOR FRAME MATERIALS & FINISHES AND ALL HARDWARE COMBINATIONS. REFER TO PROJECT MANUAL.
- REFER TO MOUNTING DIAGRAMS AND ELEVATIONS FOR LOCATION OF SWITCHES, DIMMERS, THERMOSTATS AND OUTLETS.



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**FLOOR PLAN KEYED NOTES**

Project Information:  
 22036

**VINTAGE CAL.**  
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**Goss Design &  
 Development + TDK  
 Companies**

Seal:  
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 PRELIMINARY PACKAGE:  
**NOT FOR  
 CONSTRUCTION**

Consultant:

#	ISSUED BY:	DATE

**FLOOR PLAN LEGEND**

- |  |                       |  |   |
|--|-----------------------|--|---|
|  | <b>NEW</b>            |  | <b>EXISTING</b>   |
|  | NON RATED - PARTITION |  | NON RATED - PARTITION   |
|  | 1HR RATED - PARTITION |  | DOOR OPENING AND REFERENCE TAG W/ TYP. CLEARANCE DIMS. (SEE A-003 FOR DOOR SCHEDULE) (E ____ DENOTES EXISTING DOOR) |
|  |                       |  | ITEMS TO BE BUILT IN MILLWORK, REF. INTERIOR ELEVATIONS   |
|  |                       |  | AREA OUT OF ARCHITECTURAL SCOPE - REFER TO MEP AND STRUCTURAL FOR ADDITIONAL WORK IF REQ'D.                         |
|  | xxx                   |  | PARTITION TYPE MARK   |
|  | (x)                   |  | FLOOR PLAN KEYED NOTE MARK  |
|  | (x)                   |  | OPENING TYPE MARK   |
|  | CJ                    |  | CONSTRUCTION JOINT<br>CJ - CONTROL JOINT<br>EJ - EXPANSION JOINT  |
|  | ---                   |  | OBJECTS OVERHEAD  |
|  | ---                   |  | CENTERLINE OF OBJECT  |
|  | - - - -               |  | OWNER FURNISHED ITEM  |
|  | (O)                   |  | FLOOR RECEPTACLE  |

**Issue Date:** JUNE 16, 2023  
**PIC:** N. HONEYCUTT  
**PM:** K. GREER  
**PA:** C. BOLIN  
**Drawn By:** L. MARTIN  
**Checked By:** \_\_\_\_\_

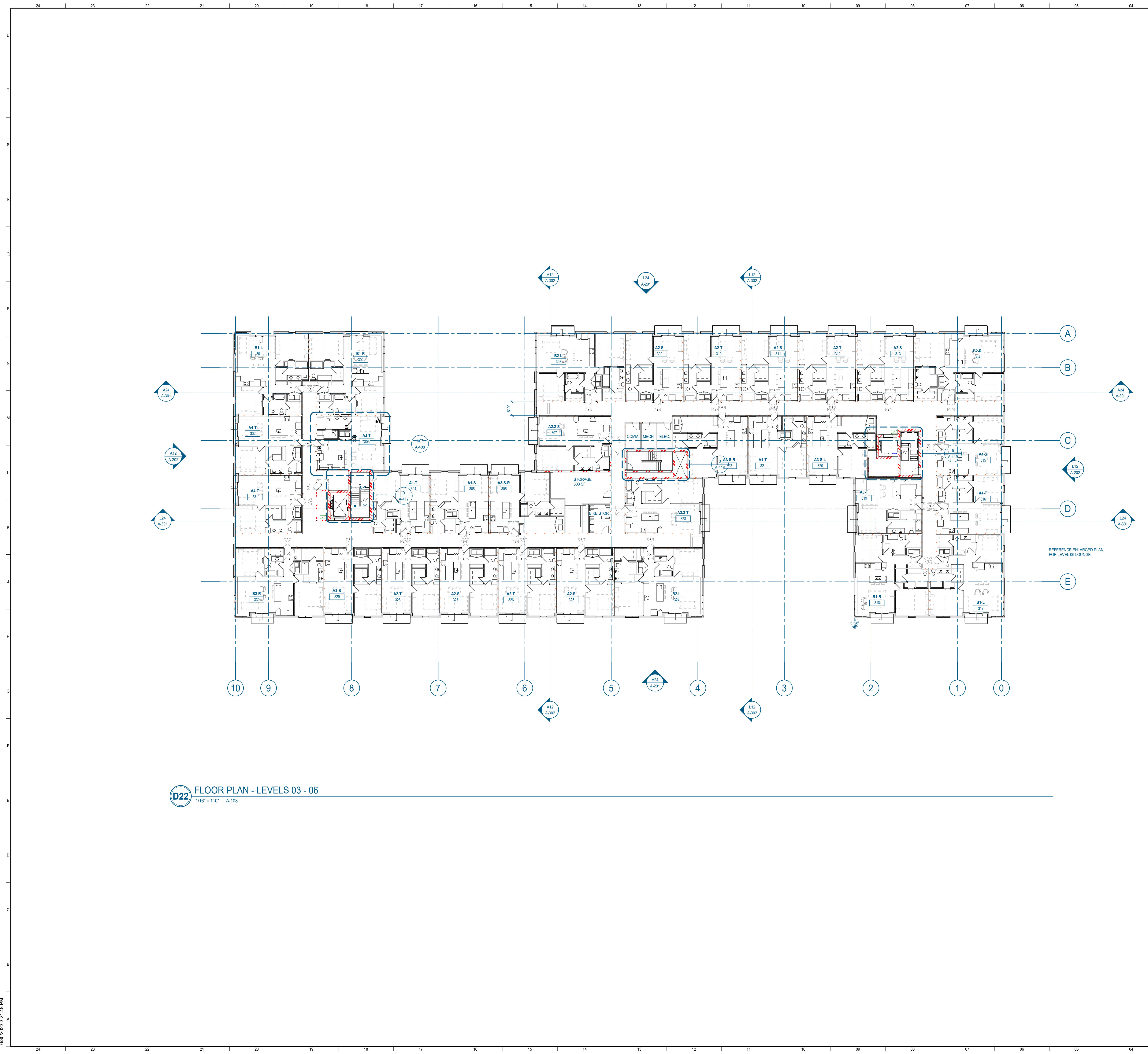
Sheet Information:

**A-102**

FLOOR PLAN - LEVEL 02

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**D22** FLOOR PLAN - LEVELS 03 - 06  
 1/16" = 1'-0" | A-103

**FLOOR PLAN GENERAL NOTES**

1. REFER TO SHEET A-001 FOR ADDITIONAL GENERAL NOTES.
2. ALL NEW PARTITIONS SHALL BE TYPE **A40**, UNLESS OTHERWISE NOTED. REFER TO PARTITION SCHEDULE FOR MORE INFORMATION.
3. REFER TO PARTITION TYPE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
4. PARTITION TYPES ARE SCHEDULED IN THE A-100 SERIES, RE. G-100 SERIES "CODE COMPLIANCE PLANS/LIFE SAFETY PLANS" FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
5. TYPICAL DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO THE FACE OF STUD. TO CENTERLINE OF COLUMNS AND TO FACE OF CONCRETE OR MASONRY WALLS, UNLESS OTHERWISE NOTED. DIMENSIONS IN RENOVATED AREAS ARE FROM FINISH FACE OF EXISTING WALLS TO FINISH FACE OF NEW STUD WALLS, UNLESS OTHERWISE INDICATED. DIMENSIONS NOTED AS "MINIMUM CLEAR" OR "2X24" ARE TO FACE OF PARTITION FINISH. MAINT. DIMENSIONS NOTED.
6. PARTITIONS NOT DIMENSIONED ARE GENERALLY LOCATED BY ONE OF THE FOLLOWING CRITERIA:
  - A. CENTERLINE: CENTER OF PARTITION ALIGNS WITH THE CENTER OF GRIDLINE OR OBJECT CENTERLINE (SUCH AS A COLUMN OR MILLION). CENTER THE OVERALL PARTITION WIDTH RATHER THAN STUD WIDTH ON THE LINE.
  - B. ALIGN: LOCATE PARTITION FLUSH WITH FACE OF GYPSUM BOARD, OR OTHER SURFACE INDICATED.
7. WHERE EXISTING WALL BASE OR WALLCOVERING HAS BEEN REMOVED, SKIM COAT WALL SURFACE TO MAKE SMOOTH TO MATCH ADJACENT CONSTRUCTION SO AS NOT TO TELEGRAPH THROUGH FOR NEW FINISH.
8. WHERE PARTITION IS TO ALIGN WITH THE FACE OF AN EXISTING DRYWALL CORNER OR EDGE, REMOVE THE EXISTING CORNER BEAD, TAPE, SPACKLE AND SAME SMOOTH. NEW AND EXISTING DRYWALL TO BE IN THE SAME PLANE WITH NO VISIBLE JOINTS.
9. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. STUDS SHALL BE OFFSET AND ADDITIONAL LAYERS OF GYPSUM BOARD SHALL BE PROVIDED AS REQUIRED TO PROVIDE FACE ALIGNMENT OF GYPSUM BOARD.
10. SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF VERTICAL EXPANSION JOINTS IN MASONRY.
11. SEE EQUIPMENT DRAWINGS (E-XXX) FOR LOCATION OF FOOD SERVICE, EQUIPMENT NOT SHOWN - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL.
12. PROVIDE MINIMUM 1'-0" CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR WITH A CLOSER. PROVIDE MINIMUM 1'-6" CLEAR AT THE PULL SIDE OF EVERY DOOR, UNLESS SPECIFICALLY DIMENSIONED, NOTED OR SHOWN OTHERWISE.
13. LOCATE DOORS 0'-4" FROM FACE OF INTERSECTING STUD PARTITION TO INSIDE EDGE OF DOOR FRAME. UNLESS OTHERWISE NOTED, LOCATE DOORS 0'-3" FROM FACE OF INTERSECTING MASONRY PARTITION TO INSIDE EDGE OF DOOR FRAME. UNLESS OTHERWISE NOTED.
14. THE ROUGH OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF WALL UNDIMENSIONED SHOULD BE CENTERED ON THAT ROOMSPACE.
15. ALL EXPOSED CMU CORNERS, VERTICAL AND HORIZONTAL, SHALL BE BULL-NOSED.
16. SEE G-003 FOR TYPICAL MOUNTING HEIGHTS.
17. VERIFY LOCATION OF MARKERBOARDS, TACKBOARDS, AND MONITORS PRIOR TO INSTALLATION.
18. FIELD MEASURE AND CONFIRM DIMENSIONS FOR EQUIPMENT, FURNISHINGS & ARCHITECTURAL WOODWORK (MILLWORK).
19. LAVATORIES AND SINKS SHALL BE ACCOMPANIED BY A PAPER TOWEL DISPENSER AND SOAP DISPENSER UNLESS OTHERWISE NOTED ON THE FLOOR PLANS.
20. SEE DOOR SCHEDULE FOR DOOR FRAME MATERIAL & FINISHES AND ALL HARDWARE COMBINATIONS. REFER TO PROJECT MANUAL.
21. REFER TO MOUNTING DIAGRAMS AND ELEVATIONS FOR LOCATION OF SWITCHES, DIMMERS, THERMOSTATS AND OUTLETS.

**FLOOR PLAN KEYED NOTES**

Project Information:  
**22036**

VINTAGE CAL.  
 121 UNION AVENUE KNOXVILLE,  
 TN 37902

Goss Design &  
 Development + TDK  
 Companies

Seal:  
 50% DD PRICING PACKAGE

PRELIMINARY PACKAGE:  
**NOT FOR  
 CONSTRUCTION**

Consultant:

**FLOOR PLAN LEGEND**

NEW	EXISTING
NON RATED - PARTITION	NON RATED - PARTITION
1HR RATED - PARTITION	1HR RATED - PARTITION
	DOOR OPENING AND REFERENCE TAG W/ TYP. CLEARANCE DIMS. (RE. A-003 FOR DOOR SCHEDULE) (E... DENOTES EXISTING DOOR)
	ITEMS TO BE BUILT IN MILLWORK, REF. INTERIOR ELEVATIONS
	AREA OUT OF ARCHITECTURAL SCOPE - REFER TO MEP AND STRUCTURAL FOR ADDITIONAL WORK IF REQ'D.
	PARTITION TYPE MARK
	FLOOR PLAN KEYED NOTE MARK
	OPENING TYPE MARK
	CONSTRUCTION JOINT CJ - CONTROL JOINT EJ - EXPANSION JOINT
	OBJECTS OVERHEAD
	CENTERLINE OF OBJECT
	OWNER FURNISHED ITEM
	FLOOR RECEPTACLE

Smees + Busby Architects, P.C.  
 2554 Sutherland Ave.  
 Knoxville, TN 37919  
 1865.521.7550  
 www.smeesbusby.com

McCarthy Holsapple McCarty  
 550 W. Main St., Suite 300  
 Knoxville, TN 37902  
 1865.544.2000  
 www.mhminc.com

Project Information:  
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 Development + TDK  
 Companies

Seal:  
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PRELIMINARY PACKAGE:  
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Consultant:

#	ISSUED BY:	DATE

Issue Date: JUNE 16, 2023  
 PIC: N. HONEYCUTT  
 PM: K. GREER  
 PA: C. BOLIN  
 Drawn By: L. MARTIN  
 Checked By:

Sheet Information:  
**A-103**  
 FLOOR PLAN - LEVELS  
 03 - 06  
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L24 EXTERIOR BUILDING ELEVATION - EAST  
1/16" = 1'-0" | A-201



A24 EXTERIOR BUILDING ELEVATION - WEST  
1/16" = 1'-0" | A-201

Project Information:  
22036

VINTAGE CAL.  
121 UNION AVENUE KNOXVILLE,  
TN 37902  
Goss Design &  
Development + TDK  
Companies

Seal:  
50% DD PRICING PACKAGE  
PRELIMINARY PACKAGE:  
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CONSTRUCTION

Consultant:

#	ISSUED BY:	DATE
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Issue Date:	JUNE 16, 2023
PIC	N. HONEYCUTT
PM	K. GREER
PA	C. BOLIN
Drawn By:	Author
Checked By:	

Sheet Information:

## A-202

EXTERIOR BUILDING  
ELEVATIONS

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L12 EXTERIOR BUILDING ELEVATION - SOUTH  
1/16" = 1'-0" | A-202



A12 EXTERIOR BUILDING ELEVATION - NORTH  
1/16" = 1'-0" | A-202

**PRODUCTS**



RIBBED Ivory | VINTAGEWOOD Cedar

# THE DIMENSION SERIES

## Color. Texture. Depth. It's design complexity made simple.

Don't settle for a single, flat look when the Dimension Series lets you add depth, texture and color to your designs. Our multi-dimensional Ribbed,™ Latura V-Groove and Novenary panels bring visual interest to smooth surfaces, like glass or metal, with recessed reveals and striking shadow lines. An additional element, like color, is the perfect way to add another layer of depth and intrigue. The Dimension Series gives you the design flexibility you desire to bring walls to life.

# NICHIHA CLADDING

RIBBED



IVORY



CUSTOM COLOR

**CUSTOM HUES MEET MODERN DESIGN**  
 With Color Xpressions, Ribbed panels are available in an array of custom colors. Learn more on page 6.

Custom color and texture are often used to create depth to make small spaces seem larger. However, even large areas can benefit from these techniques to give flat designs more visual interest.

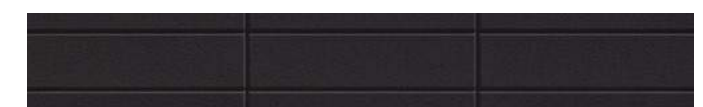
RIBBED SPECS	AWP 3030
DIMENSIONS (ACTUAL MM)	17-7/8" H x 119-5/16" L (455MM H x 3030MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	57.3
WEIGHT (LBS. PER SQ. FT.)	3.8
EXPOSED COVERAGE (SQ. FT. PER PANEL)	14.81 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [29.62 SQ. FT.]

AWP 3030 CAN BE INSTALLED HORIZONTALLY OR VERTICALLY.

NOVENARY



OPAL



SLATE



SAND



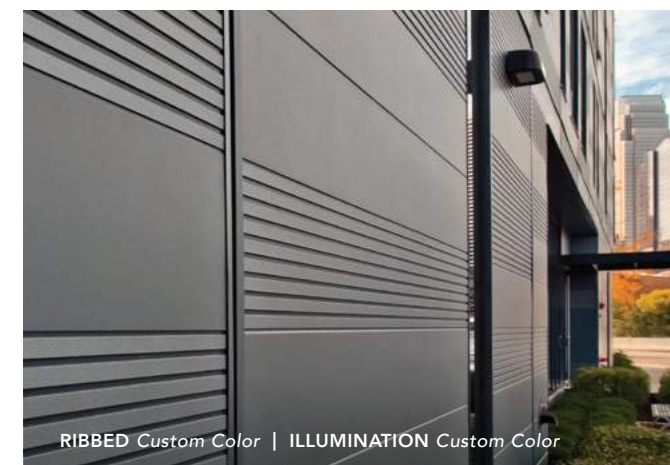
OCHRE



CLAY

NOVENARY SPECS	AWP 1818
DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)
THICKNESS (ACTUAL MM)	7/8" (21MM)
TILE SIZE	5-3/8" H x 23-1/4" L
WEIGHT (LBS. PER PANEL)	47.84
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [17.76 SQ. FT.]

AWP 1818 CAN ONLY BE INSTALLED HORIZONTALLY.



RIBBED Custom Color | ILLUMINATION Custom Color



NOVENARY Opal



# THE MODERN SERIES

ARCHITECTURALBLOCK Gray

## Take modern to the next level with distinct textures and tones.

The clean, modular look of the Nichiha Modern Series is a versatile choice for commercial and residential projects alike. The stylish tones and subtle seams are the perfect partner for gleaming glass and stainless steel. If you're looking for a modern contrast, the cool hues glow when paired with the warmth of wood. This series offers two distinct textures to ensure you find the perfect fit. ArchitecturalBlock™ is a handsome, durable and cost-effective solution. The ease of installation and wide variety of corner options make it as popular with contractors as it is with clients.

Its partner product, TuffBlock,™ offers many of the same features as ArchitecturalBlock, but takes urban to the next level with a tough, textured finish. TuffBlock is built to last with strong construction that stands up to everyday wear and tear, making it the perfect panel for high-traffic areas.

### ARCHITECTURALBLOCK



MOCHA



GRAY



TUSCAN

### TUFFBLOCK



STEEL



BAMBOO



WALNUT



PEWTER

### ARCHITECTURALBLOCK SPECS

AWP 1818

DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	35.2
WEIGHT (LBS. PER SQ. FT.)	3.9
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [17.76 SQ. FT.]

### TUFFBLOCK SPECS

AWP 1818

DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	35.2
WEIGHT (LBS. PER SQ. FT.)	3.9
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [17.76 SQ. FT.]



#### CUSTOM HUES MEET MODERN DESIGN

With Color Xpressions, TuffBlock is now available in an array of custom colors. Learn more on page 6.



ARCHITECTURALBLOCK Gray



TUFFBLOCK Steel | ILLUMINATION Custom Color



# THE WOOD SERIES

VINTAGEWOOD Cedar

## Get the natural look of wood with unmatched durability.

With 11 varieties of style and color, the Wood Series is our largest and most popular product line. Built to last, our VintageWood,™ RoughSawn,™ RiftSawn™ and Natura panels offer the rich textures of wood while providing color stability and withstanding extreme weather elements.

VintageWood exudes modern refinement and works well in both modern and vintage designs. Available in five colors — Bark, Cedar, Redwood, Ash and Spruce — VintageWood continues to be a best seller in the hospitality and healthcare markets. It pairs perfectly with glass, metal and block panels, adding a touch of warmth to the coolness of these materials. And because VintageWood can be installed vertically or horizontally, it offers a wide range of design options.

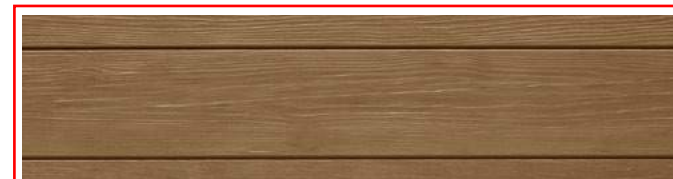
### VINTAGEWOOD



BARK



ASH



CEDAR



SPRUCE



REDWOOD



#### DESIGN TIP

Achieve the organic staggered look you love with our VintageWood 1818 panels, measuring nearly 6 feet in length.

#### VINTAGEWOOD SPECS

#### AWP 1818

#### AWP 3030

DIMENSIONS (ACTUAL MM)

17-7/8" H x 71-9/16" L  
(455MM H x 1818MM L)

17-7/8" H x 119-5/16" L  
(455MM H x 3030MM L)

THICKNESS (ACTUAL MM)

5/8" (16MM)

5/8" (16MM)

WEIGHT (LBS. PER PANEL)

34.8

57.3

WEIGHT (LBS. PER SQ. FT.)

3.9

3.8

EXPOSED COVERAGE (SQ. FT. PER PANEL)

8.88 SQ. FT.

14.81 SQ. FT.

PACKAGING (PIECES PER PACK)

2 [17.76 SQ. FT.]

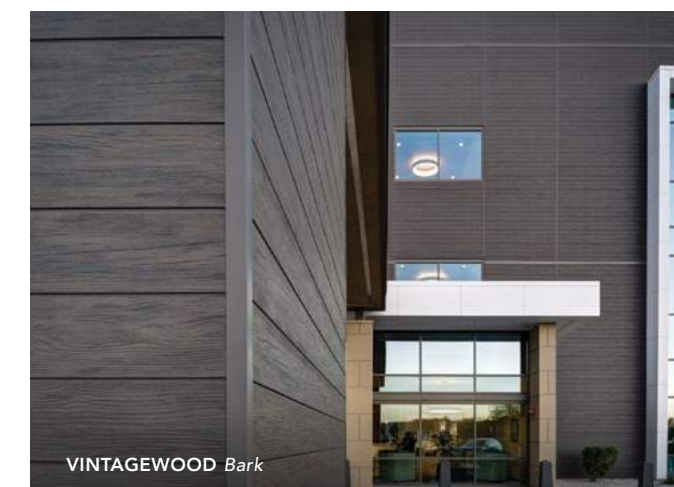
2 [29.62 SQ. FT.]

 AWP 1818 CAN ONLY BE INSTALLED HORIZONTALLY.

 AWP 3030 CAN BE INSTALLED HORIZONTALLY OR VERTICALLY.

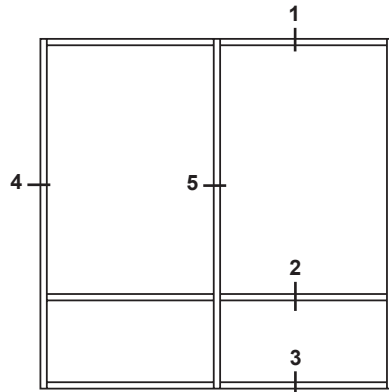


VINTAGEWOOD Ash

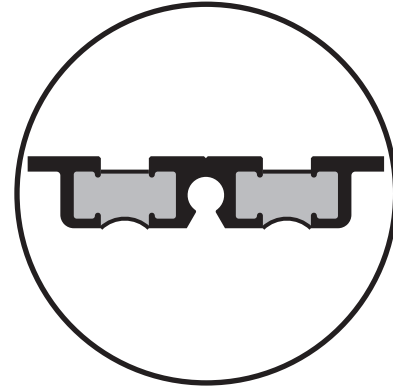


VINTAGEWOOD Bark

Additional information and CAD details are available at [www.kawneer.com](http://www.kawneer.com)

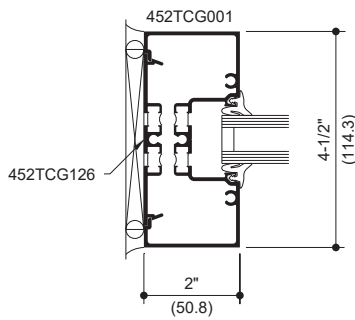


ELEVATION IS NUMBER KEYED TO DETAILS

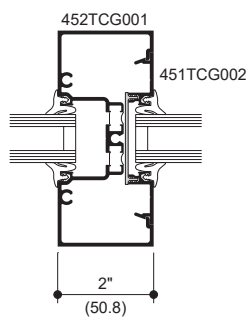


DUAL IsoLock® THERMAL BREAK

## SCREW SPLINE

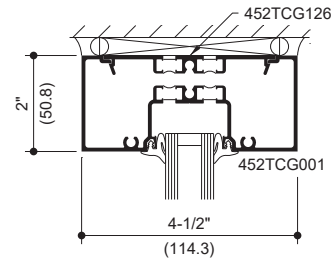


4  
JAMB

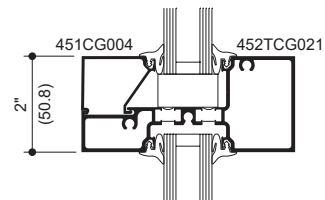


5  
VERTICAL

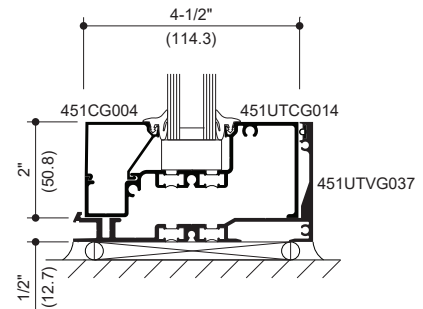
1  
HEAD



2  
HORIZONTAL



3  
SILL



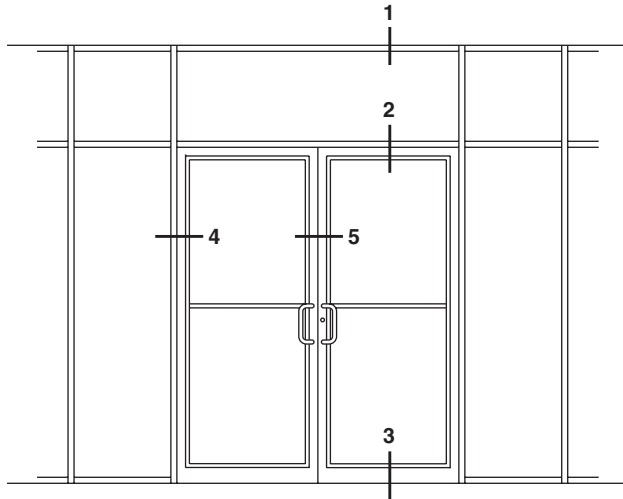
Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.  
© 2013, Kawneer Company, Inc.



Additional information and CAD details are available at [www.kawneer.com](http://www.kawneer.com)

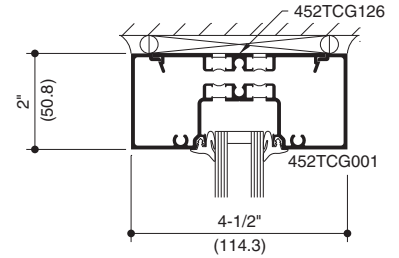
TRIFAB® VERSAGLAZE® 451T CENTER DOOR FRAMING SHOWN.  
OTHER FRAMING OPTIONS AVAILABLE.  
CONSULT YOUR KAWNEER REPRESENTATIVE.



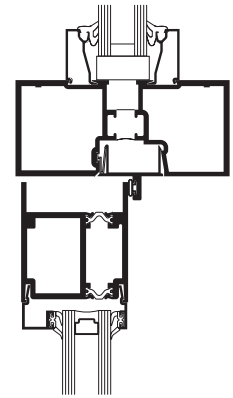
ELEVATION IS NUMBER KEYED TO DETAILS.

NOTE: Butt Hung or Offset Pivot Doors Only.

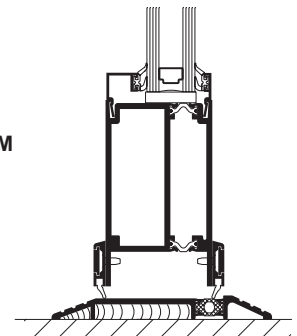
1 HEAD



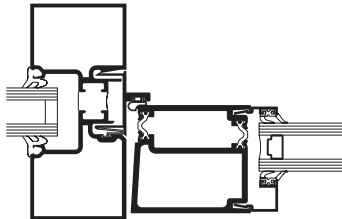
2 TRANSOM BAR



3 BOTTOM RAIL



4 DOOR JAMB



5 MEETING STILES



## AA® 250/425 THERMAL DOOR

Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.  
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# SUPERSHADE

## TECHNICAL DATA

All-extruded Aluminum (T6 - 6063)

Fascia .125"

Louvers .110"

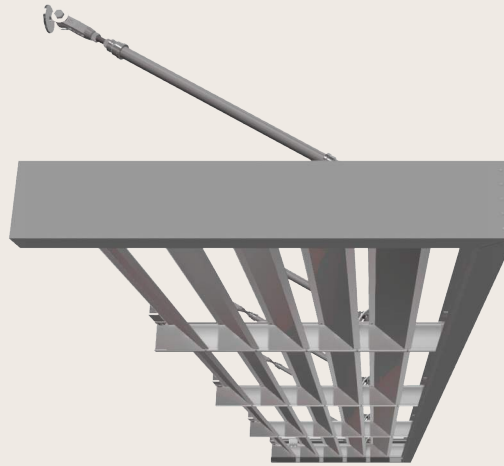
Deflection rating L/180

Maximum Projection

10' w/ hanger rod supports

5' w/ cantilever supports

Note: Engineered stamped calcs available in all 50 states



### CANOPY DETAILS

Finishes		Warranty		Application
Mapes Standard Finishes	Clear Anodized, White Baked Enamel, & Bronze Baked Enamel	1 year	Meets AAMA 2603 specifications	Factory applied
2-Coat Kynar*	25 stock colors w/ unlimited custom matching options	10 years	70% Fluoropolymer meets AAMA 2605 specifications	Professionally applied & cured by certified finisher

\*Additional lead times and costs associated w/ premium paints & custom color matching

### FEATURES

- .110 extruded louver blades
- Custom louver options
- Pre-engineered
- Hanger rod or cantilevered supports
- All-extruded Aluminum canopy
- Variable spacing/projections

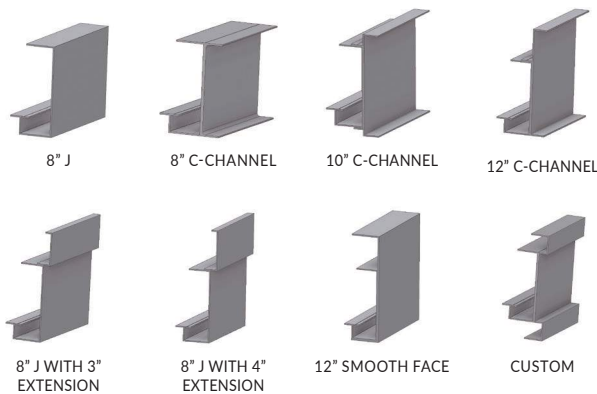
### APPLICATIONS

- Window Shade
- Reduce Solar Gain
- LEED Credits
- Curtain Wall Accents
- Storefront Window Protection

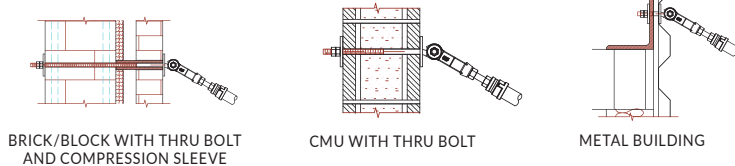
### DECK OPTIONS



### FASCIA OPTIONS



### WALL MOUNT DETAILS



**Unmatched strength and lasting durability**

Achieve commercial-grade strength and lasting durability for your customers' long-term return on investment. Pella Impervia products are made from our proprietary fiberglass material, the strongest material for windows and patio doors, engineered for lasting durability.<sup>1</sup>

**Revolutionary hardware**

Introducing a revolutionary way to operate casement and awning windows. This patent-pending, Easy-Slide Operator simply slides to open, without the effort of cranking.



**Pella®  
Impervia®**

Fiberglass windows and patio doors

**Sleek profiles and more glass**

Create bold designs from sleek profiles and more glass with our intentionally-designed products made from our exceptionally strong proprietary fiberglass.

- **100x more impact resistant<sup>2</sup>**

Pella's fiberglass is 100x more impact-resistant than Andersen's Fibrex windows. You can trust our fiberglass products to be better equipped to stand up to a hammer misfire and other jobsite conditions.

- **Proven performance**

Engineered for the rigorous performance requirements of a commercial building, Pella Impervia products provide outstanding resistance to water, wind and outside noise.<sup>3</sup>

- **Installation solutions and expertise**

With nearly 100 years in business, we've got you covered with products and installation solutions for your exact situation.

- **Exceptional mulling capabilities**

With both interior and exterior accessory grooves on all Pella fiberglass products, you can create larger, unique combinations specifically for your remodel or new construction project. Our extensive factory-mulled options will come preassembled, saving you time on the jobsite.

- **Up-to-date color palette**

Achieve your design style with up-to-date frame color options, including Black.

- **Tested beyond requirements**

Tested beyond industry standards and to extremes from -40°F to 180°F, our proprietary fiberglass can handle the most extreme heat and sub-zero cold<sup>4</sup>. Our products are tested beyond industry standards to help ensure less maintenance with fewer callbacks.

- **Durable three-way corner joints**

For added strength, durability and reliable water performance, Pella Impervia products feature corner locks and sashes injected with sealant and fastened with screws.

- **The confidence of a strong warranty<sup>5</sup>**

We know your reputation matters, so we have one of the strongest warranties in the business.

**Available in these window and patio door styles:**



Special shape windows also available.

<sup>1,2,3,4,5</sup> See back cover for disclosures.



# Delivering unmatched strength, engineered for lasting durability.<sup>1</sup>

Pella's proprietary fiberglass vs. Andersen Fibrex<sup>2,6,7</sup>  
Pella Impervia products won't dent, bend or break as much as the competition.

**Won't dent.**

**100x**

more impact-resistant

**Won't bend.**

**10x**

stronger

**Won't break.**

**20x**

the tensile strength

## Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame/Install
						U-Factor	SHGC	STC	
Vent Awning	20"	17-½"	59-½"	59-½"	LC30-LC50	0.18-0.48	0.16-0.55	29-37	Block Frame, Standard Fin, Off-set Fin, Integral Fin
Fixed Awning	13-½"	11-½"	71-½"	79-½"	LC45-LC50	0.16-0.49	0.18-0.63	28-36	
Vent Casement	17-½"	20"	37-½"	79-½"	LC45-LC50	0.26-0.45	0.18-0.55	25-32	
Fixed Casement	13-½"	11-½"	71-½"	79-½"	LC45-LC50	0.22-0.48	0.20-0.62	27-33	
Vent Double-Hung	17-½"	29-½"	47-½"	77-½"	LC30-LC50	0.25-0.49	0.19-0.58	26-29	Block Frame, Standard Fin, Off-Set Fin, Integral Fin, Flush Frame
Vent Single-Hung	17-½"	23-½"	47-½"	77-½"	LC40-LC50	0.24-0.51	0.19-0.59	26-32	
Sliding Window (OX, XO)	23-½"	11-½"	71-½"	71-½"	LC30-LC50	0.25-0.50	0.19-0.59	26-33	
Sliding Window (XOX)	47-½"	17-½"	107-½"	71-½"	LC30-LC50	0.25-0.50	0.19-0.59	26-32	
Fixed Sash and Frame	13-½"	13-½"	71-½"	71-½"	CW35-CW50	0.22-0.50	0.20-0.62	27-33	Block Frame, Standard Fin, Off-Set Fin
Fixed Frame Direct Set	11-½"	11-½"	143-½"	143-½"	CW50	0.14-0.46	0.18-0.69	28-36	
Sliding Patio Door (One Panel)	27"	71-½"	50-⅝"	119-½"	LC30-LC50	0.17-0.48	0.19-0.59	29-33	
Sliding Patio Door (Two Panel)	59-¼"	71-½"	95-¼"	119-½"	LC30-LC50	0.17-0.48	0.19-0.59	29-33	
Sliding Patio Door (Three Panel)	91-⅞"	71-½"	145-⅞"	119-½"	LC35-LC50	0.17-0.48	0.19-0.59	29-33	

Window sizes available in 1/8" increments  
Maximum square footage rules apply. Maximum width and height cannot exceed the maximum square footage. Special shapes available.  
Two and three-panel sliding patio door configurations that are greater than or equal to 95.5" in height will come knock-down and require field assembly.  
Knock-down will be optional for two and three-panel configurations until 95.5" in height.

## Glass & Additional Energy Efficiency Upgrades

**InsulShield® Low-E Glass<sup>8</sup>** Pella Impervia products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states?



Advanced Low-E insulating dual- or triple-pane glass with argon



Advanced Comfort Low-E insulating dual-pane glass with argon

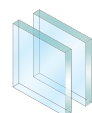


Natural Sun Low-E insulating dual- or triple-pane glass with argon

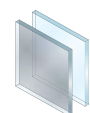


SunDefense™ Low-E insulating dual- or triple-pane glass with argon

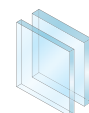
### Additional Glass Options



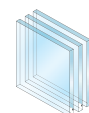
Tempered glass



Laminated (non-impact-resistant)<sup>10</sup> tinted<sup>11</sup> or obscure glass also available on select products



STC (Sound Transmission Class) dual-pane sound control glass<sup>12</sup>



Triple Pane<sup>13</sup>

**Foam Insulation Options** Optional foam-insulated frame and sash are available to increase energy efficiency.

## Color & Finishes

**Frame Colors** Our long-lasting powder-coat finish resists chipping and fading and meets AAMA 624, which is a highly-rated fiberglass finish that will never need to be repainted or refinished.

### Solid-Color:



### Dual-Color:<sup>14</sup>



## Window Hardware

### Casement & Awning

The patent-pending Easy-Slide Operator is a revolutionary way to operate casement and awning windows. Simply slide to open, without the effort of cranking. With precision venting technology, the window will open to an exact location. Or select the fold-away crank, that folds neatly away, against the window frame. Neither solution will interfere with roomside window treatments.



Easy-Slide Operator



Fold-Away Crank

### Color-Matched Finishes:



### Additional Finish:<sup>15</sup>



### Sliding, Single & Double-Hung

Pella's cam-action lock pulls the sashes against the weatherstripping on single-hung, double-hung and sliding windows for a tighter seal.

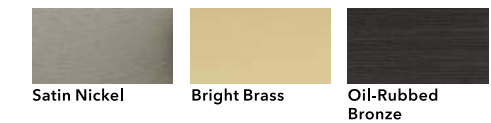


Cam-Action Lock

### Color-Matched Finishes:

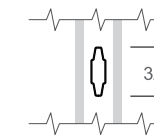


### Additional Finish:

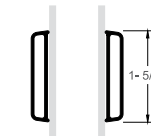


## Grilles

Grilles are color-matched to window or patio door interior and exterior frame color.



Aluminum Grilles-Between-the-Glass ¾"<sup>16</sup>



Applied Grilles<sup>17</sup>

# Pella® Lifestyle Series

Aluminum-Clad Wood

**#1 performing wood window and patio door<sup>1</sup>**

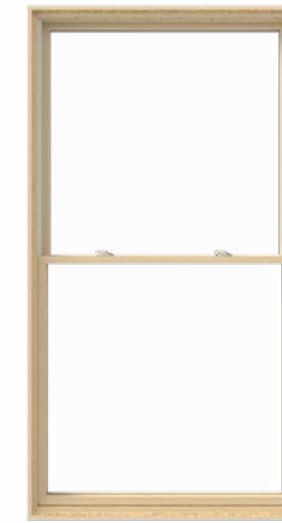
For the combination of energy, sound and value.

**37 time-tested innovations**

Create unique, room-by-room solutions to meet real-life needs.

**83% more energy efficient<sup>2</sup>**

On average compared to single-pane windows – with performance solutions for improved comfort.



## Exceptional performance and style.

**Style flexibility.** Whether your client's home is traditional, modern or somewhere in between, create beautiful windows and patio doors that fit their style.

**Redefining performance.** Get both unrivaled energy efficiency and sound performance at an incredible value. With the Ultimate Performance package, windows are on average 79% more energy efficient and reduce 52% more outside noise than single-pane windows.<sup>2,5</sup>

**Enhanced durability.** Our windows and patio doors are designed to stand the test of time with exterior wood parts treated with exclusive EnduraGuard® wood protection and an aluminum-clad exterior with EnduraClad® finish.

## Room-by-room solutions.

**Most desired features, options and innovations.** Complement your project with the most popular colors, finishes, grille patterns and more. Many innovative solutions also come standard.

**Integrated blinds and shades.** Intentionally designed to be accessible, blinds and shades are tucked between glass panes and are protected from dust, pets and little hands.

**Added security and convenience.** Add peace of mind with optional Pella Insynctive® built-in window and door sensors and motorized between-the-glass blinds and shades that raise and lower with a button.

Create solutions that are perfect for real life. Covered by the best limited lifetime warranty in the industry for wood windows and patio doors, Pella Lifestyle Series offers everything you love about wood – including beauty, durability and style flexibility.<sup>3</sup> Begin with dual- or triple-pane glass and then select from the most desired features and options.<sup>4</sup>

Pella Lifestyle Series is the #1 performing wood window and patio door for the combination of energy, sound and value.<sup>1</sup> Packed with purposeful innovations like Integrated Blinds, Shades and Security Sensors, we designed windows and patio doors to work for your project, room by room.

<sup>1</sup> Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

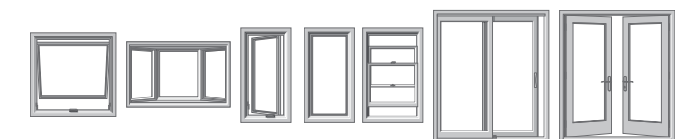
<sup>2</sup> Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when comparing Pella Lifestyle Series windows with Advanced Comfort Low-E triple-pane glass with argon and mixed glass thickness to a single pane wood or vinyl window. Double-hung windows are not available with triple-pane glass. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see [pella.com/methodology](http://pella.com/methodology).

<sup>3</sup> Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at [pella.com/warranty](http://pella.com/warranty), or contact Pella Customer Service at 877-473-5527.

<sup>4</sup> Double-hung window only available with dual-pane glass.

<sup>5</sup> Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with triple-pane glass with mixed glass thickness to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

Available in these window and patio door styles:



Special shapes also available.

# Compare Window & Patio Door Lines

Review our lines and discover your best fit.

For more information on Pella's window and patio door offering, see your local Pella sales representative or visit [pella.com/professionals](http://pella.com/professionals).

<b>Product Line</b>	<b>Pella® Reserve™</b>		<b>Pella Lifestyle Series</b>
	Traditional	Contemporary	
<b>Material</b>	Wood & Clad-Wood	Clad-Wood	Clad-Wood
<b>Price</b>	\$\$\$\$ - \$\$\$\$\$	\$\$\$\$ - \$\$\$\$\$	\$ - \$\$\$
<b>Description</b>	Exquisitely designed windows and doors with unparalleled historical detailing. Featuring through-stile construction, deliberate proportions and intricate profiles to achieve authentic traditional style.	Simple and sophisticated designs with expansive glass, sleek, minimal profiles and through-stile construction embody the tenets of pure contemporary style.	Purposeful innovations delivering room-by-room solutions like integrated blinds, shades and security sensors. Available performance packages offer an unbeatable combination of energy efficiency, sound control and value. <sup>2</sup>
<b>Available Styles</b>	<b>Window Styles</b> A AT B C CO DH F SH PC <b>Patio Door Styles</b> SD HD BF MS	<b>Window Styles</b> A AT C CO F PC <b>Patio Door Styles</b> SD HD BF MS	<b>Window Styles</b> A B C DH <sup>3</sup> F <b>Patio Door Styles</b> SD HD

<b>Pella Impervia®</b>	<b>Pella 250 Series</b>	<b>Encompass by Pella</b>
Fiberglass	Vinyl	Vinyl
\$\$-\$\$\$	\$\$	\$ - \$\$
Pella Impervia products are engineered to last. Our proprietary fiberglass material provides unmatched strength and lasting durability with sleek, timeless style. <sup>4</sup> Tested in extremes and designed for every day, these windows and patio doors deliver proven performance.	Pella 250 Series products offer innovative and enhanced security and privacy features for more peace of mind. Made with beautiful easy-care vinyl, these windows and patio doors provide Pella craftsmanship in a great-looking product.	Encompass by Pella is competitively priced, easy-care vinyl. Featuring low-maintenance, high-grade vinyl frames, these windows and patio doors will look great for years and are backed by a brand you can trust.
<b>Window Styles</b> A AT B C DH F SH SW <b>Patio Door Styles</b> SD	<b>Window Styles</b> A AT B C DH F SH SW <b>Patio Door Styles</b> SD	<b>Window Styles</b> AT DH <sup>5</sup> F SH SW <b>Patio Door Styles</b> SD

<sup>1</sup> Additional special shapes also available.  
<sup>2</sup> Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.  
<sup>3</sup> Double-hung window only available with dual-pane glass.  
<sup>4</sup> Pella's proprietary fiberglass material has displayed superior strength over wood, vinyl, aluminum, wood/plastic composites, and other fiberglass materials used by leading national brands in tensile and 3-point bend tests performed in accordance with ASTM D638 and D790 testing standards.  
<sup>5</sup> Double-hung window available in East Region only.

## Window & Patio Door Styles<sup>1</sup>

