



Staff Report

Infill Housing Design Review Committee

File Number: 7-A-23-IH

Meeting: 7/19/2023
Applicant: Spencer Stanley
Owner: Spencer Stanley

Property Information

Location: 218 E. Oldham Ave. **Parcel ID** 81 K G 014
Zoning: RN-2 (Single-Family Residential Neighborhood)
District: Oakwood/Lincoln Park Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary residence fronting E. Oldham Ave. One-story, front-gable roof residence measures 26' wide by 44' long, with an 8' deep shed-roof porch centered on the façade. The house is proposed to be set 36' from the front property line. Parking is located to the rear and accessed from the alley, featuring a 20' by 25' gravel parking pad.

The house features a 10/12 pitch gable roof, clad in asphalt shingles. The exterior will be clad in vinyl lap siding with trim boards dividing the front and rear gable fields, and the house will rest on a stuccoed foundation. Windows are 1/1 double-hung vinyl windows.

On the façade (northwest), the shed-roof porch features a metal roof and 6" square columns. Two windows flank a centrally-located door, with a single-light fixed window in the gable field. Three bays of windows are located on the left (northeast) side elevation, with a secondary access on the rear, and four bays of windows on the right (southwest) elevation.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- When several infill houses, porches and the habitable portion of each house should be about the same distance from the street as the original houses.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. House Orientation and Side Yards

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses

consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations.
- On streets without alleys, garages or parking pads should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- Alley oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to the other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- If extensions or bays were typically part of the neighborhood's historic house design, such elements should be incorporated into infill housing.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12' toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development.

6. Windows and Doors

- When constructing new houses, the windows and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Infill neighborhoods.

8. Siding Materials

- Clapboard-like materials should be used in constructing new housing where painted wood siding was traditionally used.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or

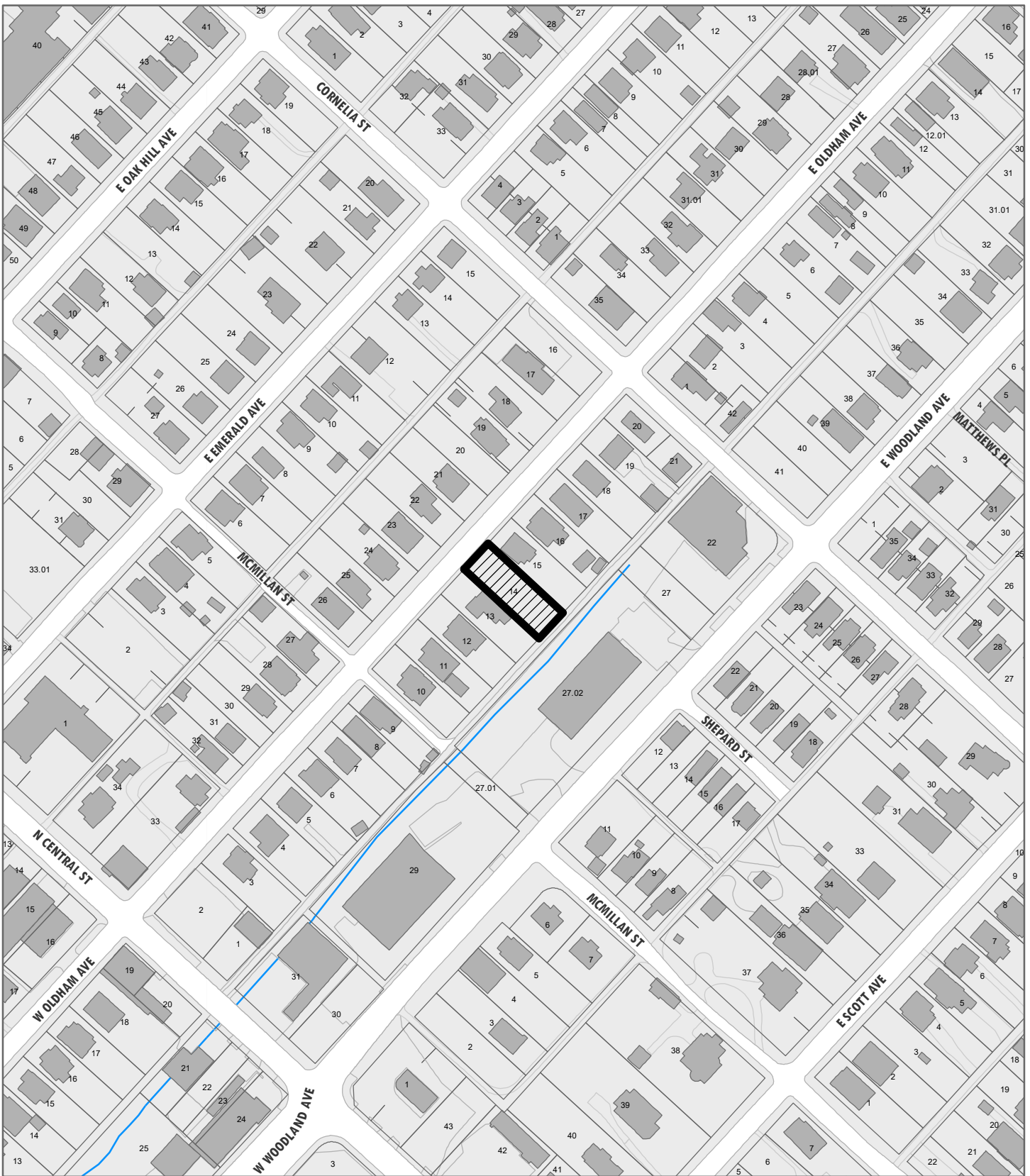
more in depth to front of house.

Comments

1. The house is proposed to be set 36' from the front property line, with an 8' deep front porch set 28' from the front property line. The average front setback of the block is 31'. The adjacent houses are set 41' (214 E. Oldham) and 19' (222 E. Oldham) from the front property line. The new house's front setback will serve as a transition between the two adjacent houses and create a consistent streetscape. The site plan includes a walkway from the front door to the street.
2. The block to receive new construction is characterized by one- and 1.5-story Queen Anne cottages, Craftsman bungalows, and infill construction. The 1.5-story, three-bay residence is proportional to the dimensions of the lot and the side yard setbacks are consistent with the block.
3. The proposed parking meets Infill Housing guidelines as the parking pad is accessed from the alley and located to the rear of the house. The final site plan may need minor modifications to meet City Engineering standards. The final site plan should adhere to the base zoning requirements, including impervious surface limits.
4. Overall, the 1.5-story, three-bay façade is similar in scale to the context. The foundation height indicated on elevation drawings is consistent with the neighborhood.
5. The site plan includes an 8' deep front porch, centered on the façade. The porch is compatible with the design of the house and the surrounding block. 8 by 8 posts may be more proportional to the façade, and final drawings may require a guardrail around the porch.
6. Guidelines recommend window and door styles be similar, with similar proportions and ratio of solid to void, to historic houses on the block. Overall, the design includes sufficient windows on the façade and side elevations. The drawings include a simple window trim.
7. The roof pitch and material are appropriate within the guidelines.
8. The siding material is appropriate within the Infill Housing guidelines. The vinyl siding should feature an overlap to be compatible with wood lap siding, instead of Dutch lap or flush panels.
9. One native tree is shown in the front yard, and one additional native or naturalized shade tree should be planted in the rear yard.

Recommendation

Staff recommends approval of Certificate 7-A-23-IH, subject to the following conditions: 1) final site plan to meet City Engineering standards; 2) vinyl siding to feature an overlap similar to wood lap siding instead of Dutch lap or flush panel siding.



7-A-23-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

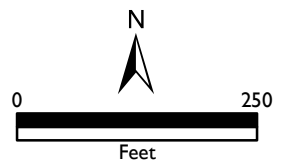
Applicant: Spencer Stanley

**INFILL
HOUSING
REVIEW
BOARD**



218 E. Oldham Ave.
Oakwood/Lincoln Park Infill Housing Overlay
District

Original Print Date: 7/3/2023
Revised:
Knoxville/Knox County Planning - Infill Housing Design Review Committee





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Spencer Stanley & Connor Day

Applicant

06/28/2023

07/19/2023

7-A-23-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Spencer Stanley

N/A

Name

Company

706 Cedar Lane Apt 06

Knoxville

TN

37912

Address

City

State

Zip

(423)742-2826

ststanley7@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Spencer Stanley & Connor Day

706 Cedar Lane Apt 06

(423)742-2826

Owner Name (if different from applicant)

Owner Address

Owner Phone

218 E Oldham Avenue

081KG014

Property Address

Parcel ID

MOUNTAIN VIEW ADD (Subdivision)

RN-2

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

6.29.23

Staff Signature

Please Print

Date

Spencer Stanley

Spencer Stanley

6/28/2023

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: Please see attached. _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

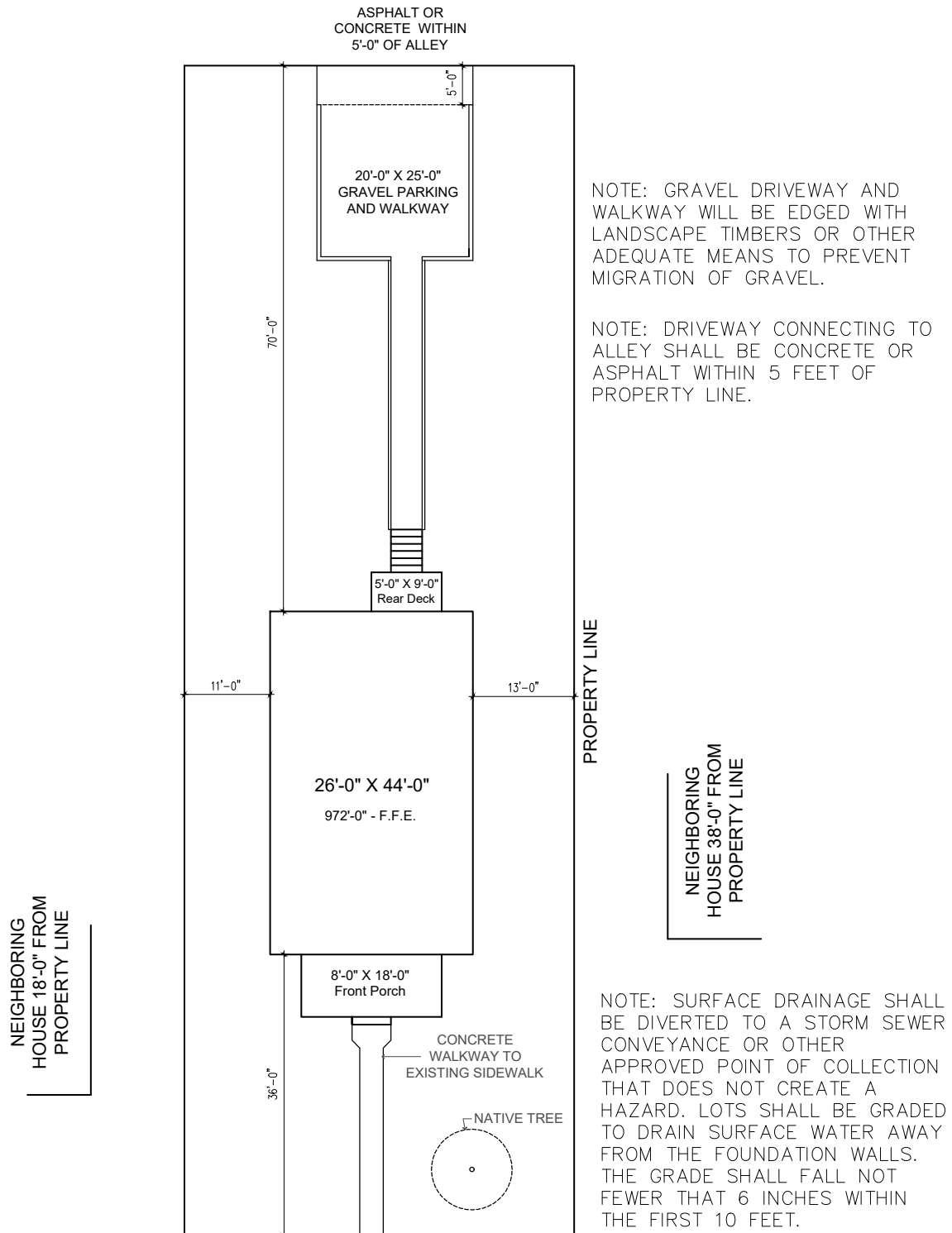
Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL: 250.00
250.00		
FEE 2:		
FEE 3:		

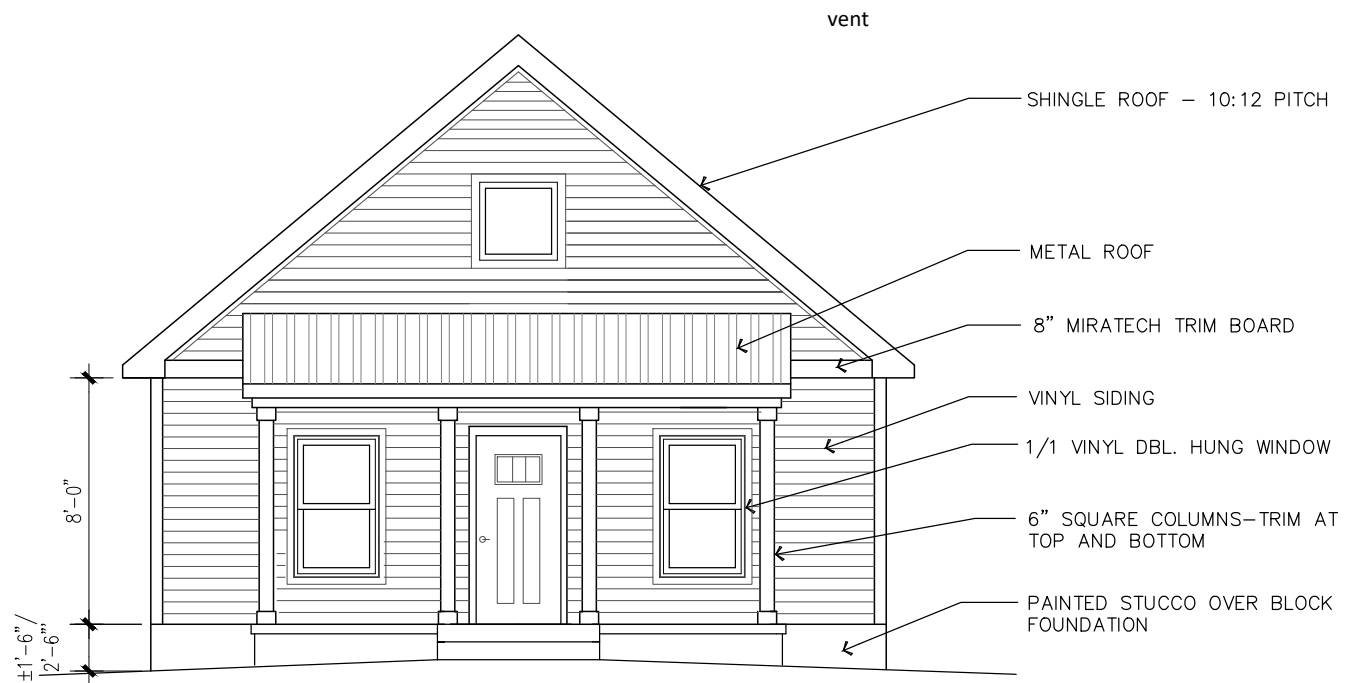
Infill Overlay Design Review Request Explanation

The proposed new structure to be built at 218 E Oldham Avenue, Knoxville, TN 37917 will set 11'0" in from the left side (if viewing the front of the house from E Oldham Avenue road) of the property line, 13'0" in from the right side of the property line, 70'0" in from the back of the property line, and 36'0" in from the front of the property line. The structure will have block visible at the base which will have painted stucco covering it. The structure will have 6" square columns with trim at the top and bottom on the front porch. It will also have two vinyl double hung windows spaced symmetrically on the front and a Miratec trim board at the bottom of the eave. The front porch will have a metal roof, and the rest of the house will have a shingle roof. The house will have vinyl siding, and there will be a native tree in the front yard. I have included depictions of the elevations along with a site plan, indicating the extent of the proposal and its relationship to any existing structures. I have also included labeled color pictures of the lot.

Setback requirements for this lot (Zoned RN-2) are as follows: Minimum Front Setback = 20', or average of blockface, whichever is less, in no case less than 10', Minimum Interior Side Setback = 5' or 15% of lot width, whichever is less; in no case less than 15' combined, Minimum Corner Side Setback = 12', Minimum Rear Setback = 25'



218 East Oldham Avenue 37917



218 East Oldham Avenue 37917



side elevation revisions per Kortni
shift middle window towards rear

Side Elevation
218 East Oldham Avenue 37917



Rear Elevation
218 East Oldham Avenue 37917



Side Elevation
218 East Oldham Avenue 37917



70'

11'

13'

36'