

File Number: 2-D-23-IH

Meeting: 2/15/2023
Applicant: Shawn Campagna
Owner: Shawn Campagna

Property Information

Location: 0 Worth St. **Parcel ID** 81 K L 027
Zoning: RN-4 (General Residential Neighborhood)
District: Oakwood/Lincoln Park Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary residence fronting Worth Street. One-and-one-half-story residence with a front-gable roof (8/12 pitch, clad in metal), an exterior of vinyl lap siding, and a concrete foundation. The house will be set 37' feet from the front property line, with an 8' deep front porch at 29' from the front property line. The parking is proposed as a 12' wide by 40' long driveway extending off the alley, perpendicular to the rear of the house.

The facade (southwest) features a four-bay façade with an 20' wide, 8' deep front porch projecting from the right half. The entry is centered on the porch. A pair of double-hung windows is located in the upper-level gable field. The right elevation features three double-hung windows and a secondary entry, and the left side elevation features four evenly spaced windows. Two roll-up garage doors are located on the rear elevation.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- When several infill houses, porches and the habitable portion of each house should be about the same distance from the street as the original houses.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. House Orientation and Side Yards

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations.
- On streets without alleys, garages or parking pads should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- Alley oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to the other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- If extensions or bays were typically part of the neighborhood's historic house design, such elements should be incorporated into infill housing.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12' toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development.

6. Windows and Doors

- When constructing new houses, the windows and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Infill neighborhoods.

8. Siding Materials

- Clapboard-like materials should be used in constructing new housing where painted wood siding was traditionally used.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.

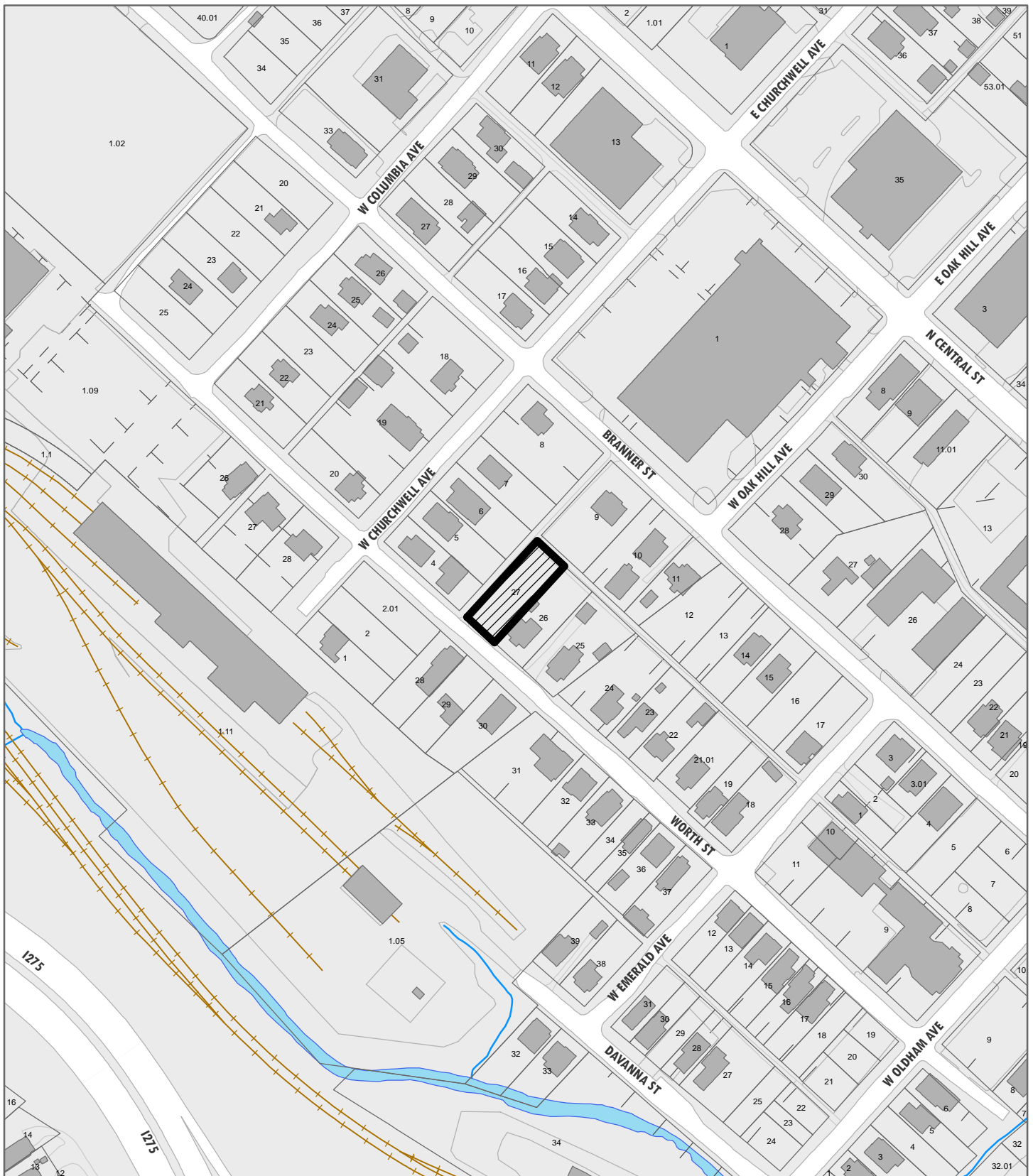
Comments

1. The house's main massing is proposed to be set 37' from the front property line, with an 8' deep front porch at 29'. The average front setback of the blockface is 21'. The house should be moved towards the front property line to align with the average front setback of the block. The final site plan should include a walkway from the front porch to the street.
2. The block is characterized by one-story Queen Anne cottages, Minimal Traditionals, and infill construction. The proposed house is proportionate to the dimensions of the lot and the other house on the block. The side setbacks will be evenly spaced along the lot.
3. The proposed parking meets Infill Housing design guidelines as being located behind the main house and accessible from the alley. Final modifications may be necessary to meet City Engineering standards and ensure a proper turn radius from the garages. Modifications to parking may be approved by staff, provided they meet the guidelines and do not affect the house's design.
4. The 1.5-story, three-bay façade is similar in scale and width to the block and neighborhood. While most houses on the block are one story, a half-story in the upper gable field is not uncommon in the overall neighborhood. Guidelines recommend foundations be the same height as original houses in the neighborhood. The foundation height should be elevated to be compatible with surrounding historic houses.
5. The design includes a partial-width, front-gable roof porch on the right side of the façade. The front porch should use posts of at least 8 by 8 to be compatible with the context.
6. One-over-one, double-hung windows instead of multi-light windows with simulated muntins are typically considered to be more appropriate for the neighborhood. Infill Housing reviews also typically discourage shutters unless the shutters are appropriately scaled to the windows. The side elevations retain sufficient transparency. Revisions may be necessary to the off-center paired window in the gable field.
7. At 8/12, the roof pitch is compatible with the neighborhood context. Side elevation drawings indicate eave overhangs, though they're not visible on front and rear elevation drawings; final design should incorporate at least a 1' eave overhang on all sides. Infill guidelines do not recommend specific roofing materials, but recommend that darker shades be used. The foundation should be elevated and clad in stucco or brick veneer to be more compatible with the context.
8. The proposed materials meet the design guidelines. Vinyl siding should include a horizontal overlap like wood siding instead of Dutch lap or flush panels.
9. The final site plan should include a native or naturalized shade tree in the front and rear yards.

Recommendation

Staff recommends approval of Certificate 2-D-23-IH, subject to the following conditions:

- 1) Front setback to be modified to align with front setback pattern of the block;
- 2) Final site plan to meet city Engineering standards and coverage limits of the base zoning, incorporating a walkway from the front door to the street;
- 3) Foundation height to be elevated to be compatible with original houses on block
- 4) Final drawings to omit shutters or incorporate shutters appropriately scaled for window siding;
- 5) Revision to window placement in front gable;
- 6) Use vinyl siding with an overlap comparable to typical wood lap siding instead of Dutch lap or flush panel siding;
- 7) Final site plan to incorporate a native or naturalized shade tree in the front and rear yards.



<p>INFILL HOUSING REVIEW BOARD</p>	<p align="center">2-D-23-IH</p> <p align="center">APPLICATION FOR CERTIFICATE OF APPROPRIATENESS</p>	<p>Applicant: Shawn Campagna</p>
	<div data-bbox="371 1820 509 1881" data-label="Image"> </div> <div data-bbox="527 1820 976 1906" data-label="Text"> <p>0 Worth St. Oakwood/Lincoln Park Infill Housing Overlay District</p> </div> <div data-bbox="303 1913 959 1969" data-label="Text"> <p>Original Print Date: 1/31/2023 Revised: Knoxville/Knox County Planning - Infill Housing Design Review Committee</p> </div>	<div data-bbox="1143 1810 1419 1969" data-label="Image"> </div>



DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☐ HISTORIC ZONING (H)
☒ INFILL HOUSING (IH)

Shawn Campagna

Applicant

1/26/2023

1/15/2023

2-D-23-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☒ Owner ☐ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Shawn

Campagna

Name

Company

300 State Street Apt 552

Knoxville

TN

37902

Address

City

State

Zip

(609) @13-2192

campagna@utk.edu

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

0 Worth Street

081KL027

Property Address

Parcel ID

Oak Grove Add.

RN4

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

1.26.23

Staff Signature

Please Print

Date

Shawn R. Campagna

Shawn R. Campagna

1/26/23

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☐ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work:

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☐ Brief description of work:

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☒ New primary structure
☒ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☒ Brief description of work: 1.5 story single family home with built in two car garage.

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☒ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

1010

FEE 2:

FEE 3:

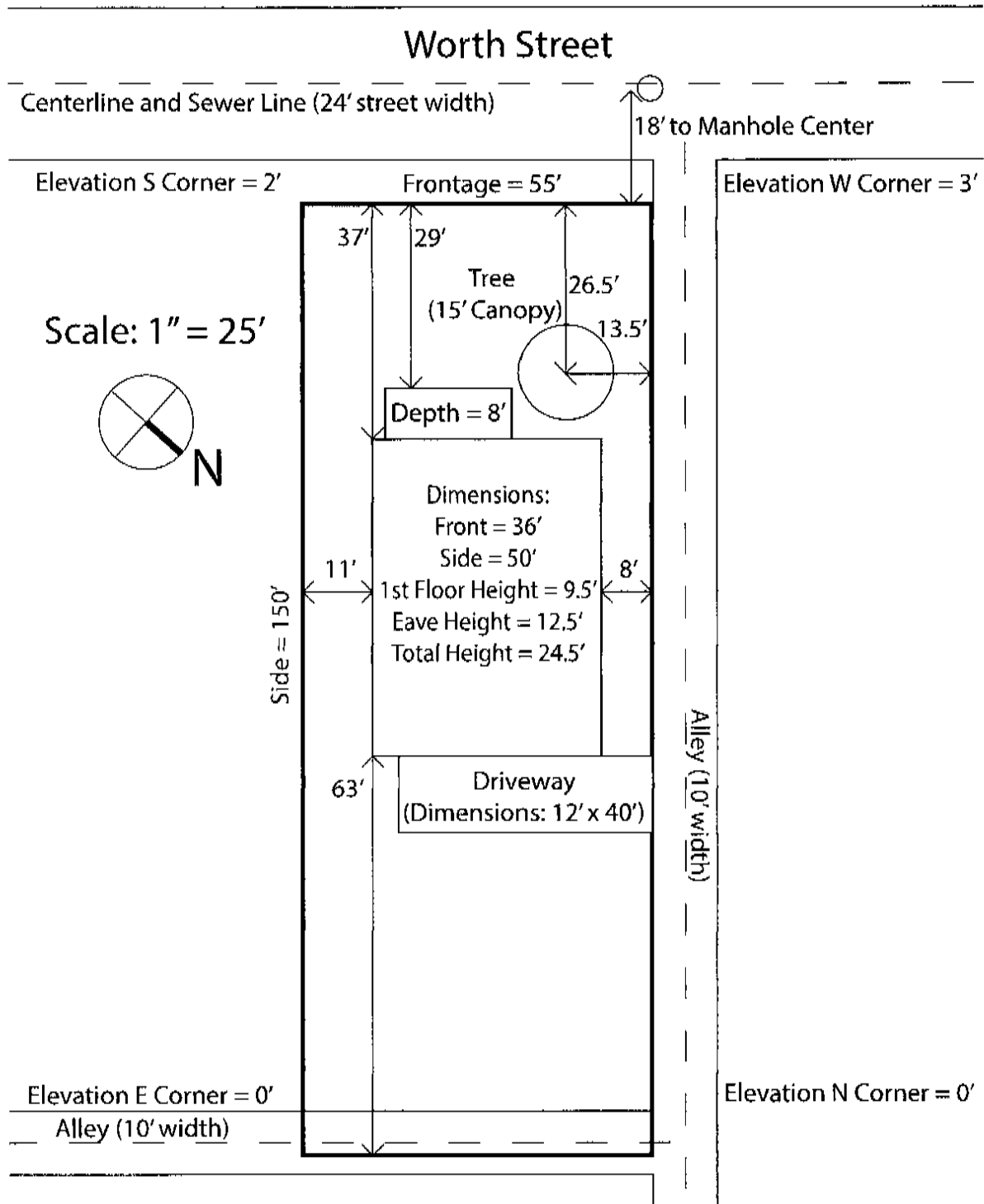
TOTAL:

250-

250⁰⁰

pd
1/26/23

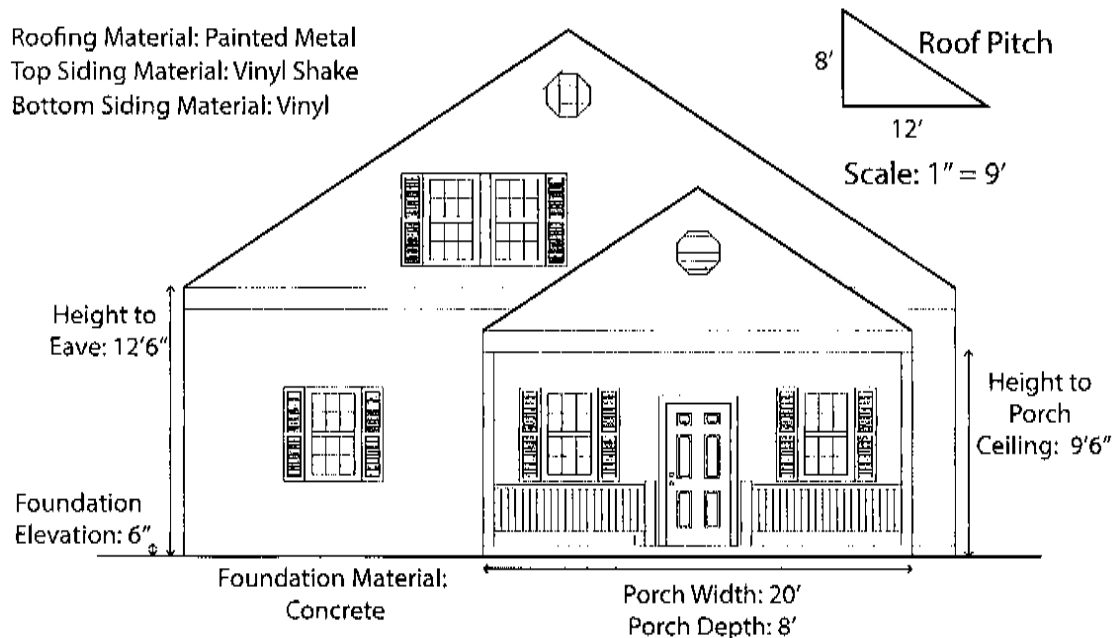
Plot Plan
0 Worth Street
Parcel ID: 081KL0278



Front and Rear Elevations

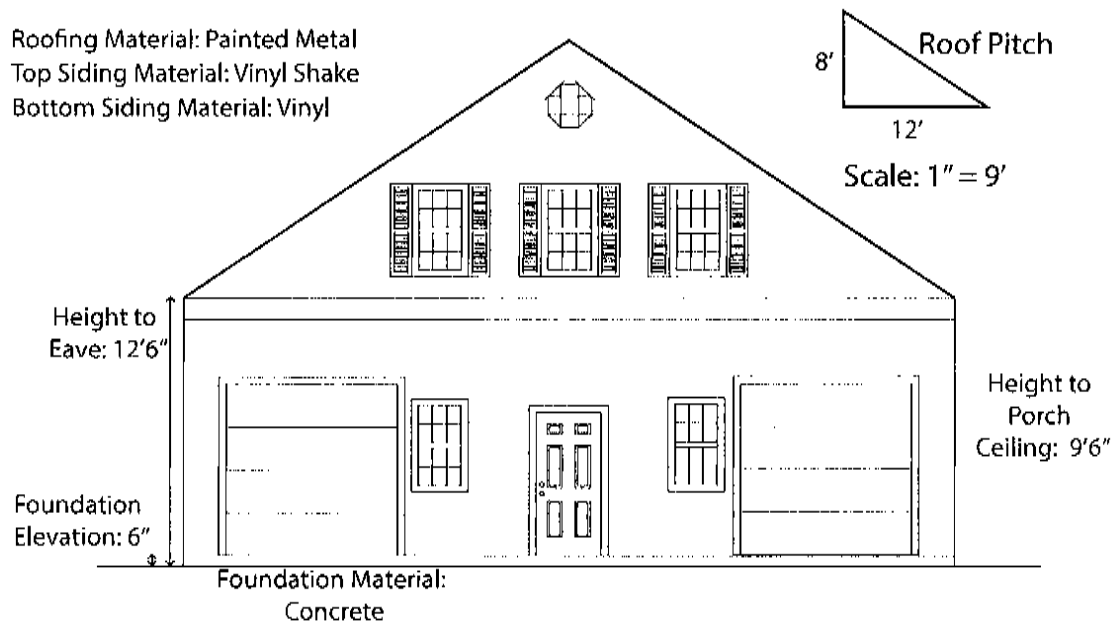
FRONT ELEVATION (Worth Street)

Roofing Material: Painted Metal
Top Siding Material: Vinyl Shake
Bottom Siding Material: Vinyl

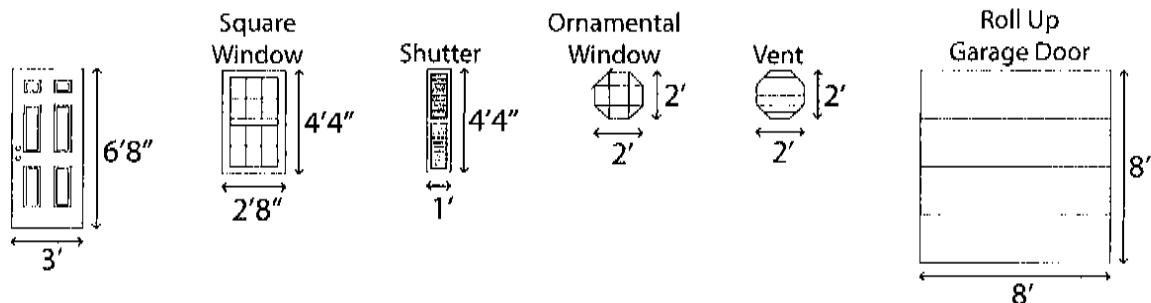


BACK ELEVATION

Roofing Material: Painted Metal
Top Siding Material: Vinyl Shake
Bottom Siding Material: Vinyl

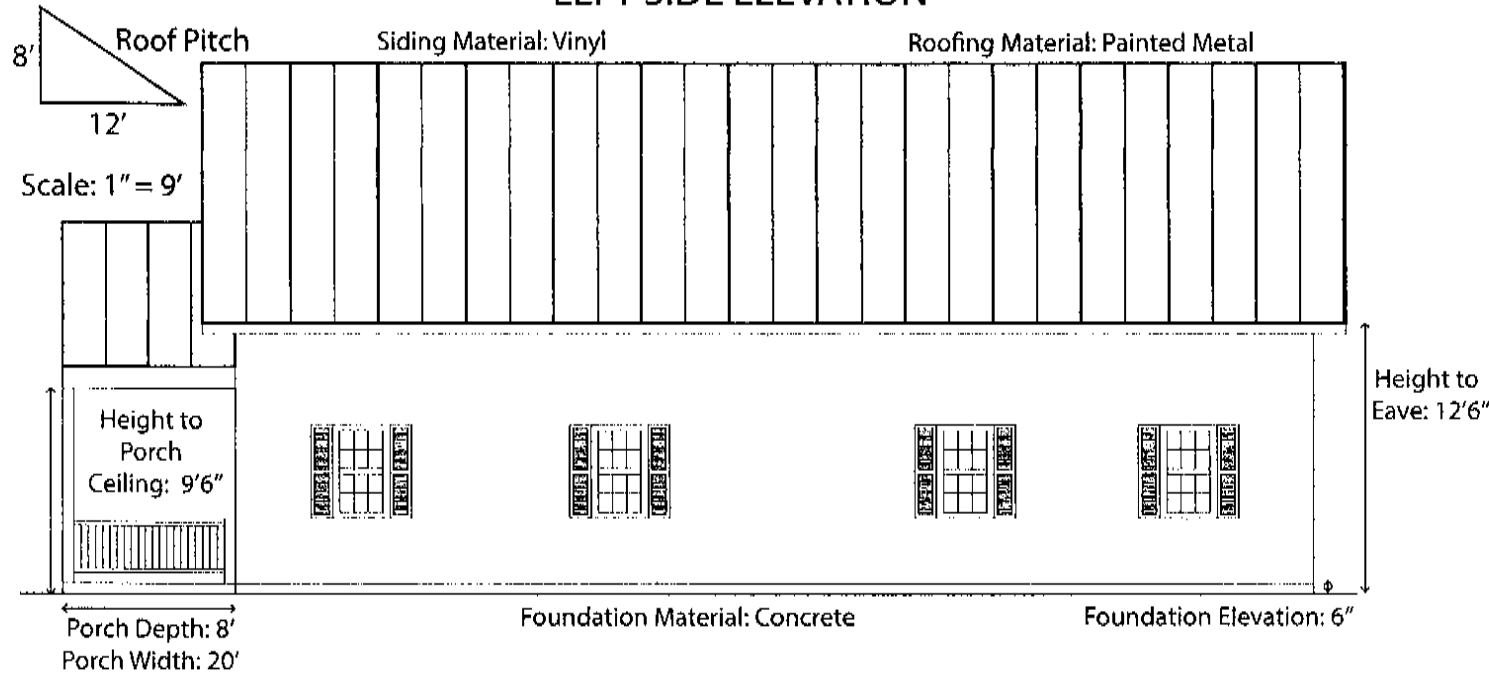


Architectural Element Details

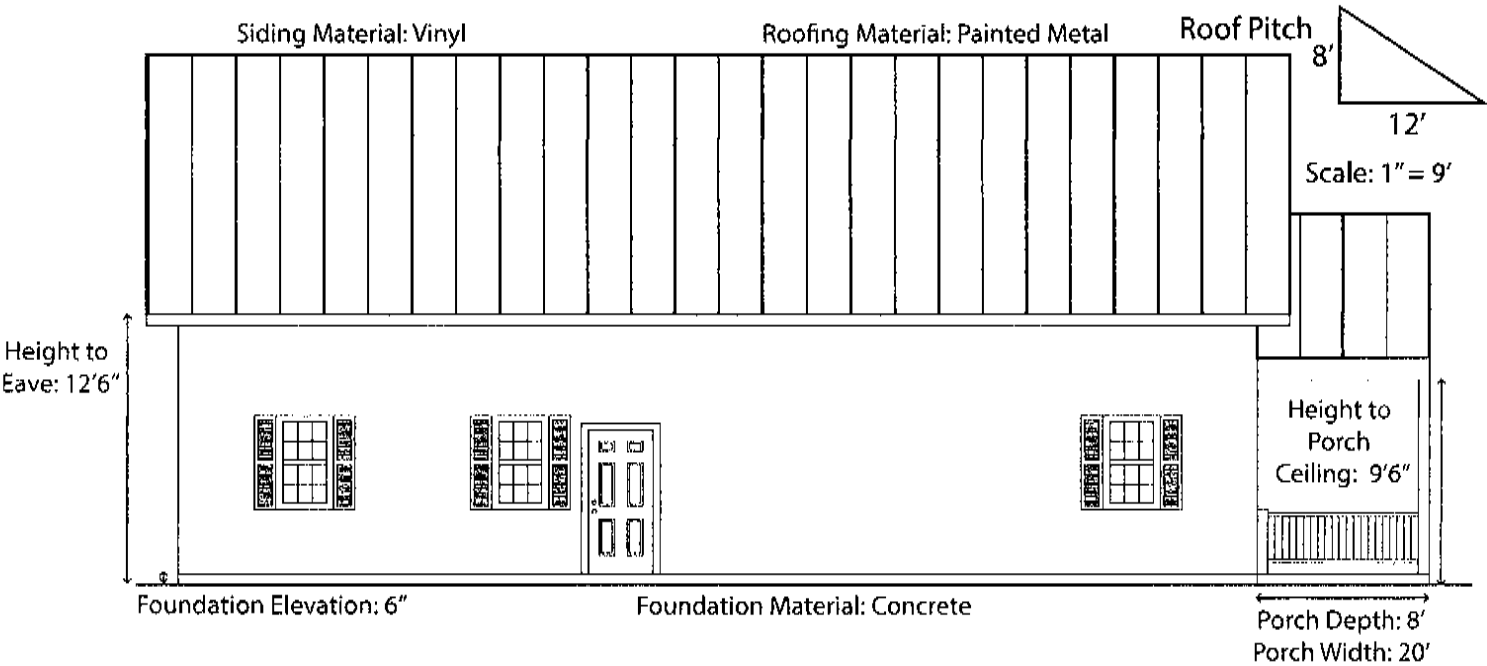


Side Elevations

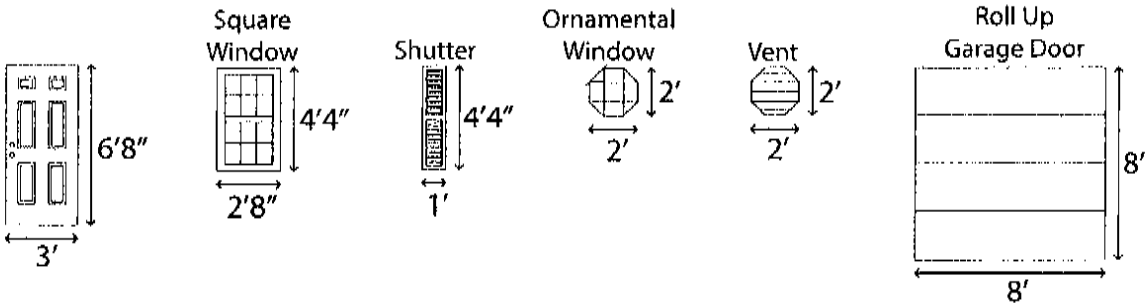
LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



Architectural Element Details



DESIGN GUIDELINES CHECK LIST

Use the following check list to determine the appropriateness of proposed infill housing design for the Heart of Knoxville. For each unchecked item, please refer to the appropriate Heart of Knoxville Infill Housing Design Guidelines section.

Front Yards

Section 1, page 5

- ☒ Setback and front door are in line and consistent with original houses on the block.
- ☐ Porch and habitable portion of house is offset from street equal to neighboring houses. ~~#~~
- NA* ☒ Walkway is proposed from sidewalk (when available) to front door, perpendicular to street.
- NA* ☒ Fencing is constructed of traditional materials and excludes chain link, masonry, wide boards, and other contemporary materials.
- ☒ Healthy trees are marked for preservation. *Tree marked*

House Orientation and Side Yards

Section 2, page 6

- ☒ Proposed infill is proportional to dimensions of lot and original houses on the block.
- NA* ☒ Proposed infill on corner lots has applied for any necessary zoning variance to locate closer to side street.
- ☒ Proposed infill keeps the spacing between houses consistent with original houses on the block.

For Preservation on Plot Plan.

Scale, Mass, and Foundation Height

Section 4, page 8

- ☒ Proposed infill elevation is proportional in scale to the original houses on the block.
- ☒ Proposed infill facade respects width of older houses on the block.
- ☒ Proposed infill attempts to incorporate historic elements of the block into the design.
- ☒ Foundation height is consistent with original houses on the block.
- NA* ☒ Additions that cannot conform to scale and height of streetscape are located to the side or rear of infill lot.

Porches and Stoops

Section 5, page 9

- ☒ Proposed infill includes plans for a porch in a neighborhood where porches are dominant.
- ☒ Proposed porch is proportional to existing porches on block.
- ☒ Proposed porch maintains consistency with existing porches in setback along the street.
- ☒ Proposed porch materials and details complement the historic character and style of neighborhood (refer to Appendix C).

Alleys, Parking, and Services

Section 3, page 7

- ☒ Proposed parking avoids the front yard.
- ☒ Proposed infill house has access from alley only (where available) for garage or parking pad. (If no alley access exists, proposed garage or parking pad extends 20 feet beyond the front facade of proposed infill house.)

NA ☒ Proposed garages accessed by alley are setback at least 18 feet from centerline of alley pavement.

NA ☒ Proposed parking pads, utility boxes, and waste collection points are visually screened by landscaping and/or fencing.

Windows and Doors

Section 6, page 10

- ☒ Proposed window and door styles complement historic character and style of block (refer to appendix).
- ☒ Proposed window or door positioning does not violate the privacy of neighboring homes.
- ☒ Proposed infill excludes contemporary window styles in pre-1940 areas.
- ☒ Proposed infill respects window and door placement of older houses on the block.

Roof Shapes and Materials

Section 7, page 12

- ☒ Proposed infill specifies similar pitch to existing houses on block.
- ☒ Proposed infill respects complex roof forms of historic blocks (refer to appendix).
- ☒ Proposed infill for a pre-1940 neighborhood specifies darker shades of shingle roofing.

Siding Materials

Section 8, page 13

- ☒ In a neighborhood dominated by painted wood siding, the proposed infill specifies clapboard or similar substitutes.
- ☒ In a neighborhood with mixed architectural styles, the proposed infill specifies appropriate material and detail.
- ☒ The proposed infill excludes faced stone, vertical siding, and other non-historic materials.

Additions

Section 9, page 14

- ☒ Proposed additions to existing houses respect siding and roof materials, as well as door and window styles original to the house.
- ☒ Proposed window or door replacements should respect original style (refer to Appendix C).
- ☒ Proposed additions are located to the side or rear of original house.
- ☒ Proposed additions which require additional height are located to the rear of the house.
- ☒ Specified roof line and roofing materials for proposed addition respect original house.
- ☒ Proposed addition does not violate openness or character of front porch.

Multi-unit Housing

Section 10, page 15

- ☒ Proposed multi-unit housing respects traditional front yard setbacks of neighborhood.
- ☒ Proposed multi-unit housing respects height of original houses in the neighborhood.

- ☒ Proposed multi-unit housing respects rhythm and proportion of historic homes on the block.

- ☒ Proposed parking for multi-unit housing accesses existing alleys.
- ☒ Proposed housing specifies landscaping to include shade trees, in front and back yards.

Landscape and Other Considerations

Section 11, page 16

- ☒ For proposed infill with 25 feet or greater front yard depth, at least one shade tree is specified for planting. *Front Yard Depth Chorus to Preserve Tree.*
- ☒ Specified fencing and/or hedges will not exceed 42 inches in height in front yard.
- ☒ Front yard fences avoid chain link and specify appropriate historic material.

Small Lot 1930-1950 Era Houses

Section 12, page 17

- ☒ Off-street parking is located in the side or rear yard or parallel to the street.
- ☒ Multi-unit housing is in scale with other houses on the block and across the street.
- ☒ A porch or stoop is part of the design.
- ☒ Decks or patios are located behind the house.