

Meeting: 8/16/2023
Project: New Hotel
Applicant: Tate Wright Elevate Architecture Studio

Property Information

Location: 427 Walnut St. **Parcel ID** 94 H L 01901
Zoning: DK (Downtown Knoxville)
Description:

New construction, 7-story hotel building, constructed of metal framing over a concrete podium. Property has frontage on both 427 Walnut Street and 416 Locust Street.

Description of Work

Level III Construction of a New Building/Structure

SUMMARY: Proposed new 7-story hotel building, proposed for an irregular rectangular site on the 400 blocks of Locust Street and Walnut Street. The site currently features a surface parking lot. The proposed building has frontage on both Locust and Walnut Streets; measuring 50'-7" wide on Locust St and 55'-6-5/8" on Walnut St.

SITE LAYOUT AND ACCESS: No on-site parking is provided within the proposed structure. A vehicular entrance is located on the right side of the Walnut Street elevation, providing access to an internal vehicular drive occupying the ground floor. The entrance measures 28'-1" wide and accesses a round drop-off/valet area with three parking spaces and one accessible space. The only public pedestrian access point on Walnut Street is located to the left side of the elevation, accessing a space currently marked "office/retail." Only a secondary/service entrance is located on the Locust Street elevation; this entrance would not be accessible to the public or hotel guests.

DESIGN ELEMENTS:

The flat roof building is clad in fiber reinforced siding of a faux-wood finish, composite metal panels in light grey, and composite metal panels in black, with a two-story brick cladding section fronting Locust Street (the west elevation).

Walnut Street elevation: The east elevation has a faux-wood fiber cement panel siding which extends from the ground level to the roofline on the right side and a section of metal panels on the left side. Half of the ground floor on this elevation features an automobile entry drive, with the left half as aluminum storefront windows and a full-light pedestrian entrance to the "office/retail" space within. Windows are irregularly sized, single-light, aluminum fixed windows.

Locust Street elevation: The west elevation features two stories of brick veneer on the bottom floors, followed by a swath of grey metal panel siding, and the upper level clad in the faux-wood fiber cement panels. The ground level features a service entrance, an overhead garage door, and a series of aluminum storefront windows. Upper level windows are irregularly sized, single-light, aluminum fixed windows, with an upper level of adjoining single-light windows.

Walnut Street elevation: On the east elevation, pedestrians will have to enter through the vehicular entrance and walk through the rounded drive to access a "guest entrance" at the center of the building. The "office/retail" entrance is secondary to the automobile access and does not connect to the rest of the hotel. Pedestrians (whether the public or hotel guests) will not be able to access the hotel on Locust Street.

South elevation: the bottom two levels are clad in brick veneer, with composite metal panels on the middle stories and faux-wood fiber reinforced siding on the upper levels. Windows are irregularly spaced, fixed aluminum.

North elevation: the bottom levels are clad in brick veneer, with composite metal panels on the middle stories and faux-wood fiber reinforced siding closer to Walnut Street and on the upper levels. Windows are irregularly spaced, fixed aluminum, with the section closest to the Langley parking garage having no fenestrations.

Applicable Design Guidelines

Downtown Design Guidelines

A. Public Realm

1. Pedestrian and Bicycle Safety

1g. Consolidate curb-cuts and locate driveways near mid-block, when necessary; alley access should be provided for service and parking, if feasible.

3. Parking Facilities

3a. Create parking garages that do not contain blank walls. Allow for future commercial uses that may not be feasible at the time of construction.

3b. Locate parking garages under structures, or provide for retail, residential or office uses that line the garage. Corner locations are preferable for commercial uses.

3g. Access to parking garages should not limit options for future development of contiguous or adjoining space, especially on corners.

4. Downtown Beautification

4a. Foster downtown beautification with landscaping and plantings, public art, and public open space.

4c. Plant street trees where possible. Choose tree planting locations that will not significantly alter the setting of or harm the materials of historic buildings.

B. Private Realm

1. Building Mass, Scale and Form

1a. Maintain a pedestrian-scaled environment from block to block.

1b. Foster air circulation and sunlight penetration around new buildings. Buildings may be designed with open space, as allowed under existing DK zoning; or buildings may be 'stepped back' on upper floors with lower floors meeting the sidewalk edge.

1c. Use building materials, cornice lines, signs, and awnings of a human scale in order to reduce the mass of buildings as experienced at the street level.

1d. Divide larger buildings into 'modules' that are similar in scale to traditional downtown buildings. Buildings should be designed with a recognizable base, middle, and top on all exposed elevations.

1e. Avoid blank walls along street-facing elevations.

2. Building Location

2a. Set buildings back five feet in order to provide wider sidewalk space when new construction in non-historic areas is to be more than half the length of the block.

2b. Consider using landscape elements to define the sidewalk edge where a building is to be set back from the sidewalk.

2d. Limit grade separations above or below the sidewalk, generally no more than 3 feet. Allow for clear sightlines

into and out of buildings and plazas.

3. Building Materials

3a. Use complimentary materials and elements, especially next to historic buildings.

4. Architectural Character

4a. Encourage first floor uses that draw walk-in traffic; businesses that do not require pedestrian traffic should be located on other floors.

4b. Enhance pedestrian interest in commercial and office buildings by creating a largely transparent and consistent rhythm of entrances and windows.

4c. Scale first floor signs to pedestrians.

4d. Differentiate the architectural features of ground floors from upper floors with traditional considerations such as show-windows, transoms, friezes, and sign boards.

4e. Design top floors to enhance the skyline of the block through cornices and details that are harmonious with adjacent architecture.

4f. Encourage the use of 'green roofs' and other sustainable practices, while minimizing the visual impact from the street.

5. Ground Floor Doors and Windows

5a. Use consistent rhythm of openings, windows, doorways, and entries.

5b. Orient primary front entrances to the main street; secondary entrances should be clearly defined and oriented to streets or alleys, as appropriate.

5c. Design entrances according to the proportions of the building's height and width.

5d. Consider corner entrances at the ends of blocks.

5e. All windows at the pedestrian level should be clear

5f. Recess ground floor window frames and doors from the exterior building face to provide depth to the facade.

7. Mechanical Equipment and Service Utilities

7a. Minimize the visual impact of mechanical equipment through screens or recessed/ low-profile equipment.

7b. Do not locate units on a primary façade.

7c. Screen rooftop vents, heating/ cooling units and related utilities with parapet walls or other screens. Consider sound-buffering of the units as part of the design.

7d. Locate utility connections and service boxes on secondary walls.

7e. Reduce the visual impacts of trash storage and service areas by locating them at the rear of a building or off an alley, when possible.

7f. Screen dumpsters from view.

7g. Locate satellite dishes out of public view, where possible.

7h. Allow solar panels and other technological advances on rooftops and other unobtrusive locations. Solar panels should not be considered on the elevations of historic buildings.

Comments

1. The building is proposed for a narrow parking lot, adjacent to the historic Daylight Building to the south and the Langley parking garage to the north. Other than the historic Daylight Building and the Pembroke Building across Union Avenue, the Walnut Street block is characterized by new construction residences and parking garages. On Locust Street, the building will adjoin the Langley garage and a surface parking garage, across the street the from historic Kendrick Place rowhouses. The blocks feature less pedestrian activity than the busiest corridors of downtown, but many users park in the various garages to access other downtown locations.

2. The application does not include on-site parking. However, almost all of the ground floor fronting Walnut Street is dedicated to automobiles, via a drive-through drop-off for hotel guests. Of the approximately 56' wide façade, 28'-

1" will be devoted to automobile entry and exit. Users of the hotel will either enter through a full-light pedestrian door on the left side of the façade and walk through the "covered outdoor waiting area," or walk on the auto access drive, to an entry vestibule recessed in the center of the building. Design guidelines encourage maintaining pedestrian-scaled environments from block-to-block, creating building materials and entries at a human scale to create an engaging pedestrian experience, using first-floor uses to draw walk-in traffic, and creating a transparent and consistent rhythm of entrances and windows at ground-level. The ground-level façade design fronting Walnut Street is primarily devoted to automobiles and does not meet the design guidelines.

3. City Engineering has not evaluated the driveway entry on Walnut Street, which will be approximately 125' from the entry to the Langley garage. There may be sight distance issues for cars exiting onto Walnut Street, and pedestrian safety issues crossing the sidewalk.

5. A small space marked "office/retail" is located on the left half of the façade, previously noted as a "rideshare drop-off" location in the June DRB workshop. It is unclear how the Marriott chain would connect with a secondary business for a 395 sq. ft. commercial space. The office/retail space does not sufficiently activate the streetscape for pedestrians, as there are no street-facing entry doors; the only entrance extends off the left side recessed entry.

6. There are no public spaces on the Locust Street elevation. The elevation includes a service entry (a door with no transparency), a roll-up garage door, and a series of storefront windows opening to the employee break room. Hotel users or visitors will not be able to enter the hotel from this door. The employee break room will not have heavy use and does not feature a door to the street. The ground floor Locust Street elevation does not meet the design guidelines, as it does not contribute to the pedestrian experience, draw walk-in users, and lacks the transparency recommended to engage the street.

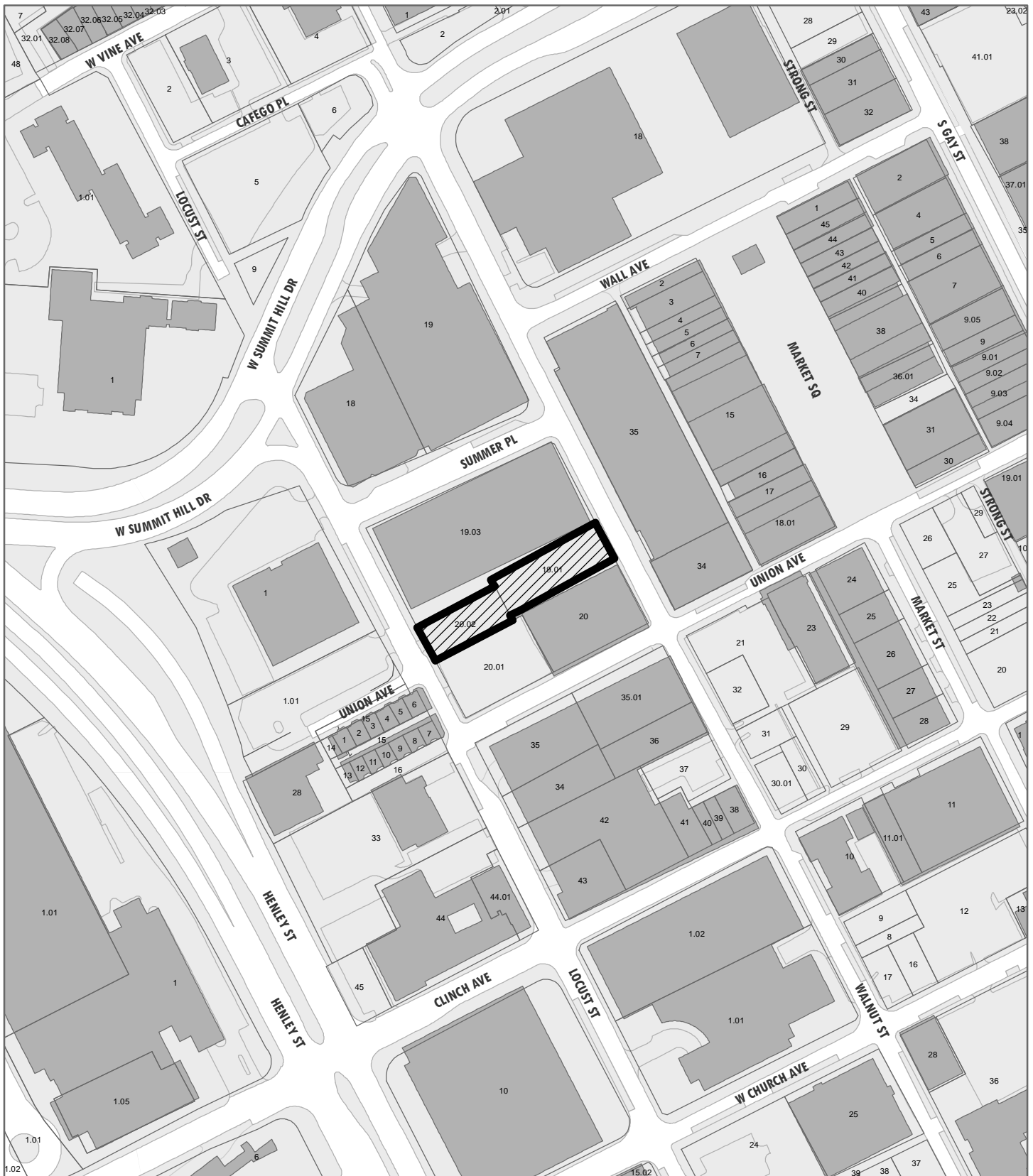
7. The south elevation will adjoin the residences on the rear elevation of the Walnut Building, including the basement-level residences which are currently separated from the surface parking lot by a fence and landscaping. The application lacks information on how the new hotel will engage the basement level residences. The light grey metal panel siding may have an adverse visual effect on the adjacent residences when in direct sunlight.

8. Per the DK dimensional standards (5.5.B.3.), buildings over 85' are required to incorporate a stepback a minimum of 10' from the street-facing façade plane, which must occur above the third story and below the seventh. The building height may exceed 85' and require a stepback.

9. The buildings' proposed materials are common for new commercial or multi-family construction. The guidelines encourage using "complimentary materials and elements, especially next to historic buildings." The Board should discuss whether metal panels and faux-wood fiber cement are complimentary to the nearby brick masonry structures such as the Daylight Building, the Pembroke, and the Kendrick Place rowhouses

Recommendation

Staff recommends postponement of Certificate 8-C-23-DT, to encourage the applicant to 1) revise the ground-level elevations fronting both Locust Street and Walnut Street to meet the design guidelines and create pedestrian-oriented environments at street level; 2) meet with City Plans Review and Inspections to identify any access or zoning issues; and 3) address the potential height stepback requirement; along with any additional design comments identified by the Board.



8-C-23-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

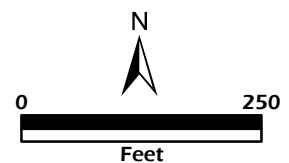
Petitioner: Tate Wright Elevate
Architecture Studio

**DOWNTOWN
DESIGN
REVIEW
BOARD**



427 Walnut St.
Level 3: Construction of new
building/structure

Original Print Date: 8/7/2023
Revised:
Knoxville/Knox County Planning · Downtown Design Review Board





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

AC Hotel Knoxville

Applicant

July 28, 2023

August 16, 2023

8-C-23-DT

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Tate Wright

Elevate Architecture Studio

Name

Company

1775 The Exchange SE, Suite 530

Atlanta

GA

30339

Address

City

State

Zip

404.301.9592

twright@elevatearchitect.com

Phone

Email

CURRENT PROPERTY INFO

Vector Hospitality

125 Townpark Dr NW, Ste 300, Kennesaw, GA 30144 678.852.5846

Owner Name (if different from applicant)

Owner Address

Owner Phone

416 Locust Street & 427 Walnut Street

094LH02002 & 094LH01901

Property Address

Parcel ID

Downtown Knoxville, Fire District Overlay

DK-G

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett
Staff Signature

Lindsay Crockett

7.28.23

Please Print

Date

L Tate Wright

July 28, 2023

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: Project includes a 162 guestroom AC Hotel by Marriott on a site facing Walnut Street & Locust Street in Downtown Knoxville. The hotel will be a 7 story structure constructed out of cold-formed metal framing and precast concrete hollow core plank over a cast in place concrete podium. Parking will be valet service, off-site. Public spaces include a lobby, rooftop lounge and exterior terrace, meeting spaces, and fitness room.

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
250.00		
FEE 2:		
		250.00
FEE 3:		



** ABOVE RENDERING IS FOR ILLUSTRATION PURPOSES ONLY

AC HOTEL BY MARRIOTT

KNOXVILLE, TN 37902

A DEVELOPMENT FOR
VECTOR HOSPITALITY

DRB SUBMITTAL
AUGUST 16, 2023

DRAWING LIST		
NUMBER	NAME	REV/ISSUE DATE
GENERAL		
CS-00	COVER SHEET	•
CS-01	ARCHITECTURAL SITE PLAN	•
CS-01	SITE CONTEXT	•
CIVIL		
CS-02	SITE DEMONSTRATION PLAN	•
CS-03	OVERALL SITE LAYOUT PLAN	•
CS-03	ENLARGED SITE PLAN	•
CS-01	SITE DETAILS	•
ARCHITECTURAL		
A1-01	OVERALL PLAN - LEVEL 01	•
A1-01	OVERALL PLAN - LEVEL 01	•
A1-02	OVERALL PLAN - LEVEL 02	•
A1-02	OVERALL PLAN - LEVEL 02	•
A2-01	BUILDING ELEVATIONS	•
A2-01	BUILDING ELEVATIONS	•
A2-02	BUILDING ELEVATIONS	•
A2-02	BUILDING ELEVATIONS	•
A2-03	BUILDING ELEVATIONS - ENLARGED	•
A2-10	ARCH RENDERINGS - WALNUT STREET	•
A2-11	ARCH RENDERINGS - LOCUST STREET	•
A2-01	BUILDING SECTION	•

VICINITY MAP



PROJECT INFORMATION

PROJECT DESCRIPTION:
THIS PROJECT INCLUDES A 152 HOTEL ON A SITE LOCATED IN DOWNTOWN KNOXVILLE, TENNESSEE. FACING WALNUT STREET AND LOCUST STREET, BETWEEN SUMMER PLACE AND UNION AVENUE, THE HOTEL WILL BE A 7 STORY STRUCTURE CONSTRUCTED OUT OF COLD-FORMED METAL FRAMING AND PRECAST CONCRETE HOLLOW CORE PLANK. PARKING WILL BE VALET SERVICE. OFFSITE PUBLIC SPACES INCLUDE LOBBY, ROOFTOP LOUNGE & EXTERIOR TERRACE, MEETING SPACE, AND FITNESS ROOM.

THE DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF ELEVATE ARCHITECTURE STUDIO. COPIES OF THE DRAWINGS MAY BE USED ONLY BY THE OWNER TO CONSTRUCT AND OCCUPY THIS PROJECT. NEITHER THE DRAWINGS NOR THE DESIGN INDICATED ON THE DRAWINGS MAY BE REPRODUCED NOR USED FOR ANY OTHER PROJECT OR PURPOSE. ELEVATE ARCHITECTURE STUDIO ACCEPTS RESPONSIBILITY ONLY FOR THOSE DRAWINGS WHICH HAVE AN ORIGINAL SEAL, SIGNATURE, CONSTRUCTION ISSUE DATE AND DATE OF FINAL REVISIONS.

APPLICABLE CODES

THIS PROJECT SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES (INCLUDING LOCAL AMENDMENTS):

- 2018 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2017 NATIONAL ELECTRIC CODE WITH LOCAL AMENDMENTS
- 2009 ICC ANS1 A117.1 ACCESSIBILITY CODE

TEAM MEMBERS

CLIENT VECTOR HOSPITALITY 125 TOWNPARK DRIVE NW SUITE 500 KENNESAW, GA 30144 AMAN PATEL apatel@vectorhotels.com	MEP MORRISON HERSHFIELD 1455 LINCOLN PARKWAY SUITE 500 ATLANTA, GA 30346 D: 770.379.8500 D: 678.852.5846 AMAN PATEL apatel@vectorhotels.com	VOICE CANNON & CANNON 8550 KINGSTON DRIVE KNOXVILLE, TN 37919 D: 865.770.4013 JASON HUNT BHHECKERT JM bhacker@mcmonishersfield.com BRIAN ELESON (E) beleson@mcmonishersfield.com CHRIS HORNOR (P) chornor@mcmonishersfield.com
ARCHITECT ELEVATE ARCHITECTURE STUDIO 1775 THE EXCHANGE SE SUITE 530 ATLANTA, GA 30339 D: 770.820.3953 HITESH PATEL hpatele@elevatearchitect.com	INTERIORS DESIGN ONE STUDIO 388 ROSWELL STREET SUITE 1250 MARIETTA, GA 30060 D: 404.266.9504 LELA RICHARDSON lra@designone-studio.com	
STRUCTURAL DEL VALLE + MCNEEL 6265 ROSWELL ROAD SUITE 970 ATLANTA, GA 30338 D: 678.944.7274 TITO DEL VALLE tdelvalle@dmstructural.com		

* INDICATES CONSULTANT IS NOT UNDER CONTRACT WITH ELEVATE

REAL: _____
NOT ISSUED FOR CONSTRUCTION

ARCHITECT:

 architecture studio
 ELEVATE
 1775 THE EXCHANGE SE - 530 SUITE 530 | ATLANTA, GEORGIA 30339
 PHONE: 404.391.8882
 WWW.ELEVATEARCHITECT.COM

DEVELOPMENT:

 AC HOTELS MARRIOTT
 KNOXVILLE, TN 37902

OWNER:

 VECTOR HOSPITALITY
 800 BATTERY AVENUE SUITE 100
 ATLANTA, GA 30339

CONSULTANT:

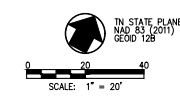
ISSUANCES:

DATE	DESCRIPTION	BY
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08/16/23	DRB	

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SHEET TITLE:

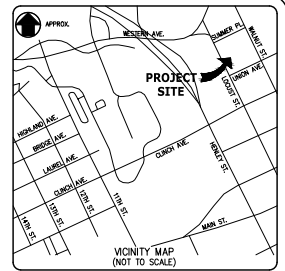
COVER SHEET

SHEET NUMBER:
CS-00



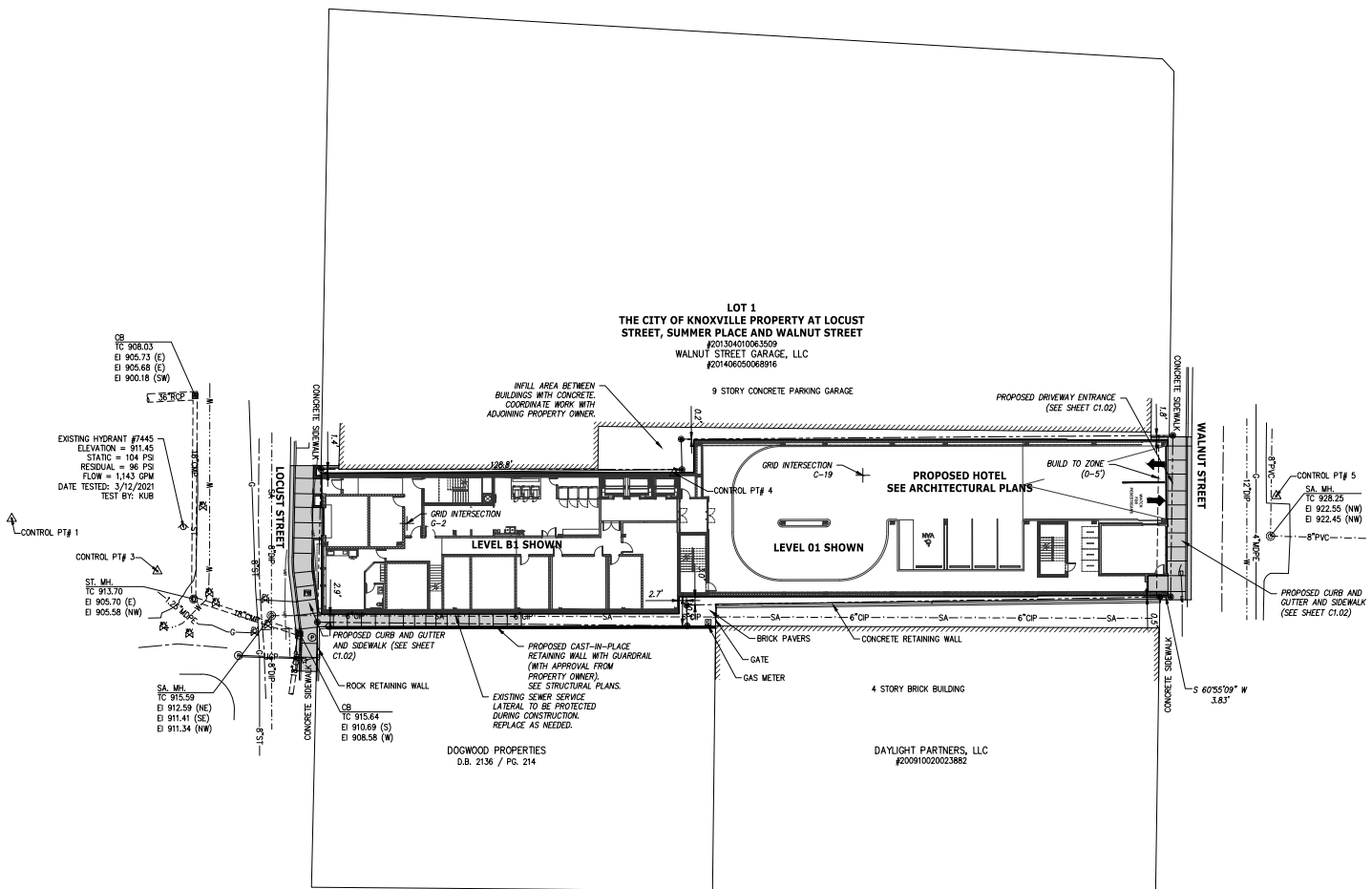
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CONTROL PT# 3 SET ROD NAIL N 600153.05 E 2583486.65 EL. 913.32	CONTROL PT# 5 SET MAGNETIC NAIL N 60034.26 E 2583829.78 EL. 927.78
CONTROL PT# 4	



- NOTES:**
1. THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON AND CANNON, INC. DATED JULY 26, 2022.
 2. THE DISTURBED AREA IS APPROXIMATELY 0.66± ACRES. THE TOTAL SITE AREA IS APPROXIMATELY 0.66± ACRES.
 3. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.
 4. THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS.
 5. PROPERTY CONCERNED REFLECTS PARCELS 19.01 AND 20.02 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 94-L ZONING FOR THE PROPERTY IS DK-G "DOWNTOWN KNOXVILLE GRID SUBDISTRICT". TOTAL AREA IS 0.66± ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 0.66± ACRES. CITY BLOCK NUMBER IS 10402.
 6. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
 7. ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE ZONING ORDINANCE.
- OWNER:**
 PARCEL 19.01
 VECTOR KNOXVILLE LLC
 2261 VALLA PARC CT
 MARIETTA, GA 30062
 TAX MAP 94, INSERT L, GROUP H, PARCEL 19.01
 DEED REFERENCE: #201003080056794
- PARCEL 20.02**
 VECTOR KNOXVILLE LLC
 2261 VALLA PARC CT
 MARIETTA, GA 30062
 TAX MAP 94, INSERT L, GROUP I, PARCEL 20.02
 DEED REFERENCE: #200910020023882
- DEVELOPER:**
 VECTOR HOSPITALITY
 800 BATTERY AVENUE, SUITE 100
 ATLANTA, GEORGIA 30339
9. UTILITY SERVICES ARE PROVIDED BY THE FOLLOWING:
 WATER AND SEWER - KNOXVILLE UTILITY BOARD
 GAS AND ELECTRIC - KNOXVILLE UTILITY BOARD
 TELEPHONE - BELLSOUTH
 CABLE - COMCAST
 10. ALL LANDSCAPING ACTIVITIES SHALL BE IN ACCORDANCE WITH ARTICLE 12, "LANDSCAPE" OF THE KNOXVILLE ZONING CODE AND 12.9 "TREE PRESERVATION".
 11. REFERENCE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 12. PROPOSED SITE LIGHTING PLAN SHALL MEET CITY OF KNOXVILLE REGULATIONS (SEE PLANS BY OTHERS).

**LOT 1
THE CITY OF KNOXVILLE PROPERTY AT LOCUST
STREET, SUMMER PLACE AND WALNUT STREET**
 WALNUT STREET GARAGE, LLC
 #20140603006916



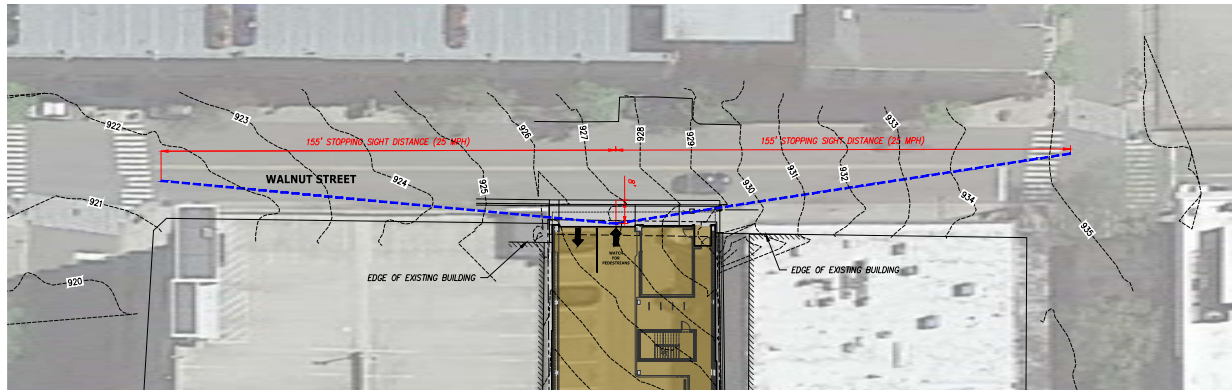
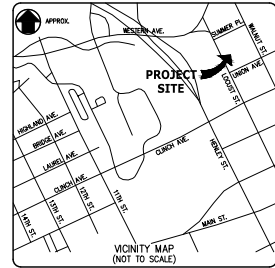
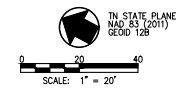
DOGWOOD PROPERTIES
D.B. 2136 / Pg. 214

DAYLIGHT PARTNERS, LLC
#200910020023882

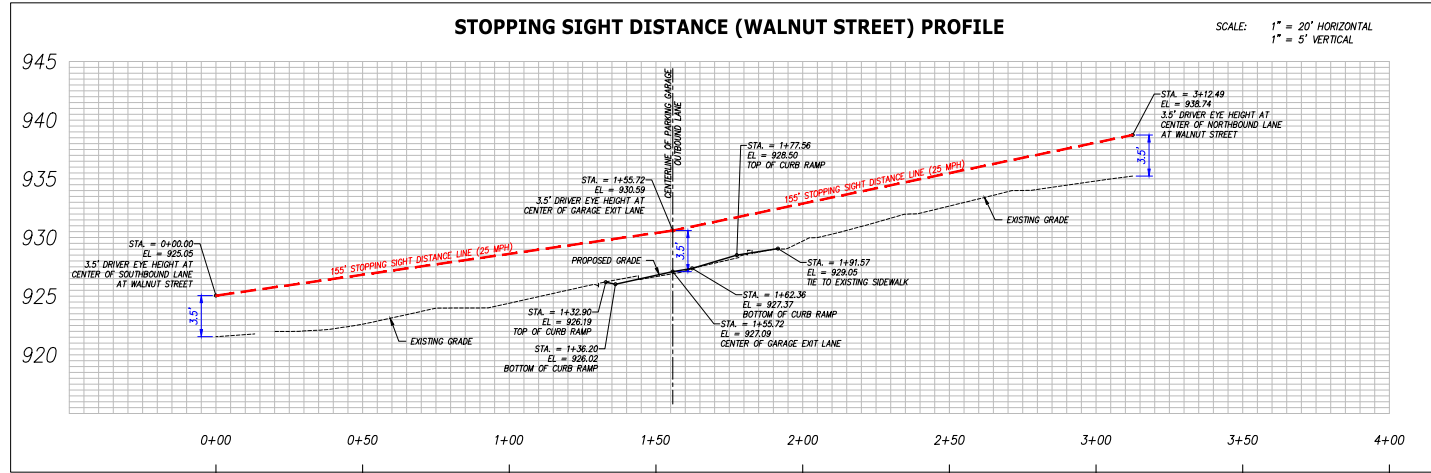
LEGEND

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	EXIST. R.O.W.
	BUILDING SETBACK LINE
	EXIST. EASEMENT LINE
	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
	NUMBER OF PARKING SPACES

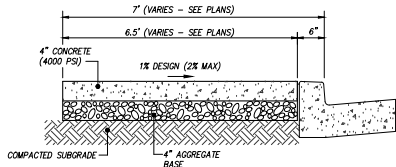
REVISIONS	DATE
 CANNON & CANNON INC. CONSULTING ENGINEERS - FIELD SURVEYORS TEL: 865.670.8555 8550 Kingston Pike WWW.CANNON-CANNON.COM Knoxville, TN 37919	
CLIENT:	VECTOR HOSPITALITY 800 BATTERY AVENUE, SUITE 100 ATLANTA, GA 30339
PROJECT:	AC HOTELS - MARRIOTT 427 WALNUT ST / 416 LOCUST ST KNOXVILLE, TN 37902
OVERALL SITE LAYOUT PLAN	
C3 PROJECT NO. 01703-0000 DRAWING DATE: JULY 26, 2023	
DRAWN: JRH CHECKED: -	PRC HED
DRB SUBMITTAL AUGUST 16, 2023	
C1.01	



- SPECIAL NOTES:**
1. DUE TO THE URBAN NATURE OF THE PROPOSED HOTEL LOCATION, TRAFFIC EXITING THE PARKING GARAGE WILL EASE CLOSER TO THE EDGE OF TRAVEL WAY PRIOR TO ENTERING WALNUT STREET. A DISTANCE OF 8' HAS BEEN USED TO ACCOMMODATE THE DRIVER SIGHT LOCATION BASED ON THE URBAN SETTING AND BUILD TO ZONE IN THE DOWNTOWN DISTRICT.
 2. SIGNAGE OR PAVEMENT MARKINGS TO BE PROVIDED IN PARKING GARAGE TO WARN/ALERT EXISTING VEHICLES OF PEDESTRIANS.
 3. STOPPING SIGHT DISTANCE SHOWN BASED ON A DRIVEWAY CONNECTION VS A ROADWAY INTERSECTION. DISTANCES BASED ON A 25 MPH SPEED LIMIT FOR UNPOSTED STREET IN CITY OF KNOXVILLE.



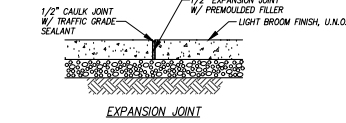
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DRB SUBMITTAL	
AUGUST 16, 2023	
C1.03	



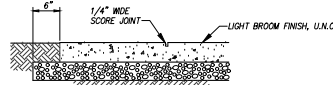
SIDEWALK WITHIN R.O.W.

- NOTES:**
- WHERE NECESSARY TO REMOVE PARTS OF EXISTING SIDEWALKS OR RAMPS, THE RESULTING EDGES SHALL BE CUT TO A NEAT LINE, AND ANY OFFSETS IN SUCH LINES SHALL BE MADE AT RIGHT ANGLES.
 - MINERAL AGGREGATE BASE SHALL BE CRUSHED STONE, CLASS "A" AGGREGATE, GRADING "D".
 - PREFORMED EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 20' O.C. AND WHERE THE SIDEWALK IS IN CONTACT WITH STREET RETURNS, ON BUILDING LINES, WHERE WALKS LEAD TO BUILDING ENTRANCES, AT FIXED OBJECTS AND OTHER LOCATIONS WHERE STRESSES MAY DEVELOP.
 - EQUALLY SPACE CONTRACTION JOINTS AT 5' O.C. (MAX.) BETWEEN EXPANSION JOINTS.
 - SIDEWALK SHALL BE SLOPED AWAY FROM BUILDING, CONCRETE SURFACE TO BE MEDIUM BROOM FINISH WITH A 4" TOOLED EDGE AND JOINT.
 - SIDEWALKS WHICH DO NOT MEET ADA STANDARDS WITH REGARD TO RUNNING SLOPE AND CROSS SLOPES WILL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
 - REFERENCE CITY OF KNOXVILLE STANDARD DETAIL COK-06.

01 CONCRETE PAVEMENT SECTION
N.T.S.



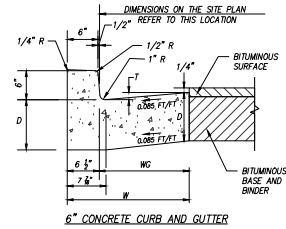
EXPANSION JOINT



CONTRACTION JOINT

- NOTES:**
- SEE SIDEWALK DETAIL FOR NOTES AND DIMENSIONS.

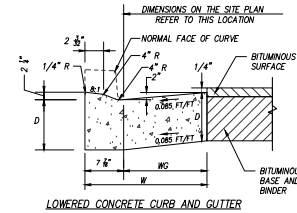
02 SIDEWALK CONTROL JOINTS
N.T.S.



6" CONCRETE CURB AND GUTTER

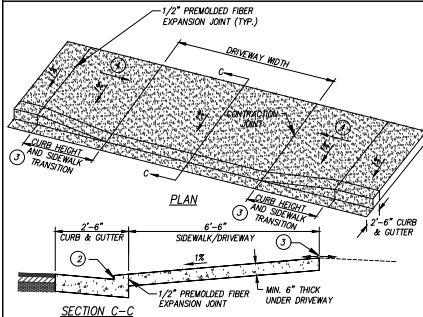
CONCRETE CURB AND GUTTER TABLE			
TYPE	TOTAL WIDTH (W) IN INCHES	WIDTH OF GUTTER (WG) IN INCHES	VERTICAL DROP (T) IN INCHES
6-30	30	22 1/2	2

03 CONCRETE CURB AND GUTTER
N.T.S.



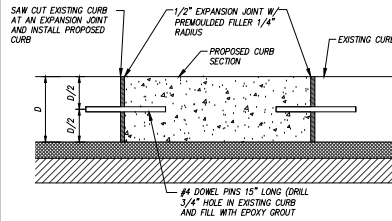
LOWERED CONCRETE CURB AND GUTTER

- GENERAL NOTES:**
- FOR SPECIFICATIONS, SEE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT), SECTION 702 - CEMENT CONCRETE CURB, GUTTER, AND COMBINED CURB AND GUTTER.
 - THE FRONT FACE OF THE CONCRETE CURBS FOR ALL DEGREES OF CURVATURE SHALL CONFORM TO THE CONTOUR OF THE CURVE AND NO CHORD SECTIONS WILL BE PERMITTED.
 - CONCRETE EXPANSION JOINT MATERIAL IS TO BE 3" PREMOULDED FIBER IN ACCORDANCE WITH TDOT SECTION 805 - JOINT MATERIALS OF THE STANDARD SPECIFICATIONS.
 - EXPANSION JOINTS ARE TO BE PLACED AS FOLLOWS:
 - TANGENT POINTS OF CIRCULAR CURVES
 - BETWEEN CURBS AND ABUTTING RIGID OBJECTS
 - AT OTHER PLACES WHERE STRESSES MAY DEVELOP
 - SO AS TO LINE UP WITH PAVEMENT JOINTS WHERE THE ADJACENT PAVEMENT IS CONCRETE
 - MAXIMUM SPACING IS TO BE 100 FEET
 - CONTRACTION JOINTS ARE TO BE SPACED AT 10 FEET, THE SPACING OF 10 FEET MAY BE REDUCED FOR CLOSURES, BUT NOT LESS THAN 6 FEET.
 - EDGES OF JOINTS SHALL BE FINISHED ON ONE-QUARTER INCH RADIUS.
 - REFERENCE TDOT STANDARD DRAWING RP-VG-11 FOR ADDITIONAL INFORMATION.
 - CONTRACTOR TO ADJUST GUTTER SLOPE TO TRANSITION TO REVERSE GUTTER WHERE APPLICABLE.



- NOTES:**
- REFERENCE TDOT STANDARD DRAWING RP-D-16 FOR ALL FINAL DIMENSIONS AND CONSTRUCTION DETAILS.
 - HEIGHT OF LOWERED CURB SHALL BE 2.25 INCHES.
 - ALGEBRAIC DIFFERENCE NOT TO EXCEED 10.0%
 - THE SLOPE OF THE SIDEWALK AND/OR CURB HEIGHT TRANSITION VARIES TO A MAXIMUM OF 8.33% LENGTH OF TRANSITION IS RELATIVE TO THE LONGITUDINAL ROADWAY GRADE.

04 LOWERED CONCRETE DRIVEWAY
N.T.S.



05 CONCRETE CURB CONNECTION
N.T.S.

REVISIONS	DATE

CANNON & CANNON INC.
CONSULTING ENGINEERS - FIELD SURVEYORS
TEL 865.670.8555 | 8550 Kingston Pike
KNOXVILLE, TN 37919

CLIENT: VECTOR HOSPITALITY
800 BATTERY AVENUE, SUITE 100
ATLANTA, GA 30339

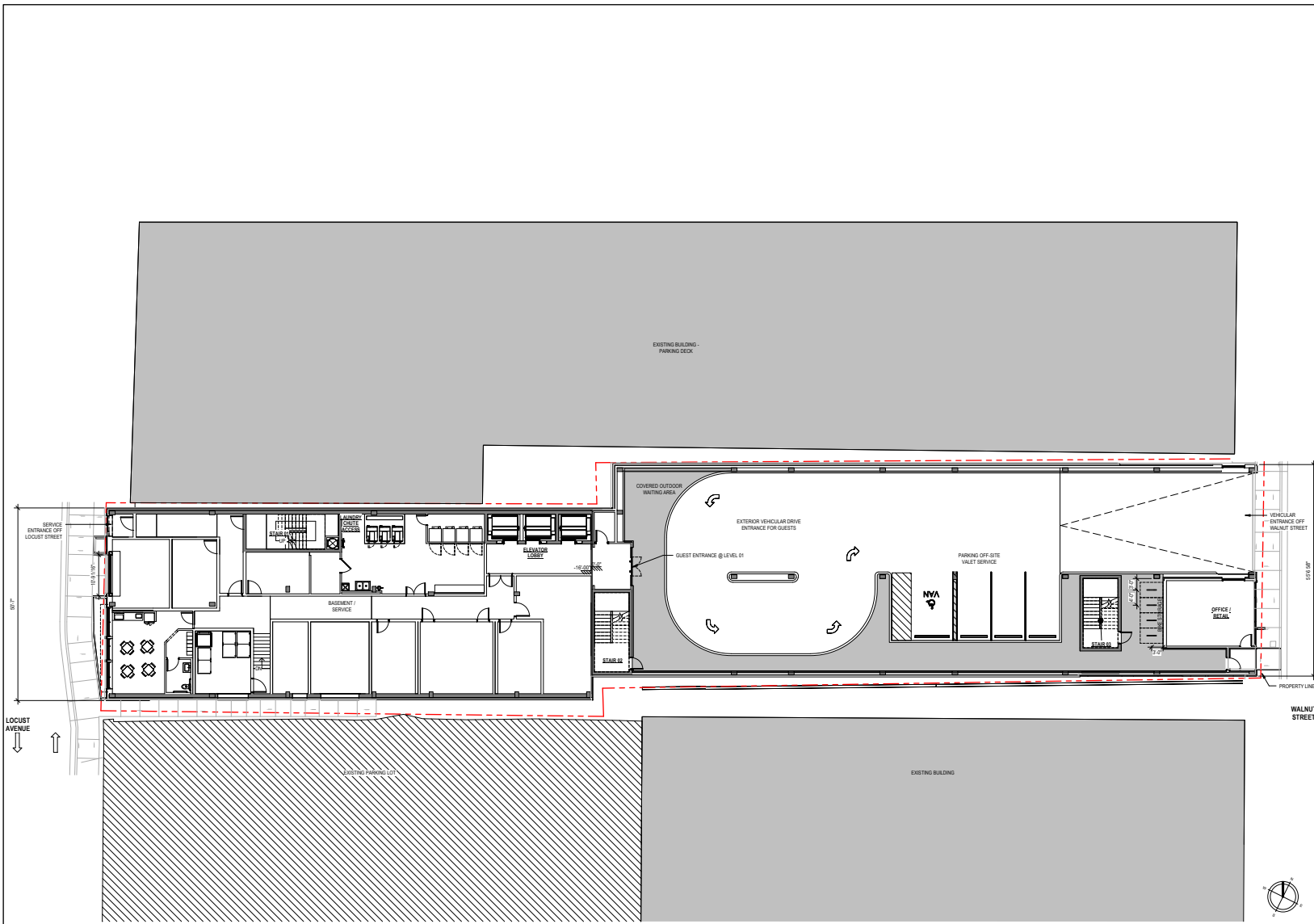
PROJECT: AC HOTELS - MARRIOTT
427 WALNUT ST / 416 LOCUST ST
KNOXVILLE, TN 37902

SITE DETAILS

CCI PROJECT NO.	01703-0000
DRAWING DATE	JULY 26, 2023
PN	JRH PJC HED
DRAWN	JRH CHECKED -

DRB SUBMITTAL
AUGUST 16, 2023

C2.01



SITE LEGEND

- PROPERTY LINE
- - - BUILDING SETBACK
- FINISHED FLOOR OR GRADE ELEVATION
- T TRANSFORMER
- ➔ BUILDING ENTRANCE

SITE DATA

- ADDRESS**: KNOXVILLE, TN 37902
- SITE AREA**: ~ 2.41 ACRES (17,026 SF)
- ZONING**:
 - EXISTING ZONING: DK-G, DOWNTOWN KNOXVILLE GRS SUBDISTRICT FIRE DISTRICT OVERLAY
 - ZONING JURISDICTION: CITY OF KNOXVILLE, TN
- SECURITY SUMMARY**:
 - TOTAL GUESTROOMS: 152 GUESTROOMS
 - SITE DENSITY PROVIDED: ROOMS/ACRE
- PARKING SUMMARY**:
 - ALL GUEST PARKING BY VALET SERVICE SURFACE
 - STANDARD: 4 SPACES
 - HANDICAPPED: 1 SPACE
 - BIKE PARKING: 12 COVERED SPACES
- PROPERTY SETBACKS**:
 - FRONT YARD SETBACK: BUILT TO ZONE 0-0 FEET
 - SIDE YARD SETBACK: NONE
 - REAR YARD SETBACK: NONE
- BACKLASH ZONE**: ZONE 1- HIGH
- FEMA ZONE**: X
- SEISMIC**: CLASS C (DESIGN CATEGORY C)
- IRRA CATEGORY**: II

BUILDING AREA

LEVEL B1	6,260 SF
LEVEL B2	7,260 SF
LEVEL B3	14,711 SF
LEVEL B4	14,711 SF
LEVEL B5	14,711 SF
LEVEL B6	14,711 SF
LEVEL B7	14,625 SF
TOTAL GFA	107,689 SF

REAL: NOT ISSUED FOR CONSTRUCTION

ARCHITECT: **ELEVATE architecture studio**
 1775 THE EXCHANGE SE | ATLANTA, GEORGIA 30339
 PHONE: 404.591.8882
 WWW.ELEVATEARCHITECT.COM

DEVELOPMENT: **AC HOTELS MARRIOTT**
 KNOXVILLE, TN 37902

OWNER: **VECTOR HOSPITALITY**
 800 BATTERY AVENUE SUITE 100
 ATLANTA, GA 30339

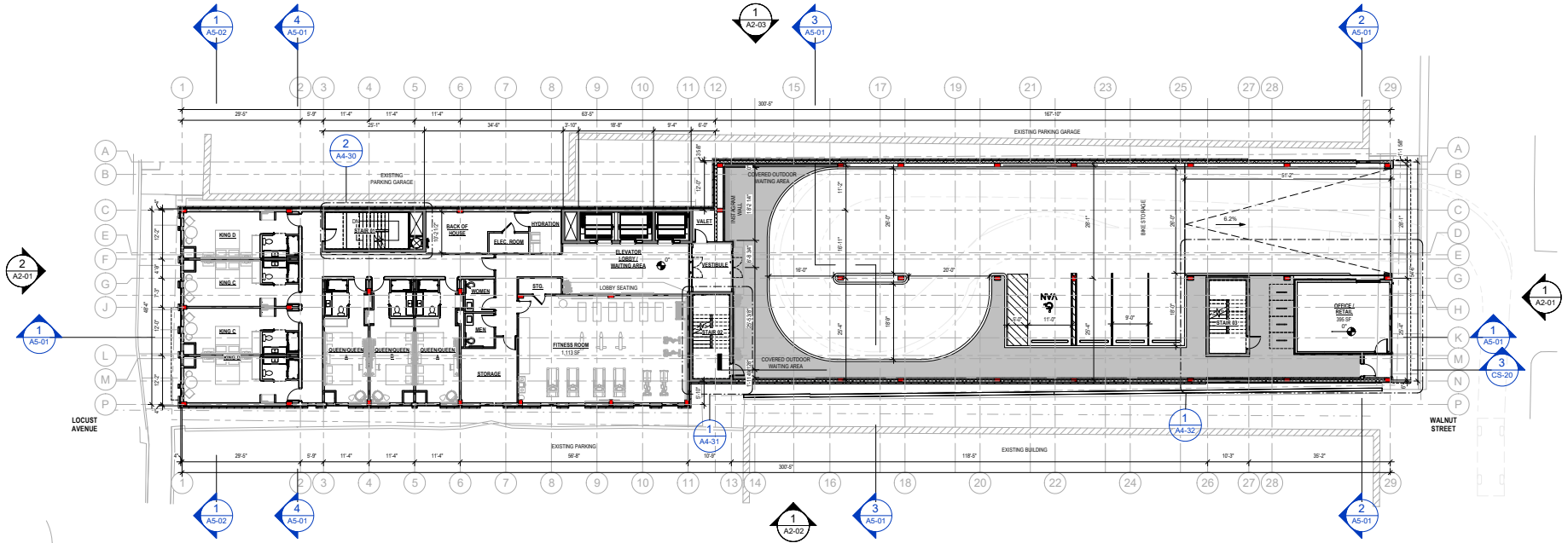
CONSULTANT:

ISSUANCES:

DATE	DESCRIPTION	BY
08/21/23	SCHEMATIC DESIGN	DRB
08/16/23	DRB	

ELEVATE PROJECT NUMBER: 22-1301
 SHEET TITLE: **ARCHITECTURAL SITE PLAN**

SHEET NUMBER: **CS-60**



1 OVERALL PLAN - LEVEL 01
SCALE: 3/32" = 1'-0"

LEGEND	
	CMU WALL
	CAST-IN-PLACE CONCRETE WALL
	ROOM NUMBER ROOM TYPE LOCATION OF ENLARGED ROOM PLANS, RCP, ELECTRICAL PANELS AND INTERIOR ELEVATION REFERENCES
	WALL PARTITION
	DOOR CALLOUT
	WINDOW TYPE CALLOUT
	STOREFRONT TYPE CALLOUT
	FIRE EXTINGUISHER CABINET - SURFACE MOUNT
	FIRE EXTINGUISHER CABINET - SEMI-RECESSED
	FIRE EXTINGUISHER CABINET - RECESSED

GENERAL NOTES	
1.	REFER TO AS SERIES FOR ENLARGED ROOM PLANS, INTERIOR DOOR TYPES AND LOCATIONS, ROOM RCP, FINISH PLAN AND ELECTRICAL PLAN.
2.	REFER TO CS SERIES FOR WALL AND FLOOR/CILING ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
3.	REFER TO AR SERIES FOR DOOR SCHEDULES, LEGENDS, AND DETAILS.
4.	ALL SLOPES TO BE 1/4" PER 1'-0" UNLESS NOTED OTHERWISE.
5.	REFER TO INTERIOR DRAWINGS FOR AMENITY LIGHTING AND FINISH SPECIFICATIONS.
6.	REFER TO INTERIOR DESIGN DRAWINGS FOR CONDITIONS CORRIDOR FINISHES. REFER TO AS SERIES BUILDING AND WALL SECTIONS FOR FINISHES.
7.	CONTROL JOINTS IN CORRIDOR CEILING TO BE 30'-0" O.C. MAX. PROVIDE JOINTS BEGINNING AT CORRIDOR INTERSECTIONS UNLESS NOTED OTHERWISE.
8.	DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MEPOINT OF WALL OR 4'-0" CLEAR FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.

NOT ISSUED FOR CONSTRUCTION

ARCHITECT:
ELEVATE architecture studio
1775 THE EXCHANGE SE - SUITE 630 - ATLANTA, GEORGIA 30339
PHONE: 404.591.8882
WWW.ELEVATEARCHITECT.COM

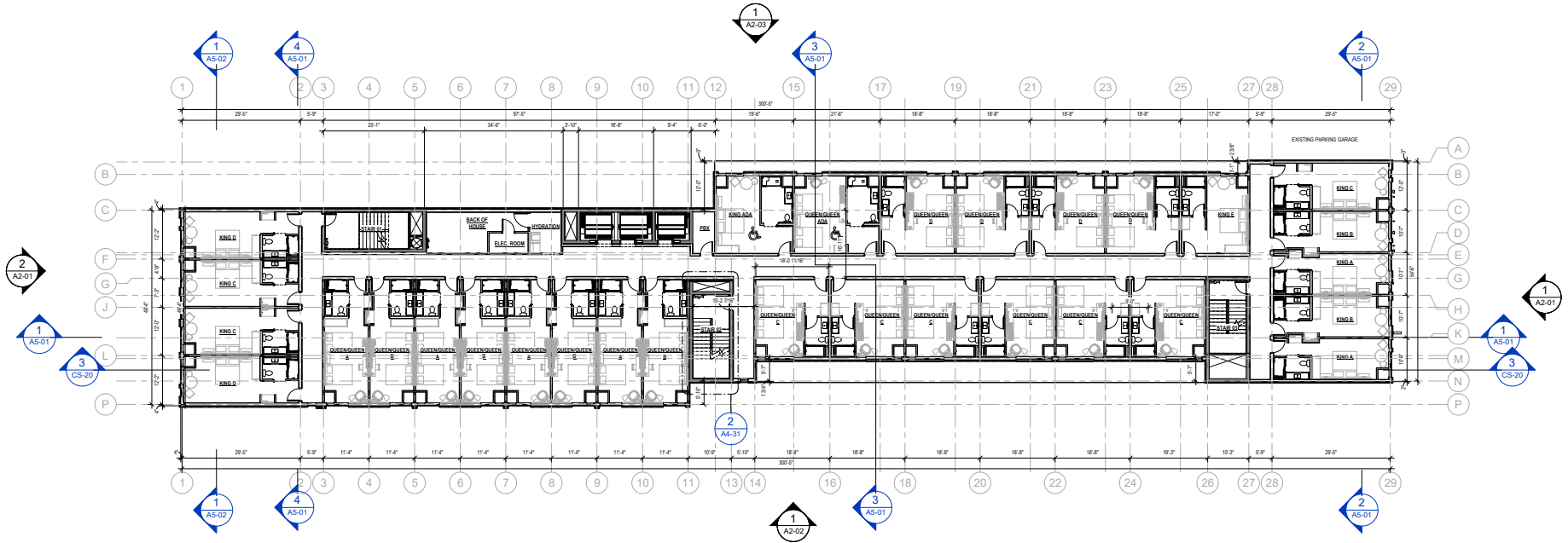
DEVELOPER:
AC HOTELS MARRIOTT
KNOXVILLE, TN 37902

OWNER:
VECTOR HOSPITALITY
800 BATTERY AVENUE SUITE 100
ATLANTA, GA 30339

CONSULTANT:

ISSUANCES	DESCRIPTION	DATE
08/21/23	SCHEMATIC DESIGN	
08/19/23	DRB	

ELEVATE PROJECT NUMBER: 22-1301
SHEET TITLE:
OVERALL PLAN - LEVEL 01
SHEET NUMBER:
A1-01



1 OVERALL PLAN - LEVEL 02
SCALE: 3/32" = 1'-0"

LEGEND	
	DMU WALL
	CAST-IN PLACE CONCRETE WALL
	ROOM NUMBER
	ROOM TYPE
	LOCATION OF ENLARGED ROOM PLANS, RCP, ELECTRICAL PANELS AND EXTERIOR ELEVATION REFERENCES
	WALL PARTITION
	DOOR CALLOUT
	WINDOW TYPE CALLOUT
	STOREFRONT TYPE CALLOUT
	FIRE EXTINGUISHER CABINET - SURFACE MOUNT
	FIRE EXTINGUISHER CABINET - SEMI-RECESSED
	FIRE EXTINGUISHER CABINET - RECESSED

GENERAL NOTES	
1.	REFER TO A3 SERIES FOR ENLARGED ROOM PLANS, INTERIOR DOOR TYPES AND LOCATIONS, ROOM RCP, FINISH PLAN AND ELECTRICAL PLAN.
2.	REFER TO C6 SERIES FOR WALL AND FLOORING ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
3.	REFER TO A8 SERIES FOR DOOR SCHEDULES, LEGENDS, AND DETAILS.
4.	ALL SLOPES TO BE 1/4" PER FOOT.
5.	REFER TO INTERIOR DRAWINGS FOR AMENITY LIGHTING AND FINISH SPECIFICATIONS.
6.	REFER TO INTERIOR DESIGN DRAWINGS FOR CONDITIONED CORRIDOR FINISHES. REFER TO A5 SERIES BUILDING AND WALL SECTIONS FOR FINISHES.
7.	CONTROL JOINTS IN CORRIDOR CEILING TO BE 30'-0" O.C. MAX. PROVIDE JOINTS BEGINNING AT CORRIDOR INTERSECTIONS UNLESS NOTED OTHERWISE.
8.	DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MEPOINT OF WALL OR 4'-0" CLEAR FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.

NOT ISSUED FOR CONSTRUCTION

ARCHITECT:

ELEVATE architecture studio
1775 THE EXCHANGE SE - SUITE 630 - ATLANTA, GEORGIA 30339
PHONE: 404.591.8882
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DEVELOPER:

AC HOTELS MARRIOTT
KNOXVILLE, TN 37902

OWNER:

VECTOR HOSPITALITY
800 BATTERY AVENUE SUITE 160 ATLANTA, GA 30339

CONSULTANT:

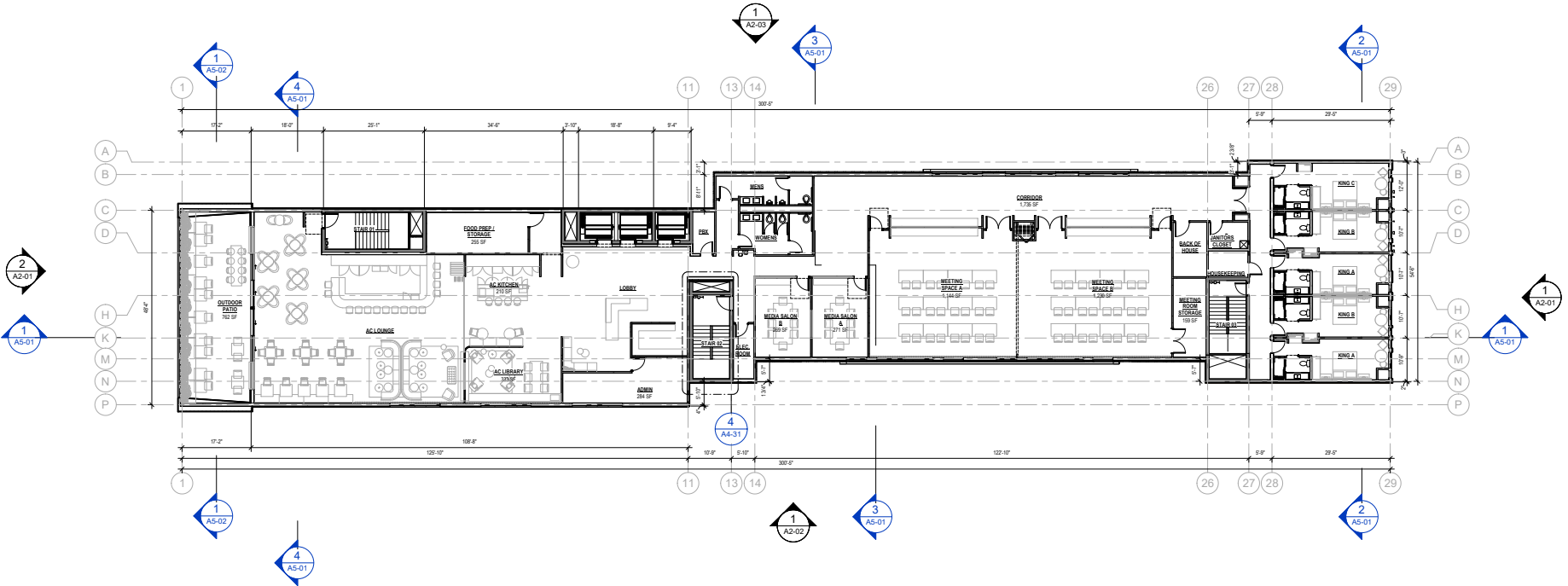
ISSUANCES	DATE	DESCRIPTION	BY
08/21/23	08/21/23	SCHEMATIC DESIGN	DRB
08/16/23	08/16/23	DRB	

ELEVATE PROJECT NUMBER: 22-1301
SHEET TITLE:

OVERALL PLAN - LEVEL 02

SHEET NUMBER:

A1-02



1 OVERALL PLAN - LEVEL 07
SCALE: 3/32" = 1'-0"

LEGEND	
	CMU WALL
	CAST-IN-PLACE CONCRETE WALL
	ROOM NUMBER
	ROOM TYPE
	LOCATION OF ENLARGED ROOM PLANS, RCP, ELECTRICAL PANELS AND INTERIOR ELEVATION REFERENCES
	WALL PARTITION
	DOOR CALLOUT
	WINDOW TYPE CALLOUT
	STOREFRONT TYPE CALLOUT
	FIRE EXTINGUISHER CABINET - SURFACE MOUNT
	FIRE EXTINGUISHER CABINET - SEMI-RECESSED
	FIRE EXTINGUISHER CABINET - RECESSED

GENERAL NOTES	
1.	REFER TO A3 SERIES FOR ENLARGED ROOM PLANS, INTERIOR DOOR TYPES AND LOCATIONS, ROOM RCP, FINISH PLAN AND ELECTRICAL PLAN.
2.	REFER TO C6 SERIES FOR WALL AND FLOORING ASSEMBLY TYPES AND ADDITIONAL INFORMATION.
3.	REFER TO A8 SERIES FOR DOOR SCHEDULES, LEGENDS, AND DETAILS.
4.	ALL SLOPES TO BE 1/4" PER FOOT.
5.	REFER TO INTERIOR DRAWINGS FOR AMENITY LIGHTING AND FINISH SPECIFICATIONS.
6.	REFER TO INTERIOR DESIGN DRAWINGS FOR CONDITIONED CORRIDOR FINISHES. REFER TO A5 SERIES BUILDING AND WALL SECTIONS FOR FINISHES.
7.	CONTROL JOINTS IN CORRIDOR CEILING TO BE 30'-0" O.C. MAX. PROVIDE JOINTS BEGINNING AT CORRIDOR INTERSECTIONS UNLESS NOTED OTHERWISE.
8.	DOOR LOCATIONS NOT DIMENSIONED SHALL BE 1' LOCATED AT MEPOINT OF WALL OR 4" CLEAR FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.

NOT ISSUED FOR CONSTRUCTION

ARCHITECT:

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OWNER:

VECTOR HOSPITALITY
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ATLANTA, GA. 30339

CONSULTANT:

ISSUANCES:

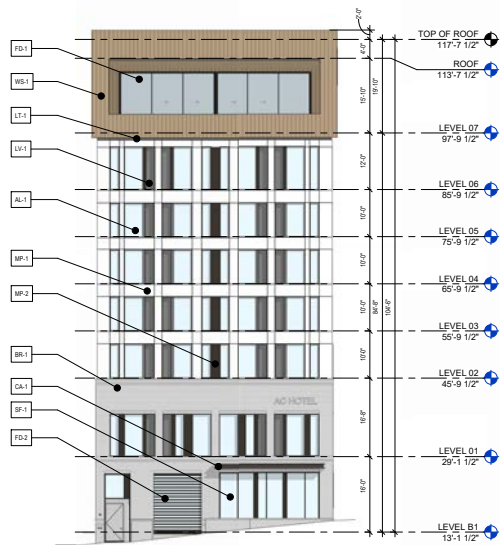
DATE	DESCRIPTION	BY
08/21/23	SCHEMATIC DESIGN	DRB
08/16/23	DRB	

ELEVATE PROJECT NUMBER: 22-1301
SHEET TITLE:

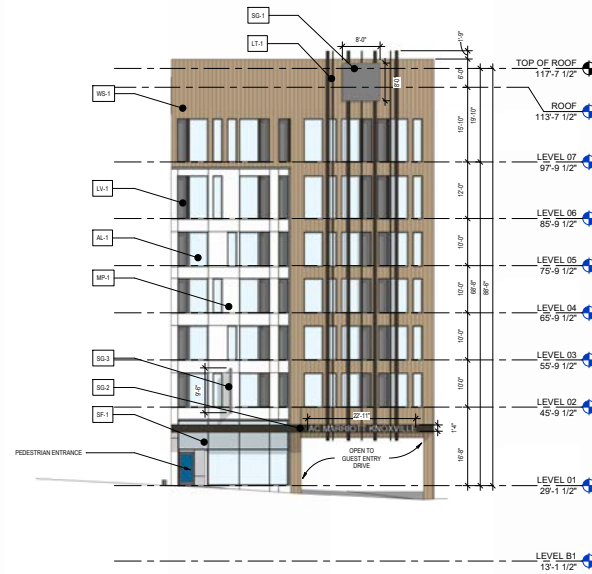
OVERALL PLAN - LEVEL 07

SHEET NUMBER:

A1-07



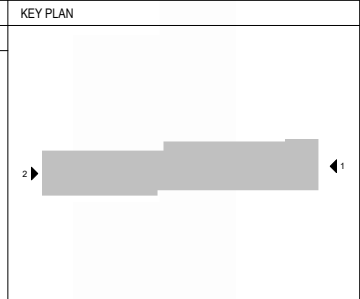
2 WEST ELEVATION
SCALE: 3/32" = 1'-0"



1 EAST ELEVATION
SCALE: 3/32" = 1'-0"

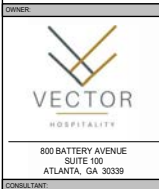


EXTERIOR FINISHES		COLOR / FINISH	
TAG	DESCRIPTION		
BR-1	BRICK VENEER	DARK GRAY	
WS-1	FIBER REINFORCED SIDING	WOOD, AGED TEAK	
MP-1	COMPOSITE METAL PANEL	LIGHT GRAY	
MP-2	COMPOSITE METAL PANEL	BLACK	
SF-1	ALUMINUM STORFRONT	CLEAR GLAZING	
AL-1	ALUMINUM FIXED WINDOWS	BLACK FRAMES	
FD-1	SLIDING GLASS WALL		
FD-2	OVERHEAD SERVICE DOOR		
LV-1	VTAC LOUVERS		
CA-1	PREFABRICATED ALUMINUM CANOPY	BLACK	
		LT-1	RECESSED LED LIGHTING
		LT-2	FULL CUT-OFF SECURITY LIGHT
		SG-1	SIGNAGE LOGO
		SG-2	SIGNAGE ENTRANCE CANOPY
		SG-3	SIGNAGE BLADE



NOT ISSUED FOR CONSTRUCTION

ARCHITECT:
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CONSULTANT:

ISSUANCES:

DATE	DESCRIPTION	BY
08/21/23	SCHEMATIC DESIGN	DRB
08/16/23	DRB	

ELEVATE PROJECT NUMBER: 22-1301
SHEET TITLE:

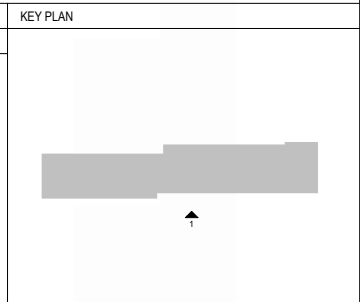
BUILDING ELEVATIONS
SHEET NUMBER:
A2-01



1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



EXTERIOR FINISHES		COLOR / FINISH	
TAG	DESCRIPTION		
BR-1	BRICK VENEER	DARK GRAY	
WS-1	FIBER REINFORCED SIDING	WOOD, AGED TEAK	
MP-1	COMPOSITE METAL PANEL	LIGHT GRAY	
MP-2	COMPOSITE METAL PANEL	BLACK	
SF-1	ALUMINUM STOREFRONT	CLEAR GLAZING	
AL-1	ALUMINUM FIXED WINDOWS	BLACK FRAMES	
FD-1	SLIDING GLASS WALL		
FD-2	OVERHEAD SERVICE DOOR		
LV-1	VTAC LOUVERS		
CA-1	PREFABRICATED ALUMINUM CANOPY	BLACK	
		LT-1	RECESSED LED LIGHTING
		LT-2	FULL CUT-OFF SECURITY LIGHT
		SG-1	SIGNAGE LOGO
		SG-2	SIGNAGE ENTRANCE CANOPY
		SG-3	SIGNAGE BLADE



NOT ISSUED FOR CONSTRUCTION

ARCHITECT:
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DEVELOPMENT:
AC HOTELS MARRIOTT
KNOXVILLE, TN 37902

OWNER:
VECTOR HOSPITALITY
800 BATTERY AVENUE SUITE 100 ATLANTA, GA 30339

ISSUANCES:

DATE	DESCRIPTION	BY
08/21/23	SCHEMATIC DESIGN	DRB
08/16/23	DRB	

ELEVATE PROJECT NUMBER: 22-1301
SHEET TITLE:
BUILDING ELEVATIONS
SHEET NUMBER:
A2-02

NOT ISSUED FOR CONSTRUCTION

ARCHITECT:
ELEVATE architecture studio
 1775 THE EXCHANGE SE SUITE 300 | ATLANTA, GEORGIA 30339
 PHONE: 404.594.8882
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DEVELOPMENT:
AC HOTELS MARRIOTT
 KNOXVILLE, TN 37902

OWNER:
VECTOR HOSPITALITY
 800 BATTERY AVENUE SUITE 100
 ATLANTA, GA. 30339

CONSULTANT:

ISSUANCES	DATE	DESCRIPTION	BY
02/21/23		SCHEMATIC DESIGN	
02/16/23		DRB	

ELEVATE PROJECT NUMBER: 22-1301
 SHEET TITLE:

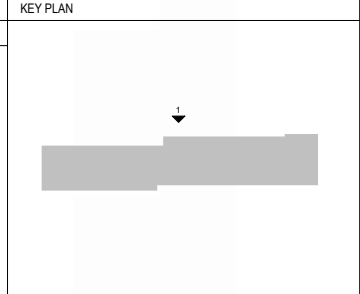
BUILDING ELEVATIONS

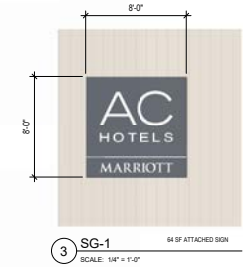
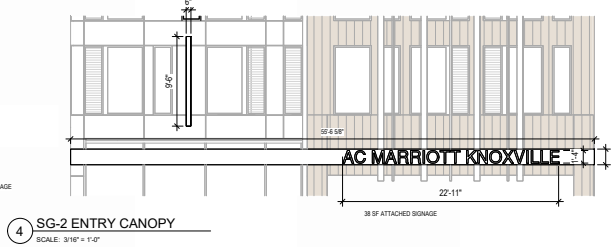
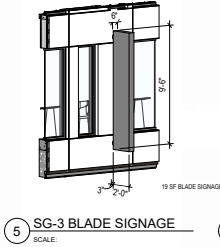
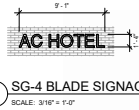
SHEET NUMBER:
A2-03



1 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"

EXTERIOR FINISHES		COLOR / FINISH	
TAG	DESCRIPTION		
BR-1	BRICK VENEER	DARK GRAY	LT-1 RECESSED LED LIGHTING LT-2 FULL CUT-OFF SECURITY LIGHT
WS-1	FIBER REINFORCED SIDING	WOOD, AGED TEAK	SG-1 SIGNAGE LOGO SG-2 SIGNAGE ENTRANCE CANOPY SG-3 SIGNAGE BLADE
MP-1	COMPOSITE METAL PANEL	LIGHT GRAY	
MP-2	COMPOSITE METAL PANEL	BLACK	
SF-1	ALUMINUM STORFRONT	CLEAR GLAZING	
AL-1	ALUMINUM FIXED WINDOWS	BLACK FRAMES	
FD-1	SLIDING GLASS WALL		
FD-2	OVERHEAD SERVICE DOOR		
LV-1	VTAC LOUVERS		
CA-1	PREFABRICATED ALUMINUM CANOPY	BLACK	





BLANK WALL
MAX. 20 LINEAR FEET BETWEEN FENESTRATION, DOORS, OR DECORATIVE ELEMENTS REQUIRED.

FENESTRATION DESIGN - LEVEL 07
TOTAL WALL AREA: 133 SF
TOTAL FENESTRATION AREA: 39 SF
FENESTRATION PROVIDED: + 30.8%
MIN. FENESTRATION REQUIRED: 20% / 264 SF

FENESTRATION DESIGN - LEVEL 06
TOTAL WALL AREA: 189 SF
TOTAL FENESTRATION AREA: 189 SF
FENESTRATION PROVIDED: + 31.6%
MIN. FENESTRATION REQUIRED: 20% / 150 SF

FENESTRATION DESIGN - LEVEL 05
TOTAL WALL AREA: 189 SF
TOTAL FENESTRATION AREA: 189 SF
FENESTRATION PROVIDED: + 30%
MIN. FENESTRATION REQUIRED: 20% / 125 SF

FENESTRATION DESIGN - LEVEL 04
TOTAL WALL AREA: 189 SF
TOTAL FENESTRATION AREA: 189 SF
FENESTRATION PROVIDED: + 30%
MIN. FENESTRATION REQUIRED: 20% / 125 SF

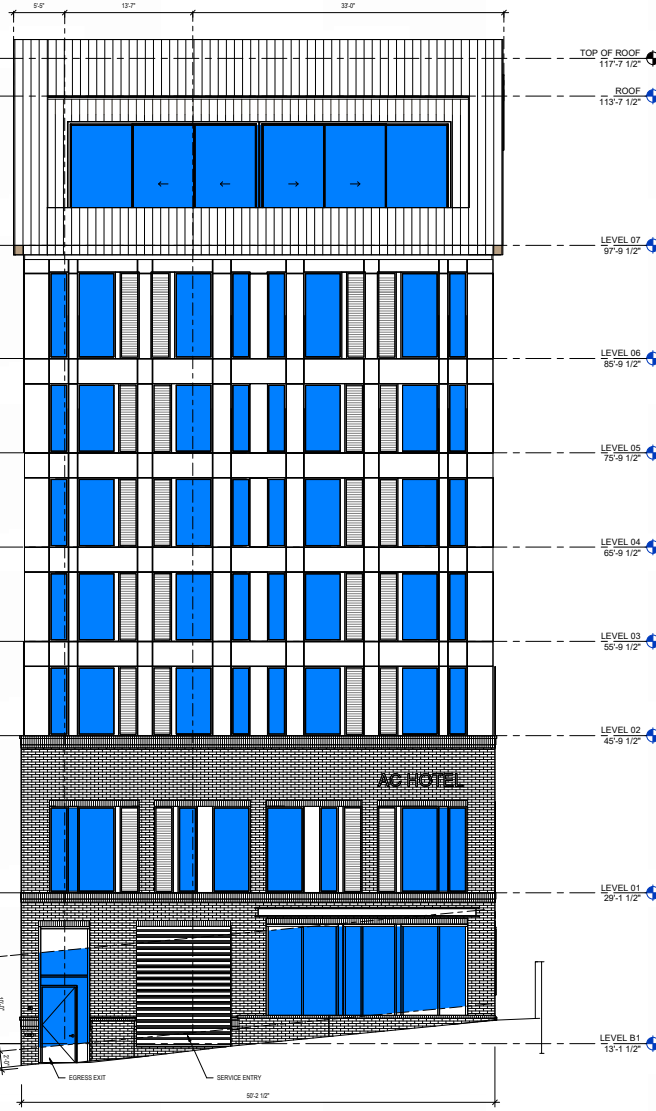
FENESTRATION DESIGN - LEVEL 03
TOTAL WALL AREA: 189 SF
TOTAL FENESTRATION AREA: 189 SF
FENESTRATION PROVIDED: + 30%
MIN. FENESTRATION REQUIRED: 20% / 125 SF

FENESTRATION DESIGN - LEVEL 02
TOTAL WALL AREA: 189 SF
TOTAL FENESTRATION AREA: 189 SF
FENESTRATION PROVIDED: + 30%
MIN. FENESTRATION REQUIRED: 20% / 125 SF

FENESTRATION DESIGN - LEVEL 01
TOTAL WALL AREA: 212 SF
TOTAL FENESTRATION AREA: 156 SF
FENESTRATION PROVIDED: + 26.4%
MIN. FENESTRATION REQUIRED: 20% / 120 SF

FENESTRATION DESIGN - LEVEL 01
TOTAL WALL AREA: 81 SF
TOTAL FENESTRATION AREA: 246 SF
FENESTRATION PROVIDED: + 30.3%
MIN. FENESTRATION REQUIRED: 30% / 243 SF

BUILDING ENTRY - LEVEL 01
MIN. 1 ENTRY 30 FT REQUIRED
2 ENTRANCES PROVIDED



2 LOCUST STREET ELEVATION
SCALE: 3/16" = 1'-0"

BLANK WALL
MAX. 20 LINEAR FEET BETWEEN FENESTRATION, DOORS, OR DECORATIVE ELEMENTS REQUIRED.

FRONT FACADE SIGNAGE
TOTAL WALL AREA: 4,012 SF
TOTAL SIGNAGE AREA: 111
ATTACHED SIGNAGE PROVIDED: + 2.8%
MAX SIGN AREA REQUIRED: 10%

FENESTRATION DESIGN - LEVEL 07
TOTAL WALL AREA: 802 SF
TOTAL FENESTRATION AREA: 221 SF
FENESTRATION PROVIDED: + 25.2%
MIN. FENESTRATION REQUIRED: 20% / 228 SF

FENESTRATION DESIGN - LEVEL 06
TOTAL WALL AREA: 607 SF
TOTAL FENESTRATION AREA: 207 SF
FENESTRATION PROVIDED: + 34%
MIN. FENESTRATION REQUIRED: 20% / 167 SF

FENESTRATION DESIGN - LEVEL 05
TOTAL WALL AREA: 598 SF
TOTAL FENESTRATION AREA: 164 SF
FENESTRATION PROVIDED: + 28.4%
MIN. FENESTRATION REQUIRED: 20% / 139 SF

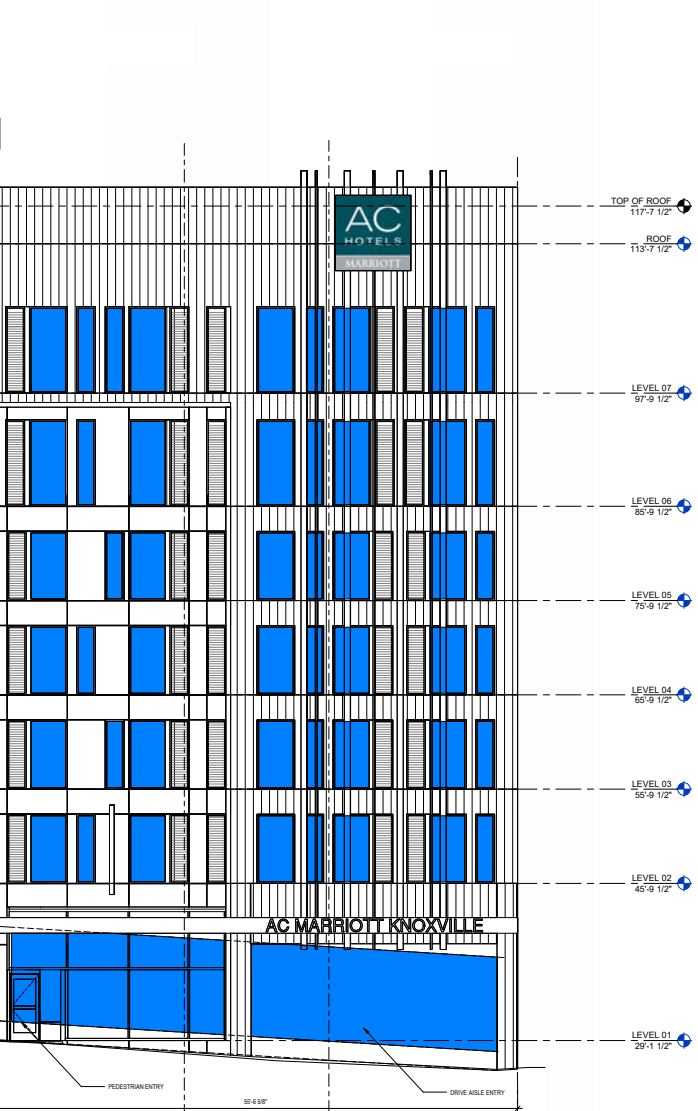
FENESTRATION DESIGN - LEVEL 04
TOTAL WALL AREA: 598 SF
TOTAL FENESTRATION AREA: 164 SF
FENESTRATION PROVIDED: + 28.4%
MIN. FENESTRATION REQUIRED: 20% / 139 SF

FENESTRATION DESIGN - LEVEL 03
TOTAL WALL AREA: 598 SF
TOTAL FENESTRATION AREA: 164 SF
FENESTRATION PROVIDED: + 28.4%
MIN. FENESTRATION REQUIRED: 20% / 139 SF

FENESTRATION DESIGN - LEVEL 02
TOTAL WALL AREA: 598 SF
TOTAL FENESTRATION AREA: 164 SF
FENESTRATION PROVIDED: + 28.4%
MIN. FENESTRATION REQUIRED: 20% / 139 SF

FENESTRATION DESIGN - LEVEL 01
TOTAL WALL AREA: 1,028 SF
TOTAL FENESTRATION AREA: 483 SF
FENESTRATION PROVIDED: + 47.1%
MIN. FENESTRATION REQUIRED: 30%

BUILDING ENTRY - LEVEL 01
MIN. 1 ENTRY 30 FT REQUIRED
2 ENTRANCES PROVIDED



1 WALNUT STREET - FRONT ELEVATION
SCALE: 3/16" = 1'-0"

REAL: NOT ISSUED FOR CONSTRUCTION

ARCHITECT: **architecture studio**
1775 THE EXCHANGE SE - SUITE 300 - ATLANTA, GEORGIA 30339
PHONE: 404.591.8882
WWW.ELEVATEARCHITECT.COM

ELEVATE

DEVELOPER: **AC HOTELS MARRIOTT**
KNOXVILLE, TN 37902

OWNER: **VECTOR HOSPITALITY**
800 BATTERY AVENUE SUITE 100
ATLANTA, GA. 30339

CONSULTANT:

ISSUANCE:	DATE:	DESCRIPTION:	BY:
08/21/23	08/21/23	SCHEMATIC DESIGN	DRB
08/29/23		DRB	

ELEVATE PROJECT NUMBER: 22-1301
SHEET TITLE: **BUILDING ELEVATIONS-ENLARGED**

SHEET NUMBER: **A2-05**



1 WALNUT STREET

** ABOVE RENDERING IS FOR ILLUSTRATION PURPOSES ONLY

REAL:
NOT ISSUED FOR CONSTRUCTION

ARCHITECT:
ELEVATE architecture studio
1775 THE EXCHANGE SE - SUITE 630 | ATLANTA, GEORGIA 30339
PHONE: 404.594.8882
WWW.ELEVATEARCHITECT.COM

DEVELOPMENT:
AC HOTELS MARRIOTT
KNOXVILLE, TN 37902

OWNER:
VECTOR HOSPITALITY
800 BATTERY AVENUE
SUITE 160
ATLANTA, GA 30339

CONSULTANT:

ISSUANCES	DATE	DESCRIPTION	BY
08/21/23		SCHEMATIC DESIGN	

ELEVATE PROJECT NUMBER: 22-1301
SHEET TITLE:

ARCH RENDERINGS
- WALNUT STREET

SHEET NUMBER:
A2-10

