Staff Report

Infill Housing Design Review Committee

File Number: 8-B-23-IH

Meeting: 8/16/2023
Applicant: Micheal Haynes Micheal Haynes Construction, Inc.
Owner: Knoxville Community Development Corporation

Property Information

Location: 1534 Texas Ave.
Parcel ID 81 P E 003
Zoning: RN-2 (Single-Family Residential Neighborhood)
District: Lonsdale Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary residence fronting Texas Avenue. One-story residence with a front gable roof (5/12 pitch, clad in dimensional shingles), an exterior of vinyl lap siding, 1/1 double hung windows (of an unspecified material) and a concrete foundation. The house measures 30' wide by 50' long. The house will be set back 21.5' from the front property line. The parking is proposed as a 12' wide driveway on the side of the house accessed via Texas Avenue.

The façade (north) features an 8' deep recessed corner porch with a centrally located door flanked by paired 1/1 double-hung windows on the left and a single 1/1 double-hung window on the right. The front gable is clad in vinyl shake siding and features a centrally located vent.

The left elevation features one 1/1 double-hung window. The right elevation features three 1/1 double-hung windows. The rear elevation features a double-hung 1/1 window and an 8' projecting covered porch featuring a 5/12 gable roof and a door centrally located to the porch flanked by a 1/1 double-hung window.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards
- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- When several infill houses are sited, porches and the habitable portion of each house should be about the same distance from the street as the original houses.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. House Orientation and Side Lots
- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning

requirement to treat corner lots as having two frontages should not apply in Heart of Knoxville neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.
- On lots greater than 50’ in width, consider re-creating the original lot size.

3. Alleys, Parking, and Services
- Parking should not be in front yards.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front facade.

4. Scale, Mass, and Foundation Height
- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops
- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood’s development. Wrought iron, antebellum columns and other materials that were not used in the early 1900’s should not be used.

6. Windows and Doors
-When constructing new houses, the window and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front facade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as picture windows should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials
- New roofs should be designed to have a similar pitch to original housing on the block.
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Heart of Knoxville neighborhoods.

8. Siding Materials
- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.

Comments

1. The house is proposed to be set 21.5' from the front property line, with an 8' deep front porch recessed below the primary roofline. The average front setback of the block is 22.7, with three houses located further east on the block. The house is adjacent to a surface parking lot for the nearby sports field. The new house's front setback will maintain a consistent streetscape pattern with houses on the block. The site plan includes a walkway to the street.

2. The block to receive new construction is characterized by one-story Queen Anne cottage, a Minimal Traditional, and a compatible infill house. The one-story, three-bay residence is proportional to the dimensions of the lot. The house features a substantial right side setback due to a buffer zone for a blue line stream.

3. The proposed parking meets Infill Housing design guidelines for properties without alleys (at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and the front façade). Final revisions to the site plan may be necessary to meet City Engineering standards.

4. Overall, the one-story, three-bay façade is similar in scale to the context. The foundation height should be confirmed to be compatible with the neighborhood.

5. The site plan includes an 8' deep front porch, recessed below the primary roofline. The porch is compatible with the design of the house and the surrounding block. The drawings indicate 6 by 6 square columns on the porch and a guardrail.

6. Guidelines recommend window and door styles be similar, with similar proportions and ratio of solid to void, to historic houses on the block. Overall, the design includes sufficient windows on the façade and side elevations. Infill Housing reviews often discourage shutters that are inappropriately sized for the windows; if shutters are installed on the façade, they should reflect the size and proportions of the windows.

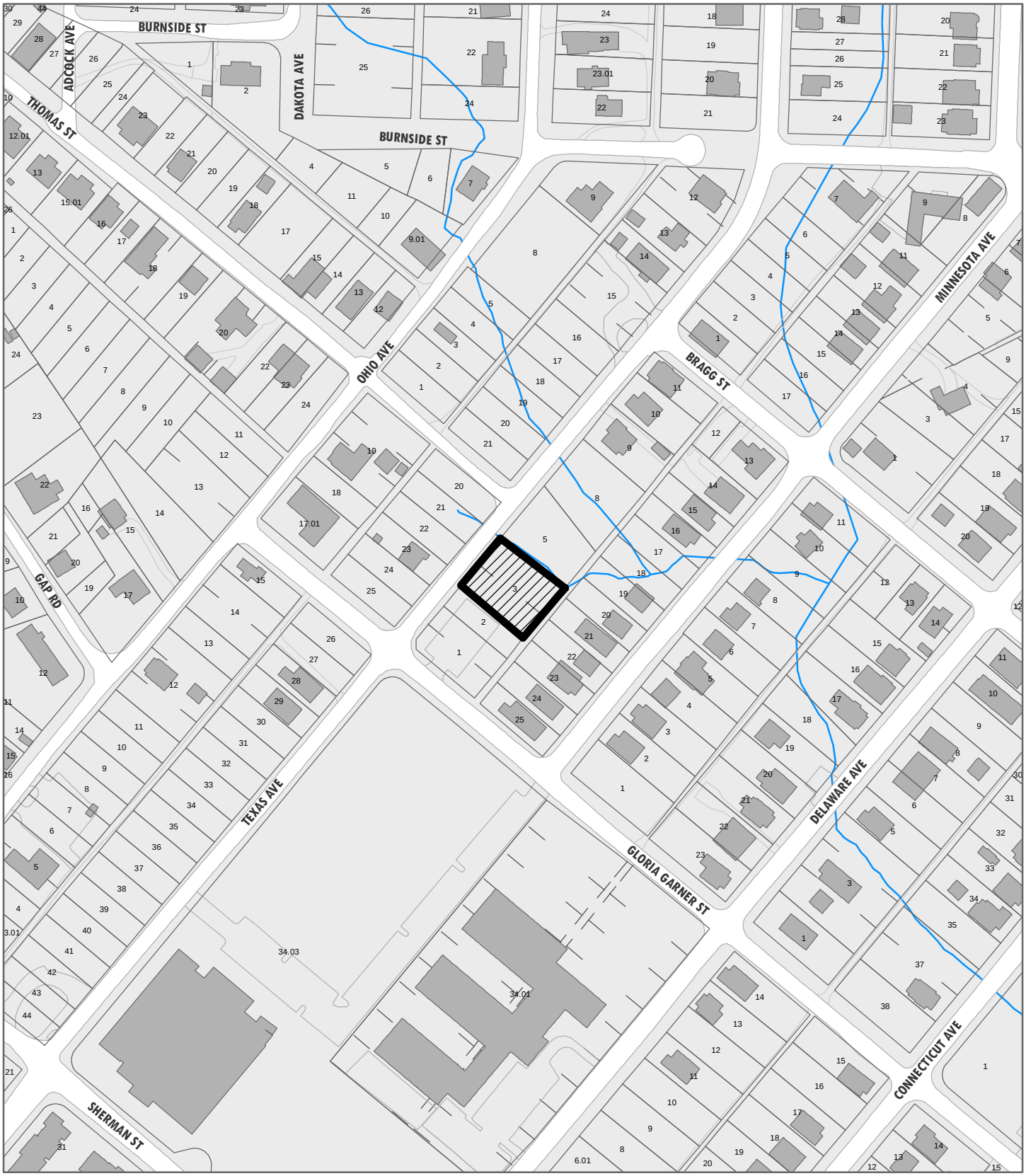
7. The proposed 5/12 pitch roof should be revised to at least a 6/12 pitch, which is the minimum typically approved in the Infill Housing overlay.

8. The siding material (vinyl lap) is appropriate within the guidelines. The front porch should be clad in stucco above the concrete block foundation indicated.

9. The final site plan should indicate one new native or naturalized shade tree to be planted in both front and rear yards.

Recommendation

Staff recommends approval of Certificate 8-B-23-IH, subject to the following conditions: 1) final site plan to meet City Engineering standards; 2) roof pitch to be increased to 6/12 minimum; 3) foundation to be elevated to reflect foundation height of existing houses on block and be clad in stucco.



INFILL HOUSING REVIEW BOARD

8-B-23-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

1534 Texas Ave.

Lonsdale Infill Housing Overlay District

Original Print Date: 8/7/2023 Revised:

Knoxville/Knox County Planning - Infill Housing Design Review Committee

Applicant: Micheal Haynes Micheal Haynes Construction, Inc.

N

0 250

Feet

(1) Download and fill out this form at your convenience. (2) Sign the application digitally (or print, sign, and scan). (3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices or email it to applications@knoxplanning.org.

Reset Form

Planning
KNOXVILLE | KNOX COUNTY

DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
- ☐ HISTORIC ZONING (H)
- ☒ INFILL HOUSING (IH)

Micheal Haynes
Applicant

6-28-23 | 8.16.2023 | 8-B-23-IH
Date Filed | Meeting Date (if applicable) | File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☒ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Micheal Haynes contruction Inc
Name | Company

8307 Weaver hollow WAY | Powell | Tn | 37849
Address | City | State | Zip

865-776-1140 | MA.Haynes@Icloud.com
Phone | Email

CURRENT PROPERTY INFO

City of Knoxville
Owner Name (if different from applicant) | Owner Address | Owner Phone

1534 Texas Ave | 081PE003
Property Address | Parcel ID

Lonsdale land Company | Infill
Neighborhood | Zoning

AUTHORIZATION

Lindsay Crockett | Lindsay Crockett | 7.9.23
Staff Signature | Please Print | Date

Micheal Haynes | Micheal Haynes | 6-28-23
Applicant Signature | Please Print | Date

REQUEST

DOWNTOWN DESIGN

Level 1:

☐ Signs ☐ Alteration of an existing building/structure

Level 2:

☐ Addition to an existing building/structure

Level 3:

☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

☐ Brief description of work: _____

HISTORIC ZONING

Level 1:

☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

☐ Construction of a new primary building

Level 4:

☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

☐ Brief description of work: _____

INFILL HOUSING

Level 1:

☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

☒ New primary structure

☒ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

☒ Brief description of work: 4 bdrm 2 bdrm 1382 sq FT one story with covered front & rear porches

STAFF USE ONLY

ATTACHMENTS

☐ Downtown Design Checklist

☐ Historic Zoning Design Checklist

☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

☐ Property Owners / Option Holders

Level 1: $50 • **Level 2:** $100 • **Level 3:** $250 • **Level 4:** $500

FEE 1:	TOTAL:
FEE 2:	
FEE 3:	

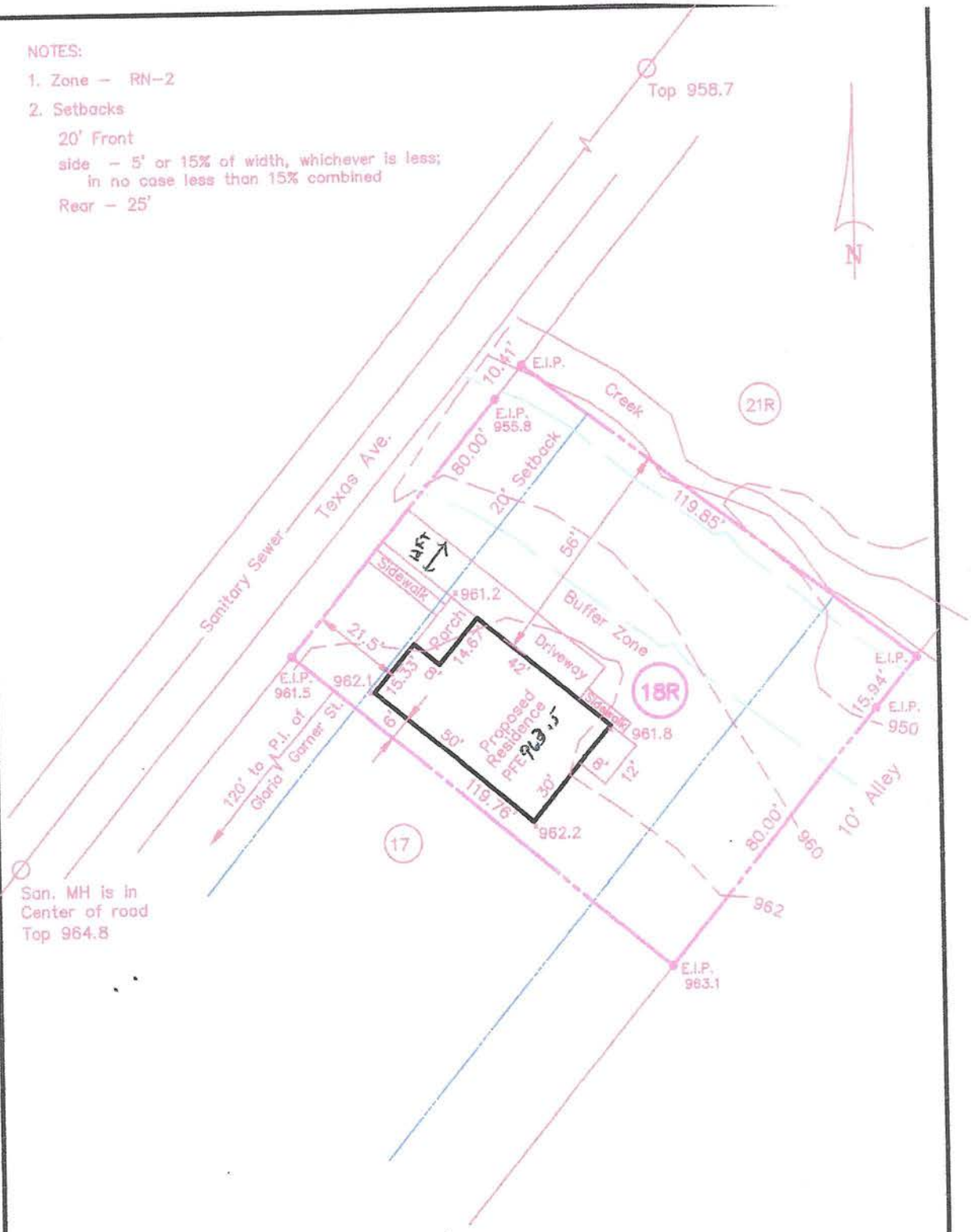
NOTES:

1. Zone – RN–2
2. Setbacks

   20' Front

   side – 5' or 15% of width, whichever is less; in no case less than 15% combined

   Rear – 25'



Plot Plan
Lot 18R
Lonsdale Land Company
Re–subdivision of Lots 18–24
Block 12
City Block 19421

PLOT PLAN

Owner: ~~Texas Ave~~ 1534 Texas Ave	Lot 18R
	Subd. Lonsdale Land Co.
	County Knox Dist. 2
	City Knoxville – Ward 2
	State Tennessee
Jim Sullivan, Land Surveyor Maryville, Tenn. Ph. 406–7324	Scale 1"=30'
	Date June 23, 2023

ROOF LAYOUT PLAN
SCALE: 1/8" = 1'-0"

6X6 Columns on front porch

SE vent on Front of Porch

No grids on windows

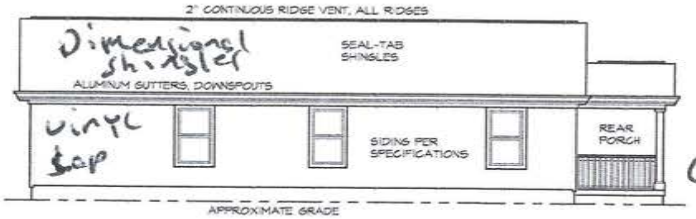
Concrete

Half glass Front door

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

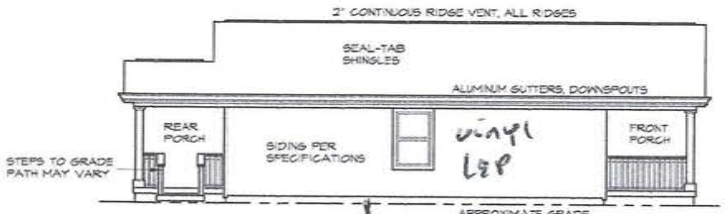
REAR ELEVATION
SCALE: 1/8" = 1'-0"

NOTE:
ALL WINDOW, DOOR, ACCESSORY & TRIM STYLES ARE INDICATED FOR ILLUSTRATION ONLY AND ARE SUBJECT TO APPROVAL/CHANGE BY GENERAL CONTRACTOR - ALL SUCH CHANGES SHALL CONFORM TO APPLICABLE LOCAL / STATE / NATIONAL BUILDING CODES



6X6 column

RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



No steps

Concrete

LEFT ELEVATION
SCALE: 1/8" = 1'-0"

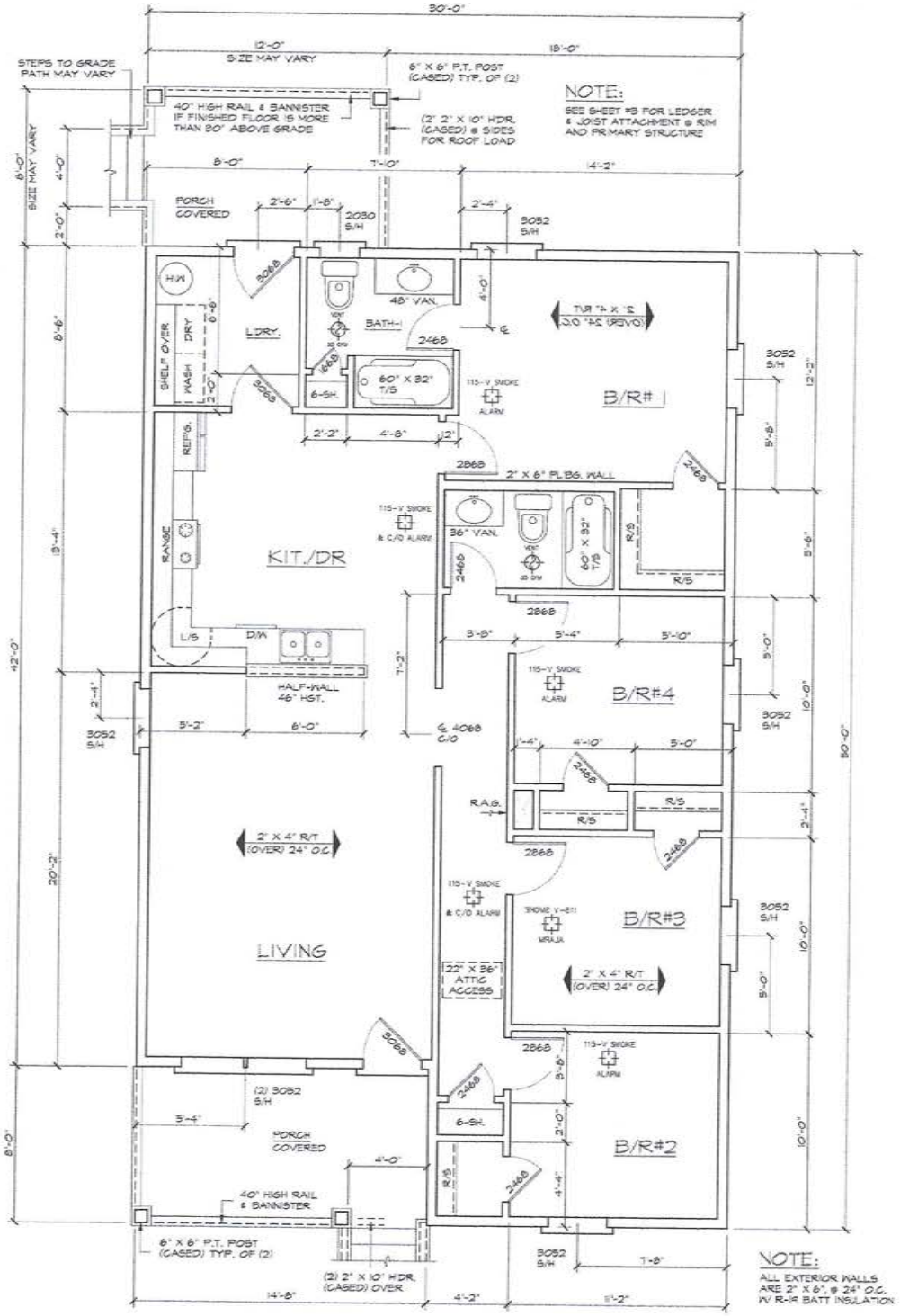
Designed To 2018 IRC

NOTICE

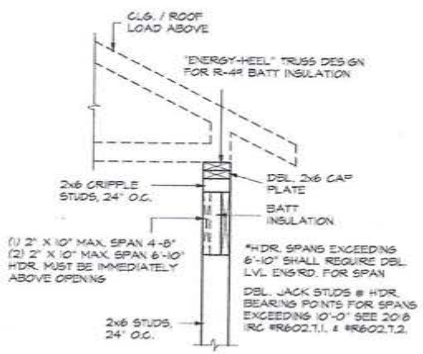
THE DESIGNER OFFERS NO WARRANTY AS TO THE SUITABILITY OF THE DESIGN FOR ANY BUILDING SITE, NOR FOR THE ACCURACY OF DIMENSIONS OR SQUARE FOOTAGE CALCULATIONS AS CONSTRUCTED. ALL STRUCTURAL SPAN & LOAD CAPACITIES OF ENGINEERED AND PRE-MFD. COMPONENTS IS EXCLUDED. THE PLANS ARE DIAGRAMMATIC ONLY AND ARE DESIGNED STRICTLY AS A GENERAL GUIDE TO CONSTRUCTION. THE DRAWING EXHIBITS DO NOT GUARANTEE THE STRUCTURAL INTERGRITY OF FRAMING METHODS USED ONSITE. THE USER IS RESPONSIBLE N TOTAL FOR ALL PHASES OF THE CONSTRUCTION PROJECT. LOCAL/REVISED BUILDING CODES AND AMENDMENTS SHALL SUPERCEDE.

Sam R. Ensor
RESIDENTIAL DRAFTING SERVICE
1381 Greenwell Drive, Knoxville, TN 37938
Telephone 865-216-3828

PLAN NO. 21-0501
PLAN: ELEVATION DRAWINGS
BY: S.R.E. DATE: 07/20/2021



NOTE:
ALL EXTERIOR WALLS ARE 2" X 6" @ 24" O.C. W/ R-19 BATT INSULATION



WINDOW & DOOR HEADERS

NO SCALE — 2018 IRC #R602.7.1 & 2

EGRESS WINDOWS:

BEDROOMS MUST HAVE (1) WINDOW RATED FOR EMERGENCY EGRESS WHICH PROVIDES A CLEAR OPENING OF 5.0 SQ. FT. (5.7 SQ. FT. @ SECOND FLOOR) & 44" MAX. SILL HGT. - MIN. NET CLEAR OPENING SHALL BE 20" WIDE - MIN. HGT. 24"

NOTE:

VERIFY EGRESS RATINGS W/ WINDOW MFR. SPECIFICATIONS - SOME 3050 WINDOWS DO NOT PROVIDE ADEQUATE OPENING AREA

NOTE:

WINDOWS LOCATED IN STAIRS, LANDINGS, BATHS & FOOT TRAFFIC AREAS WHERE THE SILL IS LESS THAN 18" FROM FINISHED FLOOR & WITH A SASH SIZE GREATER THAN 9.0 SQ.FT. SHALL REQUIRE USE OF TEMPERED GLASS

NOTE:

WINDOW & DOOR SIZES NOTED ON FLOOR PLANS ARE GENERIC & ARE TO BE READ AS FEET & INCHES WIDTH BY FEET & INCHES HGT. (EX. 3050 D/H = 3'-0" WIDE X 5'-0" HIGH - D/H = DOUBLE HUNG)

NOTE:

ALL MAIN FLOOR WINDOWS & DOORS SHALL BE ROUGHED IN @ 82-1/2" HEADER HEIGHT UNLESS NOTED OTHERWISE

B'LDG. VENTILATION:

EXHAUST AIR (2018 IRC #M1505.4.1)

115 V. BATH VENTS MUST BE 50-CFM MIN. - DUCTED DIRECT TO THE EXTERIOR BUILDING TOTAL MUST BE 60 CFM MIN.

SUPPLY AIR (2018 IRC #M1505.4.3)

HVAC SYSTEM MUST PROVIDE 60-CFM MIN. FRESH AIR INTAKE TO RETURN AIR PLENUM EQUAL TO CAPACITY OF BATH EXHAUST VENTING

DUCT LEAK TEST (2018 IRC #N1103.3.3)

MANDATORY PRESSURE TEST FOR AIR LEAKAGE W/ WRITTEN REPORT MADE

THERMAL ENVELOPE LEAK TEST

MANDATORY BLOWER DOOR LEAKAGE TEST (2018 IRC #N1102.4.1.1-2) MUST MUST NOT EXCEED 3 AIR CHANGES/HR. - WRITTEN REPORT MADE TO INSPECTORS

MANUFACTURER, TYPE, MODEL NO. & SIZE OF ALL MECHANICAL HVAC, KITCHEN & WATER HEATER MUST BE ENTERED ON THE DESCRIPTION OF MATERIALS LIST - THE LAST SHEET OF EACH BLUEPRINT SET.

WALL BRACING

ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS WOOD STRUCTURAL PANEL (7/16" O.S.B. OR 1/2" EXTERIOR PLYWOOD) SHEATHING (2018 IRC TABLE #R602.10.4) & FASTENED AS REQ'D. BY #R602.3(3)

MAIN FLOOR PLAN

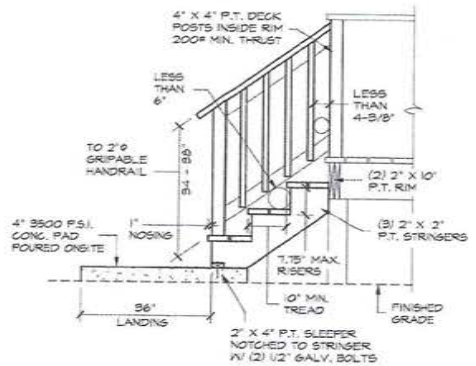
SCALE: 1/4" = 1'-0"

8'-1" FINISHED CEILING HEIGHT

1382 SQ. FT. MAIN FLOOR LIVING AREA
118 SQ. FT. COVERED FRONT PORCH AREA
96 SQ. FT. COVERED REAR PORCH AREA

NOTE:

AREA CALCULATIONS ARE MEASURED FROM OUTSIDE FRAMING LINES (EXCLUSIVE OF BRICK OR STUCCO VENEER) VERIFY ONSITE BY ACTUAL CONSTRUCTION DIMENSIONS



DECK STAIR DETAIL

NO SCALE — 2018 IRC #R311.7

FRAMING DIMENSIONS:

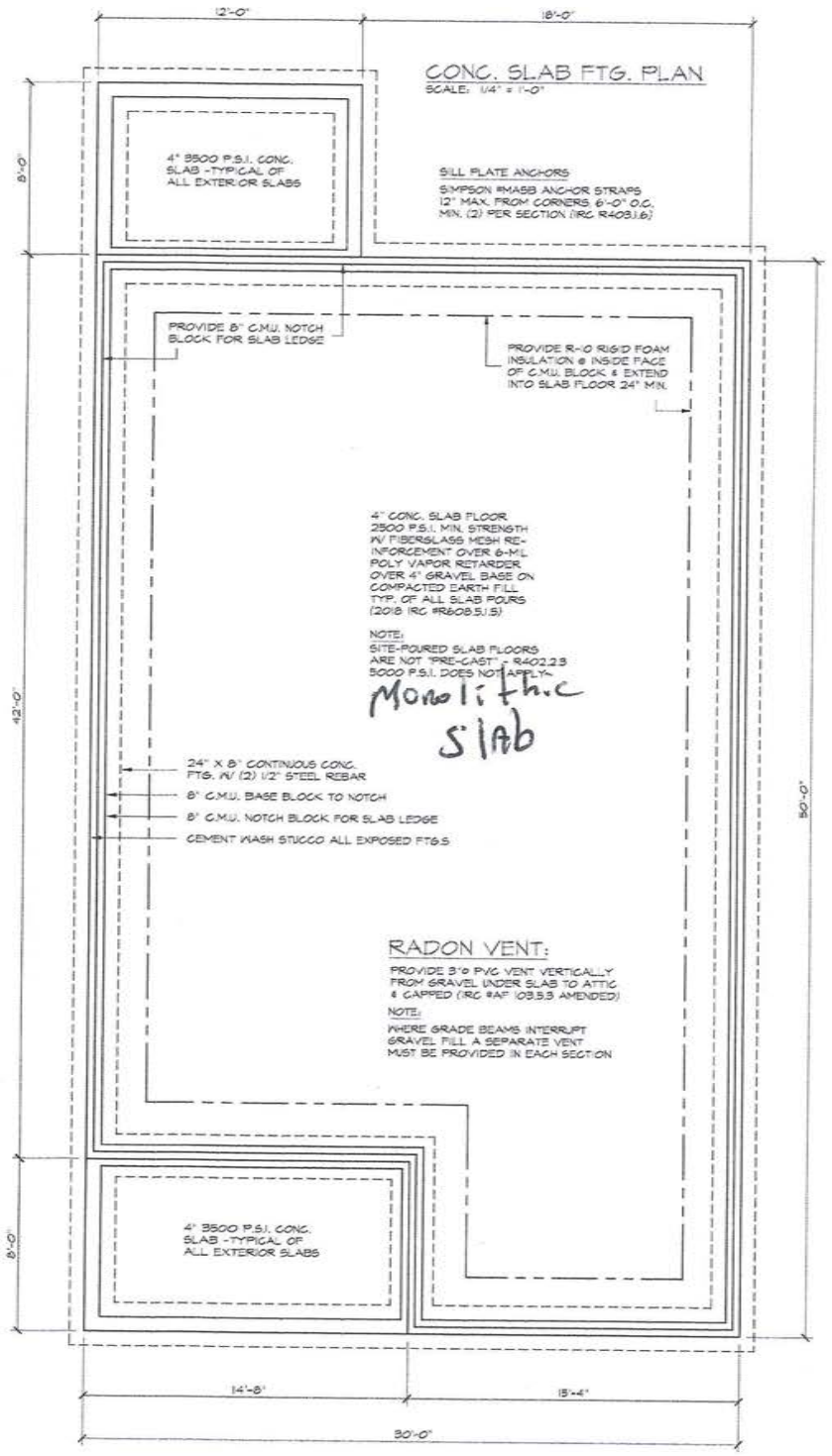
WALL & PARTITION FRAMING DIMENSIONS ARE MEASURED FROM OUTSIDE FRAMING LINE TO FACE OF INTERIOR STUDWALLS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER-LINES VERY CAREFULLY

NOTICE

Designed To 2018 IRC

Sam R. Ensor
RESIDENTIAL DRAFTING SERVICE
1311 Greenwell Drive, Knoxville, TN 37938
Telephone 865-216-3828

PLAN NO. 21-0501
PLAN: MAIN FLOOR PLAN
BY: S.R.E.
DATE: 07/20/2021



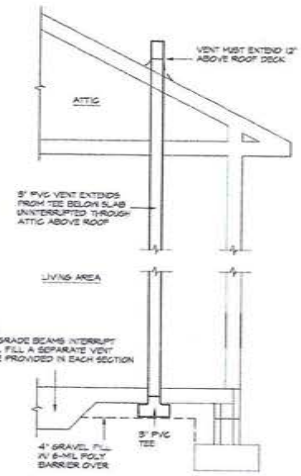
CONC. SLAB FTG. PLAN

SCALE: 1/4" = 1'-0"

PRE-M'FD. TRUSSES

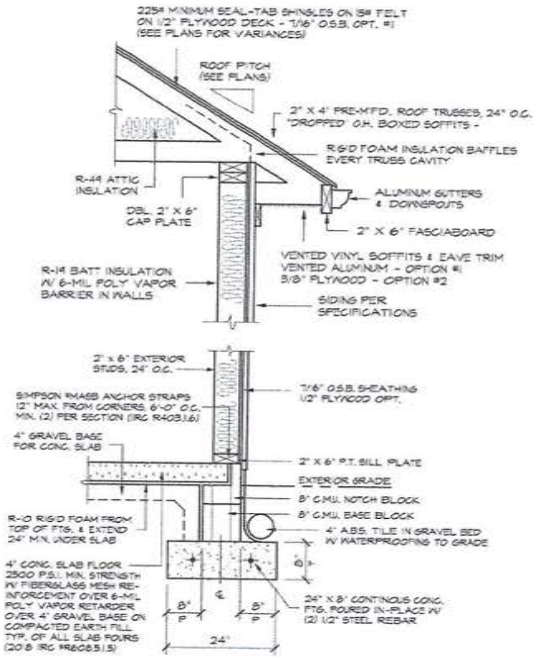
PRE-M'FD. TRUSS COMPONENTS SHALL BE DESIGNED AND FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS. THE MANUFACTURER SHALL MODIFY THE TRUSS SYSTEM AS NECESSARY.

ALL ENGINEERED TRUSS DOCUMENTS SHALL BE PROVIDED TO THE GENERAL CONTRACTOR AND SHALL BE ATTACHED TO THESE PLANS. THE M'FR'S SPECIFICATIONS SHALL SUPERCEDE THE GENERAL EXHIBITS INCLUDED IN THESE DRAWINGS.



RADON VENTING DETAILS

NO SCALE — 2018 IRC #AF 103.5.3



TYPICAL WALL SECTION

NO SCALE — 2018 IRC

PRE-M'FD. COMPONENTS

THE SIZE, SPAN & LOAD-BEARING CAPACITIES OF PRE-M'FD. STRUCTURAL COMPONENTS SHALL BE ENGINEERED BY THE MANUFACTURER OR AUTHORIZED SUPPLIER & FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS.

THE ENGINEERING SUPPLIER SHALL PROVIDE ALL NECESSARY INSTALLATION DOCUMENTS TO THE GENERAL CONTRACTOR & THESE DOCUMENTS SHALL BE ATTACHED TO THESE DRAWINGS.

FTG. DIMENSIONS

ALL FOUNDATION DIMENSIONS ARE MEASURED FROM OUTSIDE EDGE OF SILL PLATES TO FACE OF LOAD-BEARING WALLS, & TO ℄ OF GIRDERS, VENTS & OPENINGS UNLESS SHOWN OTHERWISE. OBSERVE DIMENSION LEADER - LINES CAREFULLY

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3

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