

**Meeting:** 8/16/2023  
**Project:** 406 W. Church Ave  
**Applicant:** Bill Vinson Community Tectonics Architects

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## Property Information

**Location:** 406 W. Church Ave. **Parcel ID** 94 L G 03001  
**Zoning:** DK (Downtown Knoxville)  
**Description:**

Ely Building, c.1903. Two-story, red brick masonry, rectangular structure which features a flat roof, a parapet wall, limestone coping, and a limestone cornice. One-story archway with marble voussoirs and a limestone cornice and accessible by pink marble steps.

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## Description of Work

Level I Minor Alteration of an Existing Building/Structure

Exterior rehabilitation to accommodate basement-level interior renovation. On the east elevation, the existing garage door will be removed and infilled with three adjoining double-hung, one-over-one windows. Also on the east elevation, the left side of the basement-level entry vestibule will receive a new aluminum-clad wood door, accessible by the existing stairs. Scope of work also includes new exhaust vents and basic repair/repointing to the exterior masonry.

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## Applicable Design Guidelines

Downtown Design Guidelines

B. Private Realm:

3a. Use complimentary materials and elements, especially next to historic buildings.

5b. Orient primary front entrances to the main street; secondary entrances should be clearly defined and oriented to streets or alleys, as appropriate.

5c. Design entrances according to the proportions of the building's height and width.

6b. Design entrances to residential buildings so that access is separated from the pedestrian flow on the sidewalk.

C. Historic Resources

3. Entrances

3b. Allow for multiple entries on the first floor of the building, giving access to commercial space which may be divided into bays.

3c. Provide access to upper stories through additional entries.

3d. Maintain original height and materials for doors that are consistent with the use of the building, such as residential, commercial, or banking purposes.

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#### 4. Windows

4c. Insert windows with the same pane configuration, materials and size as other buildings of the same general construction date, if no original windows are present.

4d. Maintain the relationship of solids to voids with new construction that is similar to other buildings in the district, including the typical width, height, spacing, and horizontal alignment of windows.

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### Comments

406 W. Church Ave is a contributing resource to the South Market National Register Historic District, so the Historic Resources section of the guidelines applies. Overall, the proposal meets the design guidelines as it incorporates a secondary entry to residential building separated from the sidewalk's pedestrian flow, using an existing stair access. The new door does not require the removal of any character-defining features.

Removal of the non-historic garage door and installation of new windows meets the design guidelines. This scope of work will be minimally visible from the street, fronting a pedestrian alley.

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### Recommendation

Staff recommends approval of Certificate 8-A-23-DT.



**8-A-23-DT**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Petitioner: **Bill Vinson Community  
Tectonics Architects**

**DOWNTOWN  
DESIGN  
REVIEW  
BOARD**

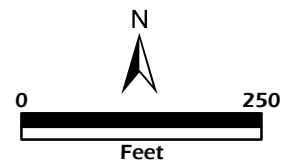


**406 W. Church Ave.**

**Level 1: Minor alteration of an existing  
building/structure**

Original Print Date: 8/7/2023  
Knoxville/Knox County Planning · Downtown Design Review Board

Revised:





# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Bill Vinson

Applicant

07-17-2023

08-16-2023

8-A-23-DT

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Bill Vinson

Community Tectonics Architects

Name

Company

7610 Gleason Drive, Suite 303

Knoxville

TN

37919

Address

City

State

Zip

8656370890

bvinson@communitytectonics.com

Phone

Email

## CURRENT PROPERTY INFO

Kristy S. Wu

5923 Kingston Pike, #301 Knoxville, TN 37919

626-780-1985

Owner Name (if different from applicant)

Owner Address

Owner Phone

406 W. Church Avenue, Knoxville TN 37902

094LG-030.01

Property Address

Parcel ID

Neighborhood

Zoning

## AUTHORIZATION

*Lindsay Crockett*  
Staff Signature

Lindsay Crockett

7.25.23

Please Print

Date

*[Signature]*  
Applicant Signature

Bill Vinson

07-17-2023

Please Print

Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

*See required Downtown Design attachment for more details.*

- Brief description of work: **Finishing existing basement (interior) Existing Garage door to be removed, adding new windows on its place that match existing windows.**

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

*See required Historic Zoning attachment for more details.*

- Brief description of work:

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

*See required Infill Housing attachment for more details.*

- Brief description of work:

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

**FEE 1:**

50.00

**FEE 2:**

**FEE 3:**

**TOTAL:**

50.00

# 406 WEST CHURCH AVE.

## BUILDING RENOVATIONS

### KNOXVILLE, TENNESSEE

#### CONSTRUCTION DOCUMENTS

VICINITY MAP:



**COMMUNITY TECTONICS ARCHITECTS**

Architecture - Planning - Interior Design

7610 Gleason Road  
Knoxville, Tennessee 37919  
www.communitytectonics.com

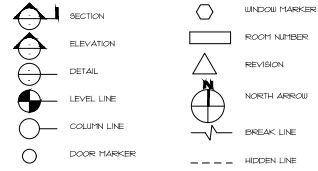
406 WEST CHURCH AVE  
RENOVATIONS

CONSTRUCTION DOCUMENTS  
TITLE SHEET

|                    |             |      |
|--------------------|-------------|------|
| DESIGN:            | UCV         |      |
| PROJECT ARCHITECT: | UCV         |      |
| PROJECT DIRECTOR:  | UCV         |      |
| DATE:              | 2024        |      |
| DATE:              | 09-17-2023  |      |
| REVISIONS          |             |      |
| NO.                | DESCRIPTION | DATE |
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**G000**

REFERENCE SYMBOLS



BUILDING CODE (CITY OF KNOXVILLE)

APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE  
 2018 INTERNATIONAL RESIDENTIAL CODE  
 2018 INTERNATIONAL EXISTING BUILDING CODE  
 2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS  
 2018 INTERNATIONAL ENERGY CONSERVATION CODE  
 2018 INTERNATIONAL PLUMBING CODE  
 2018 INTERNATIONAL MECHANICAL CODE  
 2018 INTERNATIONAL FUEL GAS CODE  
 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE  
 2012 INTERNATIONAL GREEN CONSTRUCTION CODE  
 2009 ICC 705 AIR/ATM ACCESSIBILITY CODE  
 2017 NATIONAL ELECTRICAL CODE WITH LOCAL AMENDMENTS  
 KNOXVILLE CODE OF ORDINANCES, CHAPTER 6 BUILDINGS AND BUILDING REGULATIONS, ARTICLE I, SECTION 6-5, FIRE DISTRICT  
 TENNESSEE PUBLIC BUILDING ACCESSIBILITY ACT - 2010 ADA

SPECIFIC BUILDING INFORMATION

LOCATION: 406 WEST CHURCH AVE, KNOXVILLE TN, 37902

JURISDICTION: STATE OF TENNESSEE AND CITY OF KNOXVILLE

OCCUPANCY: GROUP "R-2" - RESIDENTIAL

CONSTRUCTION TYPE: TYPE II-B, UNPROTECTED, SPRINKLERED (2018 IBC 703)

ALLOWED BLDG. HEIGHT: (2018 IBC 704.3) 60'-0"

ACTUAL BLDG. HEIGHT: 35' 0" FROM STREET LEVEL

ACTUAL NO. OF STORES: 2 + BASEMENT

ALLOWED AREA INCREASE: NONE REQUIRED

ACTUAL BUILDING AREA: BASEMENT = 1799 SF, EXISTING  
 FIRST FLOOR = 1728 SF, EXISTING  
 SECOND FLOOR = 1688 SF, EXISTING  
 TOTAL BUILDING = 5,215 SF EXISTING

SEPARATION BETWEEN UNITS: NFPA 30 3.5.2.1 HOURS IF SPRINKLERED, OTHERWISE 1 HOUR, 20 MINUTE DOORS

DRAWING INDEX

|  |  |
|--|--|
| <u>TITLE</u>   | <u>PLUMBING</u>                          |
| G000 TITLE SHEET   | PO.1 PLUMBING - NOTES, LEGENDS & DETAILS |
| <u>ARCHITECTURAL</u>   | PL.1 SANITARY - GROUND LEVEL             |
| G101 LIFE SAFETY PLAN GROUND FLOOR                             | P2.1 DOMESTIC WATER & GAS - GROUND LEVEL |
| A001 ROOF FINISH & APPLIANCE SCHEDULE                          | <u>MECHANICAL</u>                        |
| A002 SCHEDULES, FRAMES, ELEVATIONS & DETAILS                   | MO.1 HVAC - NOTE, LEGENDS & SPECS.       |
| A003 OUTLINE SPECIFICATIONS                                    | MI.1 HVAC - GROUND & ROOF PLAN           |
| A004 OUTLINE SPECIFICATIONS                                    |  |
| A005 OUTLINE SPECIFICATIONS                                    |  |
| A006 OUTLINE SPECIFICATIONS                                    |  |
| A101 EXISTING/PROPOSED GROUND AND 1ST FLOOR PLANS              |  |
| A102 EXISTING/PROPOSED SECOND AND ROOF DECK PLANS              |  |
| A103 PROPOSED GROUND AND 1ST FLOOR PLANS                       |  |
| A104 PROPOSED SECOND AND ROOF DECK PLANS                       |  |
| A201 EXISTING/PROPOSED BUILDING ELEVATIONS                     |  |
| A202 PROPOSED BUILDING ELEVATIONS                              |  |
| A203 PROPOSED BUILDING SECTIONS                                |  |
| A401 REFLECTED CEILING PLAN - GROUND AND FIRST FLOOR PLANS     |  |
| A402 REFLECTED CEILING PLAN - SECOND AND ROOF DECK FLOOR PLANS |  |
| A601 MILLWORK, INTERIOR ELEVATIONS & DETAILS                   |  |
| <u>FIRE PROTECTION</u>   |  |
| FO.1 FIRE PROTECTION - NOTE, LEGENDS & SPECS.                  |  |
| FL.1 BASEMENT FIRE PROTECTION PLAN                             |  |
| FL.2 FIRST & SECOND FLOOR FIRE PROTECTION PLAN                 |  |
| FL.3 ROOF DECK FIRE PROTECTION PLAN                            |  |
| <u>ELECTRICAL</u>  |  |
| EO.1 ELECTRICAL - GENERAL NOTES & LEGENDS                      |  |
| EO.2 ELECTRICAL - SPECS.                                       |  |
| EI.1 LIGHTING & COMMUNICATION - GROUND LEVEL PLAN              |  |
| EL.2 POWER & HVAC POWER PLAN - GROUND LEVEL PLAN               |  |
| EL.3 HVAC POWER - ROOF & ROOF DECK PLAN                        |  |

DESIGN TEAM

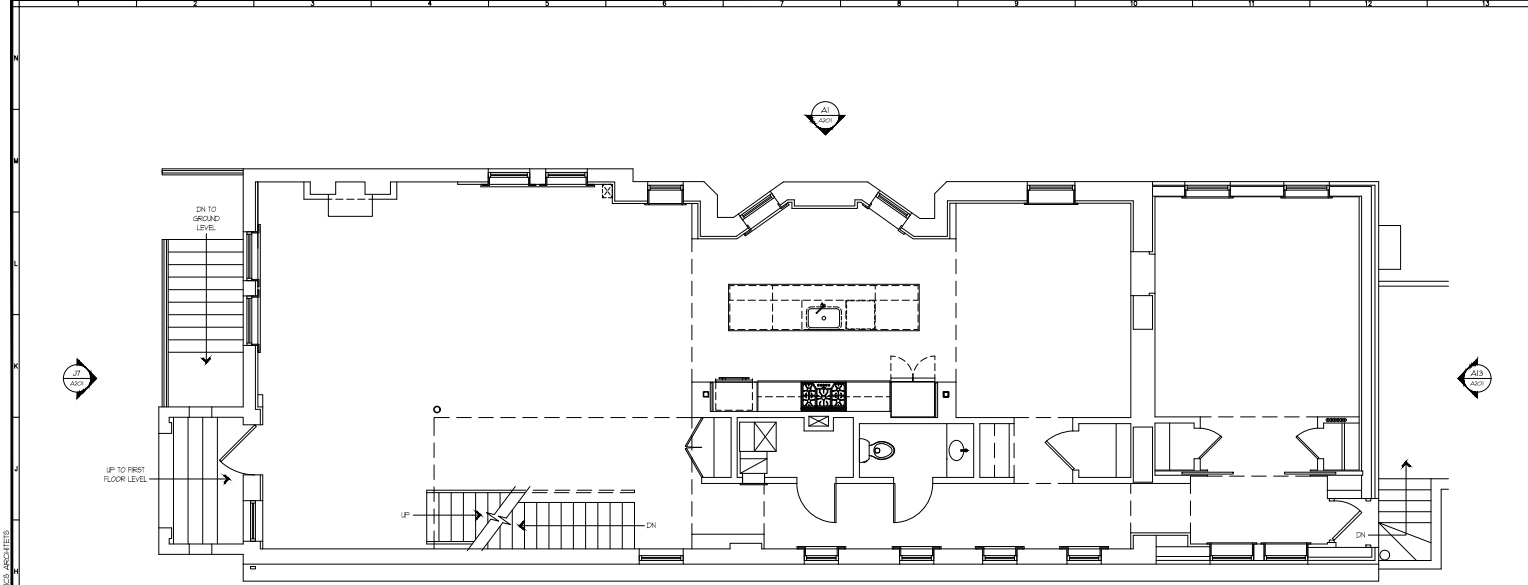
ARCHITECTS, PLANNERS, INTERIOR DESIGNERS  
**COMMUNITY TECTONICS ARCHITECTS**  
 KNOXVILLE, TENNESSEE

STRUCTURAL ENGINEER  
**BENDER & ASSOCIATES**  
 KNOXVILLE, TENNESSEE

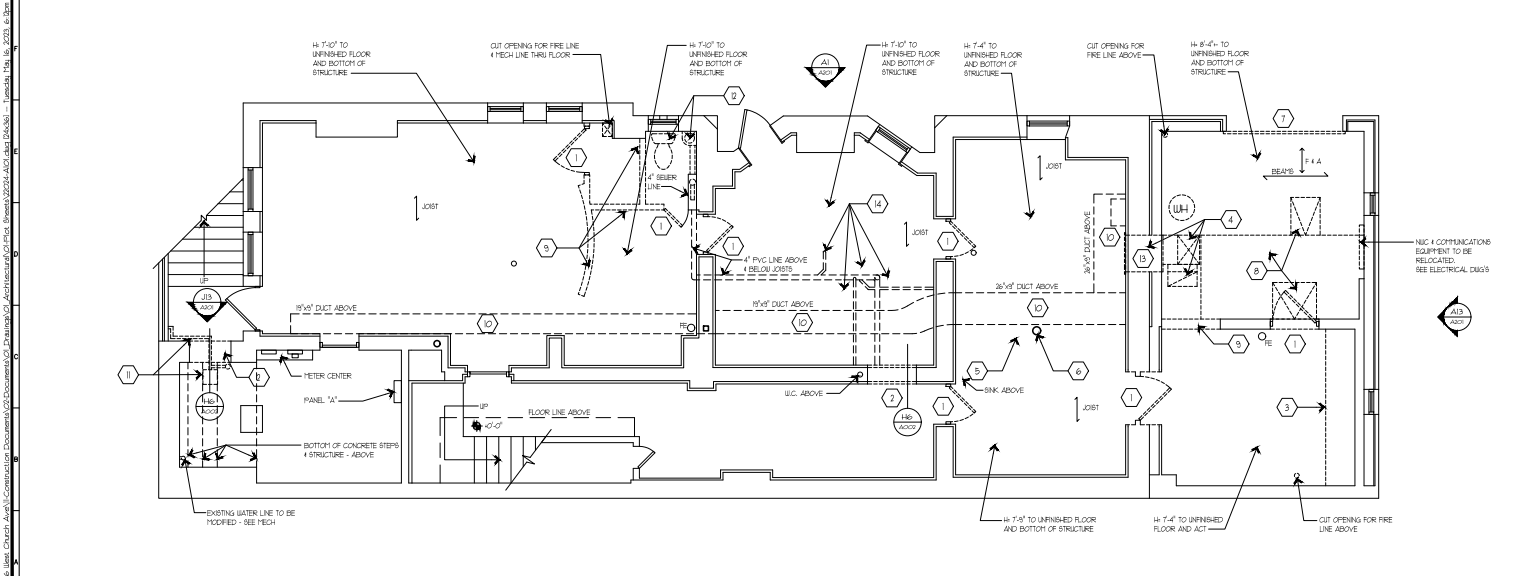
MECHANICAL & ELECTRICAL ENGINEER  
**FACILITY SYSTEMS CONSULTANTS, LLC**  
 KNOXVILLE, TENNESSEE

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GI EXISTING/DEMO FIRST FLOOR  
ASG 1/4" = 1'-0"



AI EXISTING/DEMO PLAN GROUND FLOOR  
ASG 1/4" = 1'-0"

**WALL LEGEND:**

|  |  |
|--|--|
|  | EXISTING 6" CMU WALL OVER 1 1/2" INSULATION BARRIER + 4" EXTERIOR BRICK VENEER |
|  | EXISTING MASONRY WALL OVER 4" GYP BOI. LAYER                                   |

**DEMO KEY NOTES IN THIS DRAWING:**

- ① EXISTING DOOR AND FRAME TO BE REMOVED
- ② EXISTING MASONRY WALL TO BE REMOVED TO ALLOW FOR NEW DOOR
- ③ EXISTING SHELVING TO BE REMOVED
- ④ EXISTING MECHANICAL DUCT, PIPING, & EQUIPMENT TO BE REMOVED
- ⑤ EXISTING 5/8" WOOD BEAM TO REMAIN
- ⑥ EXISTING STEEL COLUMN TO REMAIN
- ⑦ EXISTING GARAGE DOOR TO BE REMOVED
- ⑧ EXISTING 8x8" PLANTING ON CONCRETE FLOOR TO BE REMOVED FROM ROOF
- ⑨ EXISTING PORTION OF WALL TO BE REMOVED
- ⑩ EXISTING DUCTWORK TO BE REMOVED
- ⑪ EXISTING GAS METER & LINE TO BE RELOCATED - SEE MECH
- ⑫ EXISTING SINK, I.C. & PIPING TO BE REMOVED
- ⑬ EXISTING PIPING LINE TO BE REMOVED AND REWORKED - SEE MECH
- ⑭ EXISTING PIPING LINE TO BE REMOVED & REWORKED - SEE MECH

13/2024, 406 West Church Ave Construction Documents/2024/406 West Church Ave Construction Documents/2024/406 West Church Ave Construction Documents/2024/406 West Church Ave Construction Documents

COMMUNITY TECTONICS ARCHITECTS  
Architecture - Planning - Interior Design

ARCHITECTS

406 WEST CHURCH AVE  
RENOVATIONS

KNOWLEDGE IN  
CONSTRUCTION DOCUMENTS

EXISTING/DEMO GROUND & FIRST FLOOR

7610 Gleason Road  
Knoxville, Tennessee 37919  
phone: 865.329.4694  
www.communitytectonics.com

PROJECT ARCHITECT: UCY

PROJECT DIRECTOR: UCY

JOB# 22024

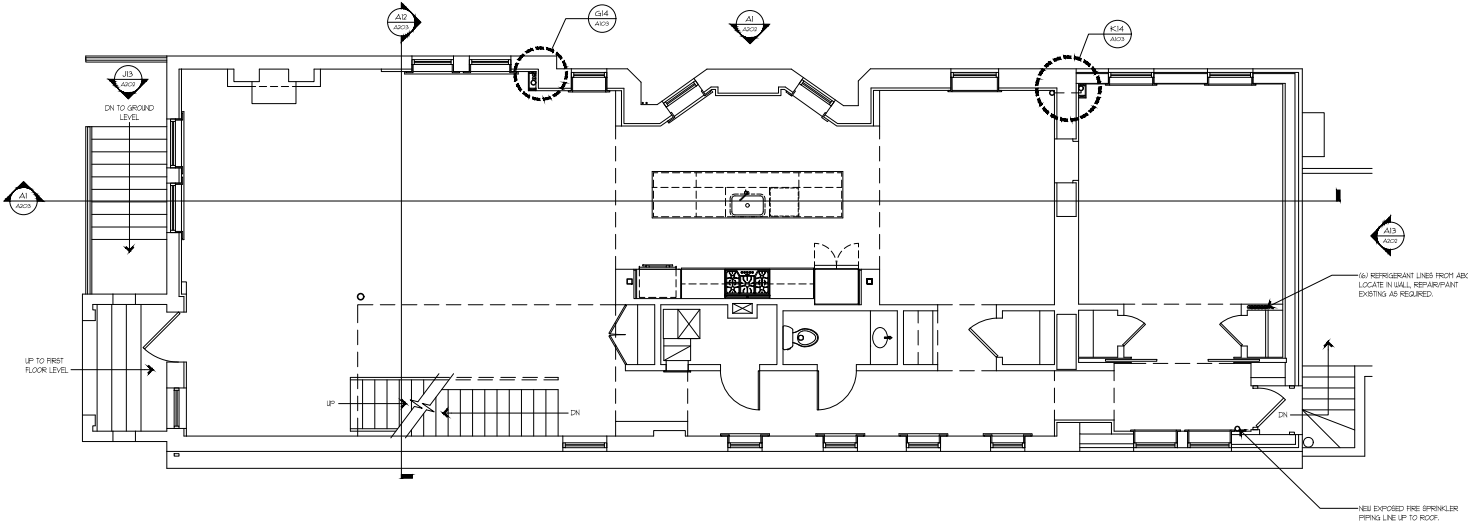
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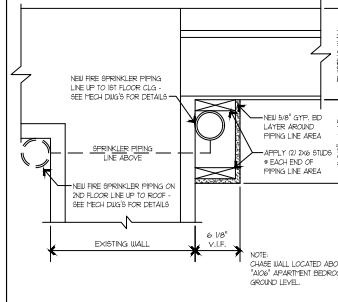
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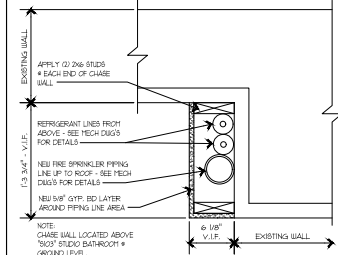
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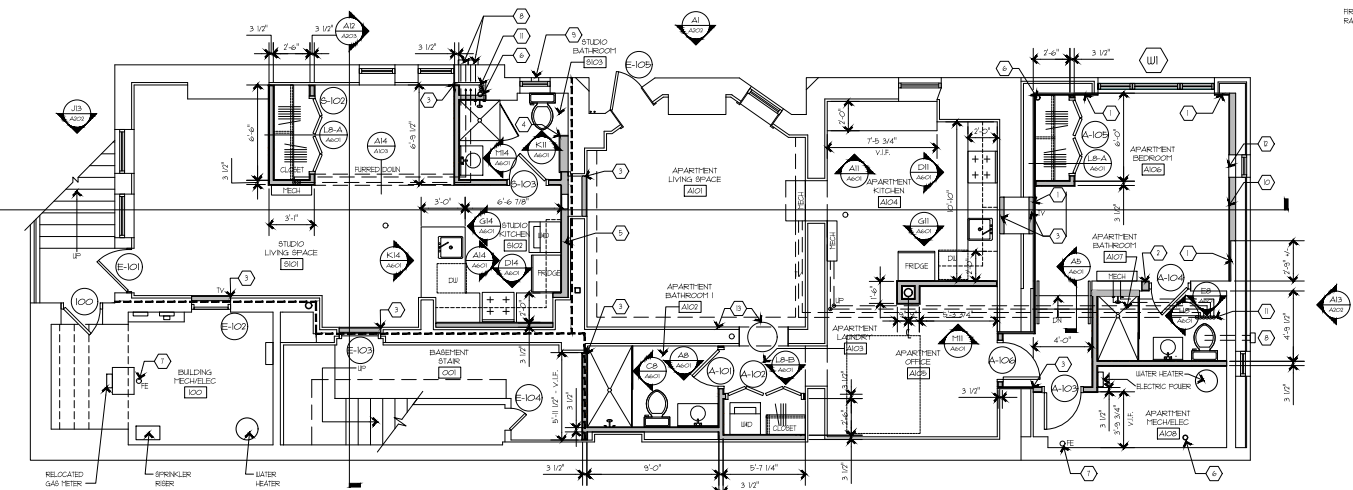
G1 PROPOSED FIRST FLOOR PLAN  
A103 1/4" = 1'-0"



K14 CHASE WALL DETAIL # 1ST FLOOR  
A103 1/4" = 1'-0"



G14 CHASE WALL DETAIL # 1ST FLOOR  
A103 1/4" = 1'-0"



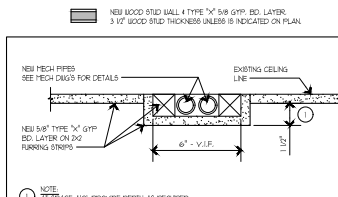
A1 PROPOSED GROUND FLOOR PLAN  
A103 1/4" = 1'-0"

GENERAL NOTE:  
FIRE CALL K-ALL PENETRATIONS THROUGH  
RATED WALL & CEILING

NOTES IN THIS DRAWING

- 1 5/8" GYP. BD. ON D/G FURRING STRIPS.
- 2 WHERE NEW WALL ABUTS EXISTING WALL MATCH EXISTING WALL THICKNESS, VERIFY DIMENSIONS IN FIELD.
- 3 SET WALL SO THAT FINISH WALL WILL FLUSH WITH EXISTING WALL FINISH.
- 4 5/8" GYP. BD. ON FURRING STRIPS AS NEEDED TO COVER EXISTING PVC PIPES, VERIFY DIMENSIONS IN FIELD.
- 5 6" STD WALL TO COVER 4" PIPELINE & SEWER.
- 6 NEW FIRE SPRINKLER PIPING LINE UP TO ROOF.
- 7 EXISTING FIRE EXTINGUISHER TO BE RELOCATED.
- 8 NEW EXHAUST VENT - SEE MECH DWG'S.
- 9 CAP EXISTING VENT OVER UNDOG - PAINT TO MATCH.
- 10 5/8" GYP. BD. ON WOOD STUDS, VERIFY STUD SIZE TO ALIGN WITH GYP. BD. ON FURRING STRIPS.
- 11 REFRIGERANT LINES FROM ABOVE - SEE MECH DWG'S.
- 12 5/8" PLYABLE SILL.
- 13 PATCH PLASTER BACK AT HEAD & JAMB TO MATCH EXISTING.

WALL LEGEND



NOTE:  
AT BRACE A101 PROVIDE DEPTH AS REQUIRED.



**COMMUNITY ELECTONICS ARCHITECTS**  
Architecture - Planning - Interior Design  
7610 Olsson Road  
Knoxville, Tennessee 37919  
www.communityelectonics.com

**406 WEST CHURCH AVE  
RENOVATIONS**  
KNOXVILLE, TENNESSEE  
**CONSTRUCTION DOCUMENTS**  
PROPOSED GROUND AND FIRST FLOOR

CREATOR: BCY  
PROJECT ARCHITECT: BCY  
PROJECT DIRECTOR: BCY  
JOB#: 20074  
DATE: 09-17-2023

| NO. | REVISIONS | DATE |
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**A103**

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J7 PARTIAL EXISTING/DEMO NORTH ELEVATION  
ASIS 1/4" = 1'-0"

J8 PARTIAL EXISTING/DEMO EAST ELEVATION  
ASIS 1/4" = 1'-0"

A1 EXISTING EAST ELEVATION  
ASIS 1/4" = 1'-0"

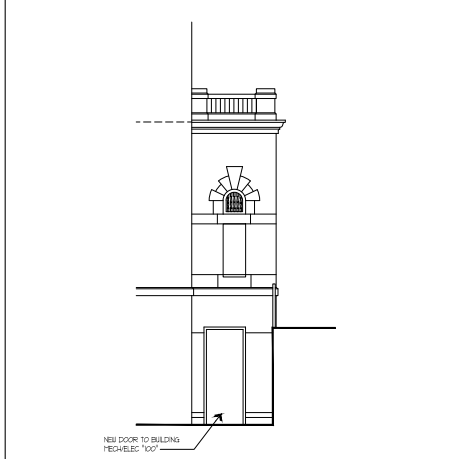
A13 EXISTING SOUTH ELEVATION  
ASIS 1/4" = 1'-0"

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| PROJECT ARCHITECT: | UCV         |      |
| PROJECT DIRECTOR:  | UCV         |      |
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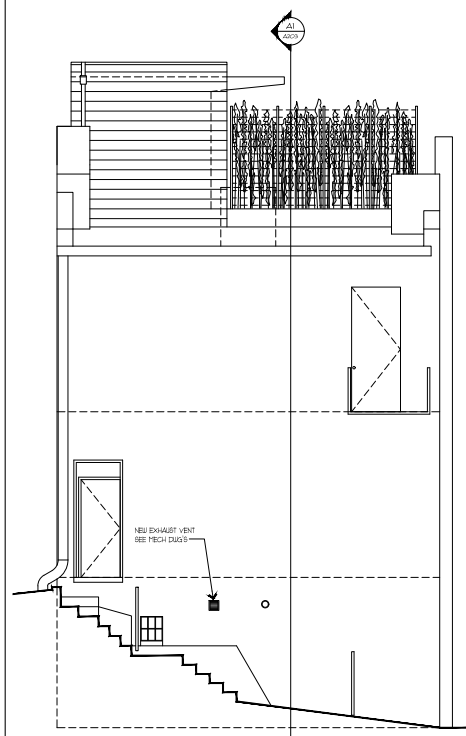
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A1 PROPOSED EAST ELEVATION  
 2023 1/4" = 1'-0"



J3 PARTIAL PROPOSED EAST ELEVATION  
 2023 1/4" = 1'-0"



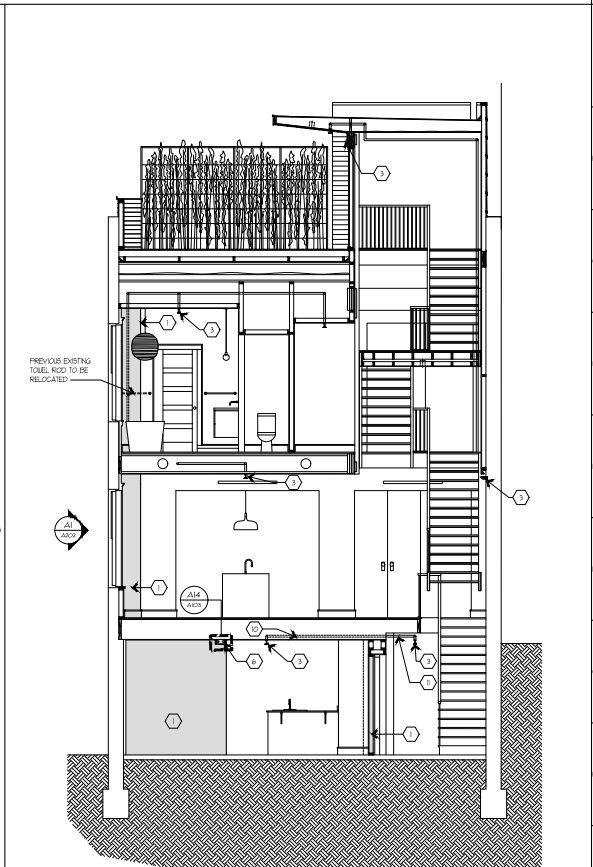
A13 PROPOSED SOUTH ELEVATION  
 2023 1/4" = 1'-0"

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3/22/24, 406 West Church Ave./Construction Documents/Drawings/Architectural/406 West Church Ave./Construction Documents/Drawings/Architectural



A1 BUILDING SECTION  
 A203 1/8" = 1'-0"



A2 BUILDING SECTION  
 A203 1/8" = 1'-0"

**KEY NOTES IN THIS DRAWING:**

- NEW WALL - SEE FLOOR PLANS FOR DETAILS
- NEW MECH. UNIT - SEE MECH. DUGS FOR DETAILS
- NEW SPRINKLER UNIT - SEE MECH. DUGS FOR DETAILS
- NEW DOOR - SEE ADD. - DOOR SCHEDULE FOR DETAILS
- NEW WINDOW - SEE ADD. FOR DETAILS
- NEW FRANKED MECH. DUCT - SEE MECH. DUGS FOR DETAILS
- NEW CHASE WALL LINE - SEE FLOOR PLANS AND MECH. DUGS
- PATCHED AREA - MATCH FINISH + FINISH UPON EXISTING WALL
- NEW CEILING CONSTRUCTION FOR APARTMENT BEDROOM "ADD"
- SECTION OF PIPE LINE BETWEEN JOISTS
- SPRINKLER LINE + HEAD EXPOSED

**GENERAL NOTES IN THIS DRAWING:**

1. ALL DIMENSIONS SHOULD BE VERIFIED PRIOR WORK OF THIS CONTRACT.
2. ROOM FINISHES AS WELL FOR FLOOR FINISHES ON GROUND FLOOR LEVEL ARE NOTED IN ROOM FINISH SCHEDULE. SEE ADD. FOR DETAILS.

|                    |             |      |
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