



Staff Report

Infill Housing Design Review Committee

File Number: 4-C-23-IH

Meeting: 4/19/2023
Applicant: Josh Braden
Owner: Josh Braden

Property Information

Location: 0 Chickamauga Ave. **Parcel ID** 81 B K 01101
Zoning: RN-2 (Single-Family Residential Neighborhood)
District: Oakwood/Lincoln Park Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary residence fronting Chickamauga Avenue. One-and-one-half-story, cross-gable roof residence measuring 28' wide by 62' long, with a smaller front-gable roof massing projecting from the left half of the façade, adjacent to a recessed corner porch on the right. The house is proposed to be set 21' from the front property line. Parking is located behind the house and accessed from the alley, with an 18' by 64' concrete driveway.

The house features a 7/12 pitch on the primary side gable, with a 10/12 pitch on the centrally-located front gable; the roof will be clad in asphalt shingles. The exterior will be clad in fiber cement lap siding. Windows are 1/1 double-hung (no material specified) with 1 by 6 trim boards. The façade (north) features an 8' deep, recessed corner porch. A centrally located door is flanked by two bays of paired 1/1 double-hung windows.

The right side elevation features three different sizes of windows, including one double-hung window on the second-story gable field. The left elevation features three double-hung windows, including one in the upper gable field, and two small fixed windows. A screened-in porch is located on the rear corner of the property.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- When several infill houses, porches and the habitable portion of each house should be about the same distance from the street as the original houses.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. House Orientation and Side Yards

- New housing should be proportional to the dimensions of the lot and other houses on the block.

- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations.
- On streets without alleys, garages or parking pads should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- Alley oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to the other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- If extensions or bays were typically part of the neighborhood's historic house design, such elements should be incorporated into infill housing.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12' toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development.

6. Windows and Doors

- When constructing new houses, the windows and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Infill neighborhoods.

8. Siding Materials

- Clapboard-like materials should be used in constructing new housing where painted wood siding was traditionally used.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.
-

Comments

1. The house is proposed to be set 21' from the front property line at the closest point. The block has an irregular front yard pattern, with houses on the east side of the block set further from the street and moving closer as the block moves west. The average front setback of the block is 28' with the adjacent houses set 38' and 36' from the front property line. The front setback should move towards the rear of the property to align with the two surrounding houses. The final site plan should include a walkway from the front door to the street.
 2. The block to receive new construction is characterized by one- and 1.5-story Minimal Traditionals and infill construction. The 1.5-story, three-bay residence is proportional to the dimensions of the lot and the side yard setbacks are consistent with the block.
 3. The proposed parking meets Infill Housing guidelines as the parking pad is accessed from the alley and located to the rear. The final site plan may need minor modifications to meet City Engineering standards. The final site plan should adhere to the base zoning requirements, including impervious surface limits.
 4. Overall, the 1.5-story, three-bay façade is similar in scale to the context. The foundation height indicated on elevation drawings is consistent with the historic context.
 5. The site plan includes an 8' deep front porch, recessed into the primary façade. The porch is compatible with the design of the house and the surrounding block. 8 by 8 posts may be more proportional to the façade, and final drawings may require a guardrail around the porch.
 6. Guidelines recommend window and door styles be similar, with similar proportions and ratio of solid to void, to historic houses on the block. Overall, the design includes a significant amount of windows on the façade and side elevations. The Board may choose to discuss the two fixed small windows closest to the street on the right side elevation.
 7. The roof pitch and material are appropriate within the guidelines.
 8. The final siding selection should be a smooth-finished, lap siding with a 4-5" exposure, compatible with the neighborhood context.
 9. Final site plan should show a new native or naturalized shade tree to be planted in the front and rear yards.
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Recommendation

Staff recommends approval of Certificate 4-C-23-IH, subject to the following conditions: 1) revision to front setback to align with adjacent houses; 2) porch columns to be increased to 8 by 8; 3) final site plan to meet City Engineering standards; 4) final site plan to include native or naturalized shade trees to be planted in front and rear yards.



**INFILL
HOUSING
REVIEW
BOARD**

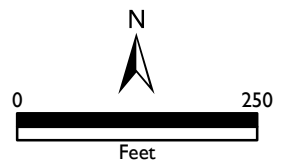
**4-C-23-IH
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**



0 Chickamauga Ave.
Oakwood/Lincoln Park Infill Housing Overlay
District

Original Print Date: 4/3/2023
Revised:
Knoxville/Knox County Planning - Infill Housing Design Review Committee

Applicant: Josh Braden



[Reset Form](#)



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Josh Braden

Applicant

03/24/23

April 19, 2023

4-C-23-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Josh Braden

Braden Family Properties, LLC.

Name

Company

303 Bob Smith Lane

Knoxville

TN

37924

Address

City

State

Zip

865.696.7343

joshuabradens4@gmail.com

Phone

Email

CURRENT PROPERTY INFO

Same

Owner Name (if different from applicant)

Owner Address

Owner Phone

0 Chickamauga Avenue

081BK01101

Property Address

Parcel ID

Linwood Second Add

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

3.29.23

Staff Signature

Please Print

Date

Josh Braden

Josh Braden

03/24/23

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

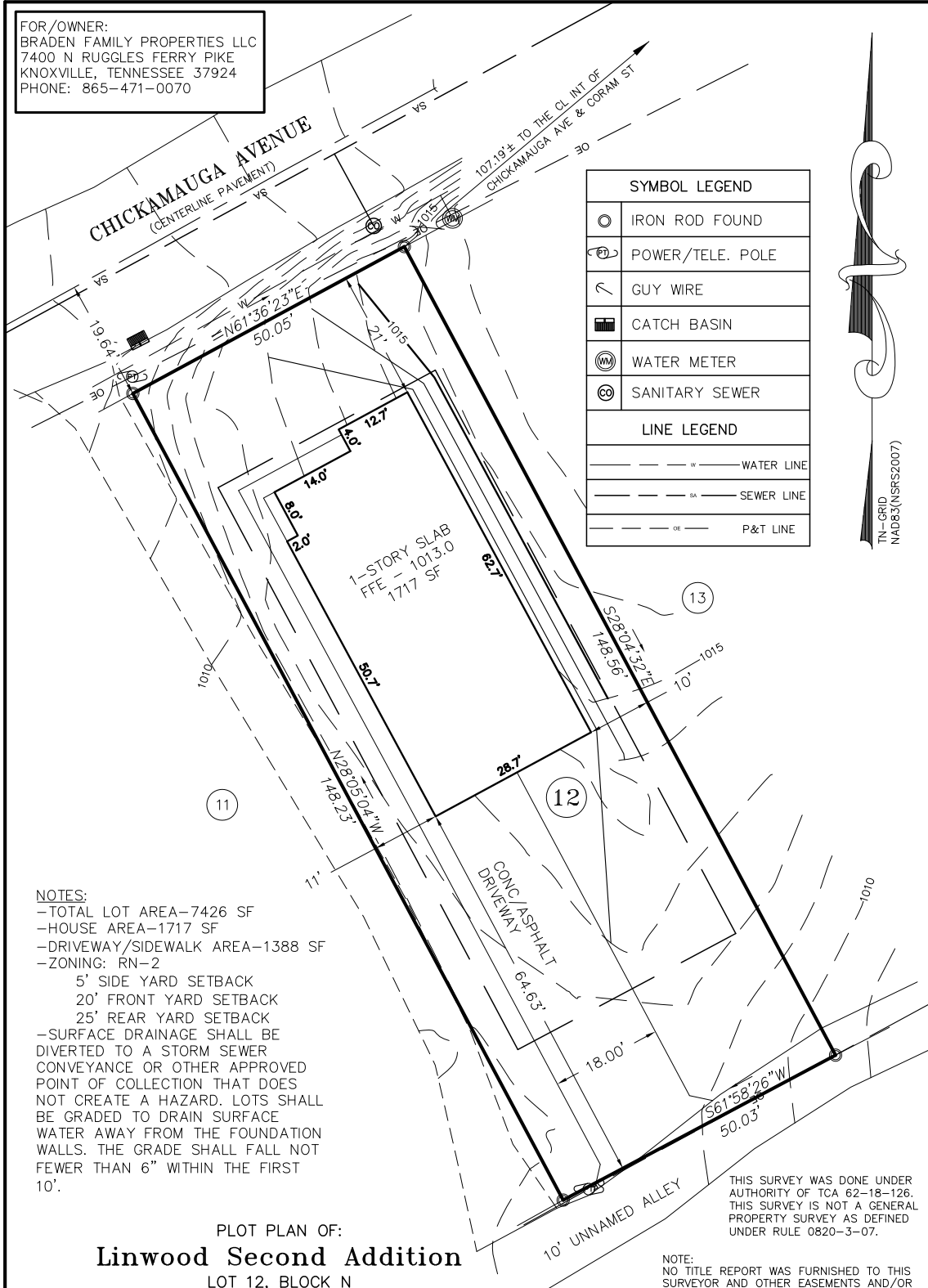
FEE 1:

FEE 2:

FEE 3:

TOTAL:

FOR/OWNER:
BRADEN FAMILY PROPERTIES LLC
7400 N RUGGLES FERRY PIKE
KNOXVILLE, TENNESSEE 37924
PHONE: 865-471-0070



SYMBOL LEGEND	
	IRON ROD FOUND
	POWER/TELE. POLE
	GUY WIRE
	CATCH BASIN
	WATER METER
	SANITARY SEWER
LINE LEGEND	
	WATER LINE
	SEWER LINE
	P&T LINE

NOTES:
-TOTAL LOT AREA-7426 SF
-HOUSE AREA-1717 SF
-DRIVEWAY/SIDEWALK AREA-1388 SF
-ZONING: RN-2
5' SIDE YARD SETBACK
20' FRONT YARD SETBACK
25' REAR YARD SETBACK
-SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6" WITHIN THE FIRST 10'.

THIS SURVEY WAS DONE UNDER AUTHORITY OF TCA 62-18-126. THIS SURVEY IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-07.

NOTE:
NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR AND OTHER EASEMENTS AND/OR EXCEPTIONS NOT APPARENT IN THE FIELD MAY OR MAY NOT EXIST AND MAY BE REVEALED BY A TITLE SEARCH BY A TITLE ATTORNEY.

PLOT PLAN OF:
Linwood Second Addition
LOT 12, BLOCK N
Chickamauga Avenue
Knoxville, Tennessee 37917

Ward <u>18</u>	City <u>KNOXVILLE</u>
District <u>2</u>	County <u>KNOX</u>
Plat Cab: <u>A</u>	Slide <u>238D</u>
Deed Book <u>202303240051757</u>	Page <u>-</u>
CLT # <u>081 B "K"</u>	Parcel <u>011.01</u>
Scale <u>1"=20'</u>	Date <u>04/04/2023</u>
Drawn By <u>C. VITKUS</u>	City Block <u>18622</u>
Project # <u>4766</u>	

LYNCH SURVEYS LLC

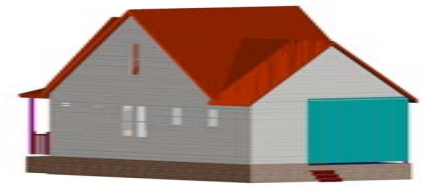
SUBDIVISIONS | AS-BUILTS | SITE DESIGN
4405 COSTER RD. KNOXVILLE, TENN. 37912
865-584-2630 FAX 865-584-2801 WWW.LYNCHSURVEY.COM





New One Story Single Family Residence

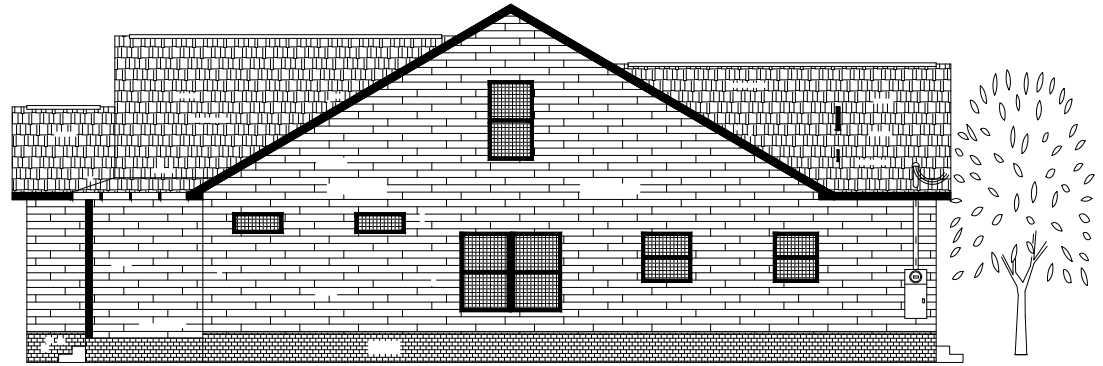
*Brought to you by
Braidon Family Property LLC*





Front Elevation

Scale: $\frac{1}{4}'' = 1'-0''$



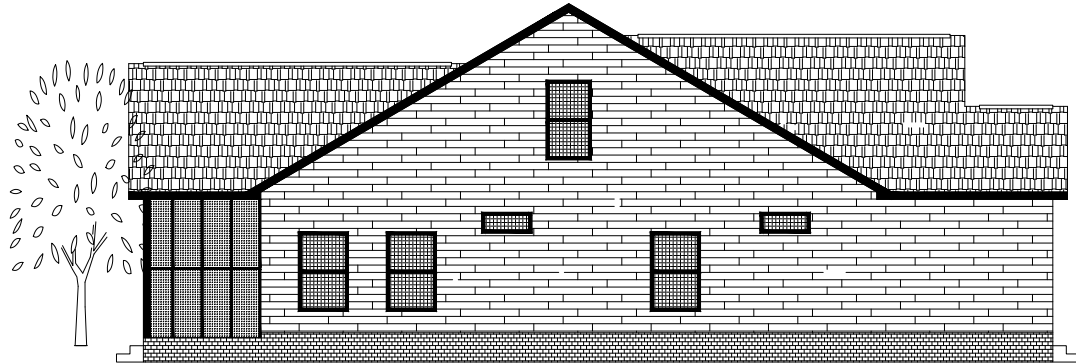
Right Side Elevation

Scale: $\frac{1}{4}'' = 1'-0''$



Rear Elevation

Scale: $\frac{1}{4}'' = 1'-0''$



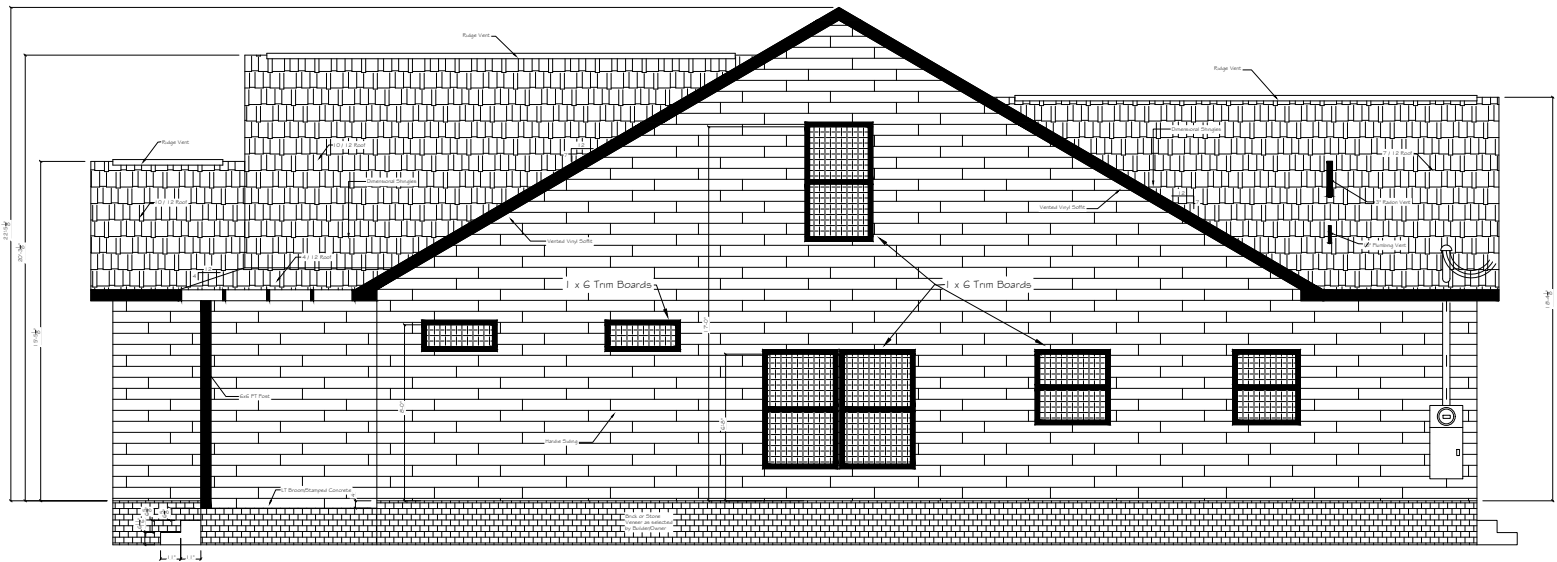
Left Side Elevation

Scale: $\frac{1}{4}'' = 1'-0''$



Front Elevation

Scale: $\frac{3}{8}$ " = 1'-0"



Right Side Elevation

Scale: $\frac{3}{8}$ " = 1'-0"

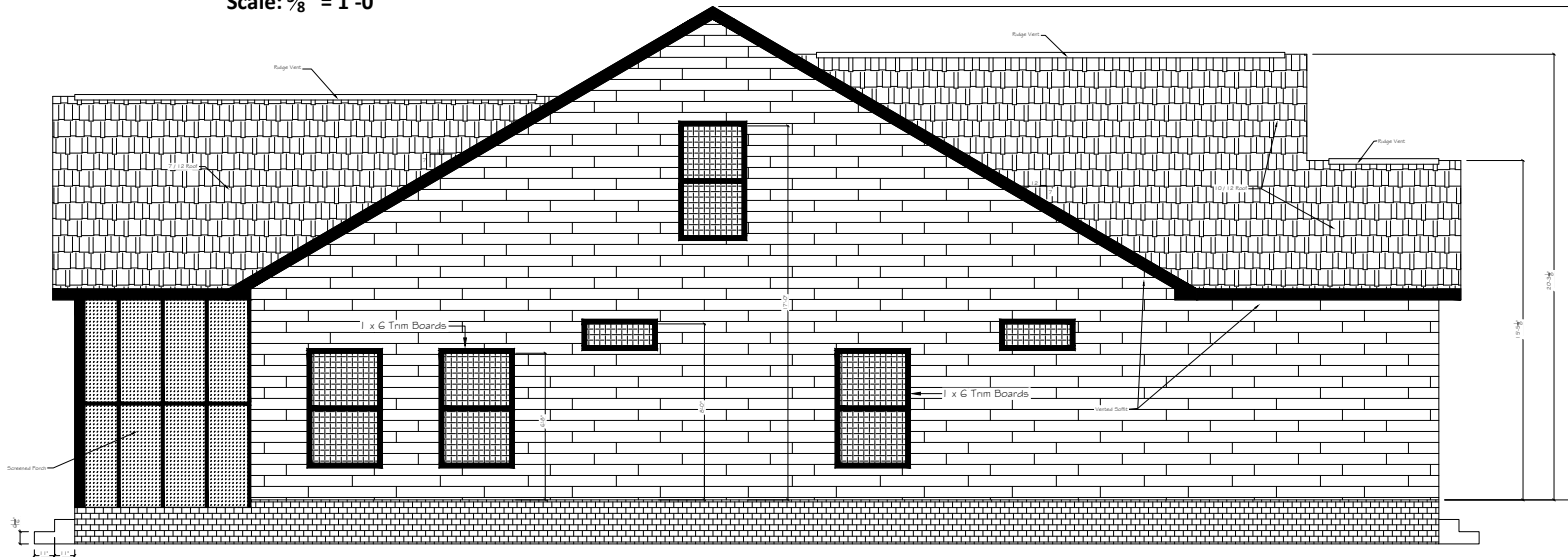
New One Story Single Family Residence

Sheet C1-1



Rear Elevation

Scale: $\frac{3}{8}$ " = 1'-0"

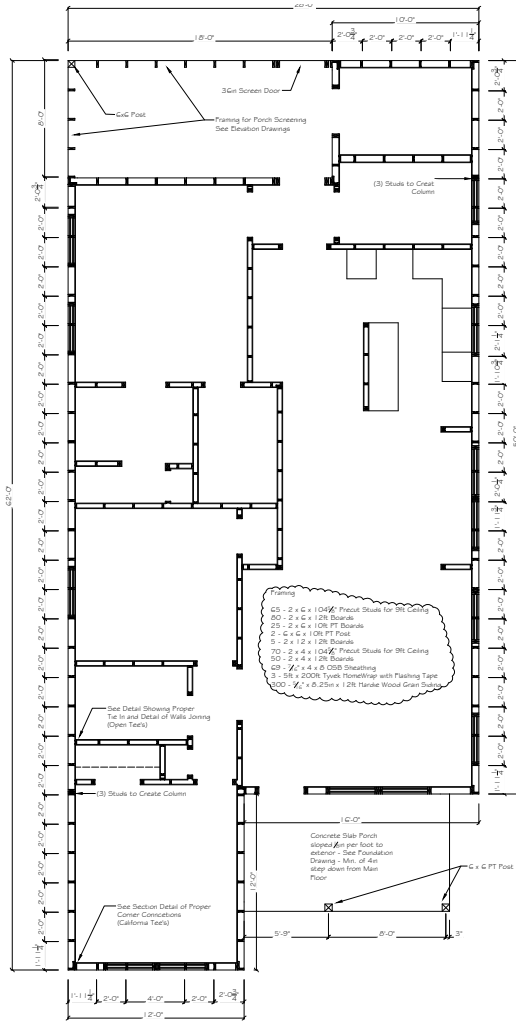


Left Side Elevation

Scale: $\frac{3}{8}$ " = 1'-0"

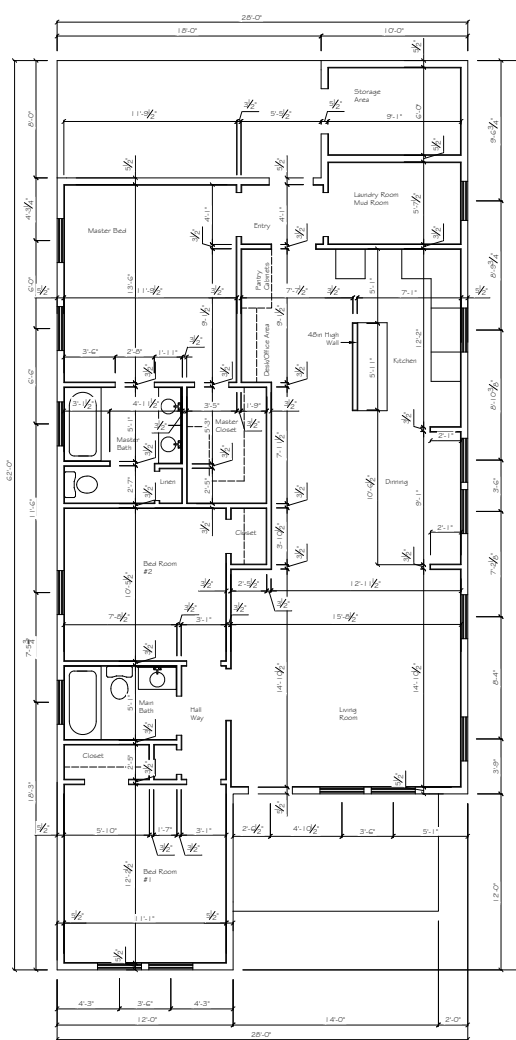
New One Story Single Family Residence

Sheet C1-2



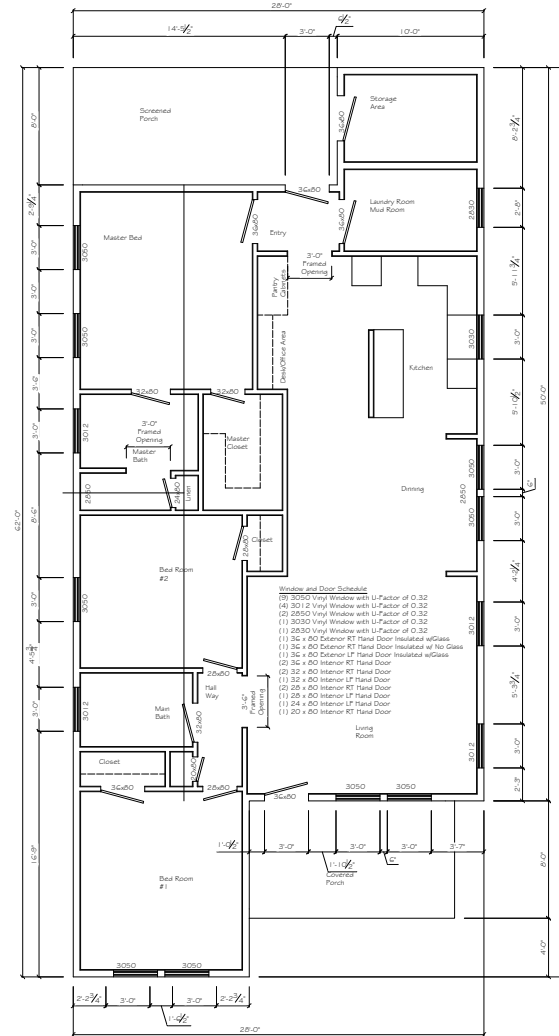
Floor Plan - General Stud Layout

Scale: $\frac{1}{4}'' = 1'-0''$



Floor Plan - General Layout

Scale: $\frac{1}{4}'' = 1'-0''$



Floor Plan - Door and Window Layout

Scale: $\frac{1}{4}'' = 1'-0''$

Project Name and Address	Project Number	Sheet Number
New One Story Single Family Residence	21-1170	A2.0
Designer	Project Date	
Architect	August 8, 2021	
Client	Contractor	
John Babin, Owner/Builder Babin Family Farms LLC Cell: 805.496.7342 Office: 805.491.6910	Site/Tracing License	