

**Meeting:** 3/16/2022  
**Project:** the Outpost  
**Applicant:** Michael Schmidt

---

## Property Information

**Location:** 808 State St. **Parcel ID** 95 I D 021  
**Zoning:** DK (Downtown Knoxville)  
**Description:**

One-story, brick commercial building with garage door openings and windows on the façade partially enclosed. The building has received numerous exterior rehabilitation campaigns, with the most recent work removing c.1980 stone veneer and mansard roof elements.

---

## Description of Work

Level II Major Alteration of an Existing Building/Structure  
Exterior rehabilitation and additions to an existing building.

**Additions:** Additions are proposed for the façade (west) and the left side (north) elevations. On the façade, the addition is a 23'-6" tall block of fiber cement panels, covering the leftmost bay of existing doors. In front of the fiber cement panels is a concrete planter. On the left elevation, a flat-roof addition clad in vertical fiber cement panels features a set of full-light double doors fronting the façade. The addition measures approximately 11'-6" wide by 15'-6" long, serving as a side entry vestibule and accessing a new two-story deck with a metal railing on the left side elevation.

**Exterior rehabilitation:** On the façade, exterior rehabilitation scopes include the enclosure of original window openings with vertical fiber cement panels. The rightmost bay of doors will be enclosed with an aluminum overhead door adjacent to a hollow metal door. A flat-roof metal canopy extends the length of the façade (with a break for the fiber cement façade panels), located 9' above the ground level. The metal canopy wraps around the left (north) side elevation, extending above an aluminum overhead garage-style door.

**Signs:** One painted wall sign, measuring 3' tall by 8'-10" wide (26.5 square feet) proposed for the upper left wall area of the façade. One wall sign of individual metal letters, measuring 13'-2" long by 6" wide, proposed for the fiber cement panels.

Application also includes a concrete planter on the left (north) side elevation, a new metal guardrail on the façade, the installation of mechanical equipment on the rear right (north) corner, the repair and repointing to the existing masonry walls and concrete coping,

**Site elements:** On the north side of the property (fronting Cumberland Avenue), the existing gravel parking lot will be converted to a two-level patio with pavers, a centrally located stair section, and landscaping. Landscaping plan provided in sheet L1.1 of application drawings.

---

## Applicable Design Guidelines

### Downtown Design Guidelines

#### A. Public Realm

##### 4. Downtown Beautification

- 4a. Foster downtown beautification with landscaping and plantings, public art, and public open space.
- 4b. Establish performance spaces for the arts including opportunities for artists to perform, display, or create work.
- 4c. Plant street trees where possible. Choose tree planting locations that will not significantly alter the setting of, or harm the materials of historic buildings.

#### B. Private Realm

##### 1. Building Mass, Scale, and Form

- 1a. Maintain a pedestrian-scaled environment from block to block.
- 1e. Avoid blank walls along street-facing elevations.

##### 2. Building Location

- 2b. Consider using landscape elements to define the sidewalk edge where a building is to be set back from the sidewalk.
- 2d. Limit grade separations above or below the sidewalk, generally no more than 3 feet. Allow for clear sightlines into and out of buildings and plazas.
- 2e. Design private plazas to be pedestrian-friendly. Provide human-scale amenities and include landscaping.

##### 3. Building Materials

- 3a. Use complimentary materials and elements, especially next to historic buildings.

##### 4. Architectural Character

- 4a. Encourage first floor uses that draw walk-in traffic; businesses that do not require pedestrian traffic should be located on other floors.
- 4b. Enhance pedestrian interest in commercial and office buildings by creating a largely transparent and consistent rhythm of entrances and windows.
- 4c. Scale first floor signs to pedestrians.
- 4d. Differentiate the architectural features of ground floors from upper floors with traditional considerations such as show-windows, transoms, friezes, and sign boards.

##### 5. Ground Floor doors and Windows

- 5a. Use consistent rhythm of openings, windows, doorways, and entries.
- 5b. Orient primary front entrances to the main street; secondary entrances should be clearly defined and oriented to streets or alleys, as appropriate.
- 5c. Design entrances according to the proportions of the building's height and width.
- 5e. All windows at the pedestrian level should be clear.
- 5f. Recess ground floor window frames and doors from the exterior building face to provide depth to the façade.

##### 7. Mechanical Equipment and service Utilities

- 7a. Minimize the visual impact of mechanical equipment through screens or recessed/low-profile equipment.
- 7b. Do not locate units on a primary façade.
- 7c. Screen rooftop vents, heating/cooling units, and related utilities with parapet walls or other screens. Consider sound-buffering of the units as part of the design.
- 7d. Locate utility connections and service boxes on secondary walls.
- 7e. Reduce the visual impacts of trash storage and service areas by locating them at the rear of a building or off an alley, when possible.

## B. The Traditional Grid District

### 1. Recommended signs

- 1a. Wall signs on sign boards that are above a transom or first story and mounted flush to the building façade
  - 1b. Projecting signs of modest size (9 square feet, maximum); a larger sign must be approved by the board
  - 1c. Window signs, less than 30 percent coverage, including neon signs
  - 1d. Building name sign and/or building directory
- 

## Comments

808 State Street is not listed on the National Register of Historic Places, so the Historic Resources section of the design guidelines does not apply. The modest midcentury brick commercial building has received several campaigns of exterior rehabilitation, most recently removing non-historic stone veneer and a c.1980 wood shake mansard roof.

In general, exterior rehabilitation scopes meet the design guidelines. Driven by both seismic upgrade requirements and programmatic goals (locating the stage along the façade instead of to the rear of the building), the applicant has proposed to enclose the majority of the windows and reduce the amount of transparency along the façade. The Design Standards of the DK-G zoning district (Section 5.5.C, Table 5-4) require a minimum transparency of 30% on the ground floor of a front façade. The applicant is proposing to reduce the transparency to 15.23%.

The proposed windows and doors to be removed are not original to the building, though the original size of the fenestrations is visible in the openings to be infilled or covered with the fiber cement panels. Design guidelines recommend "enhancing pedestrian interest" by "creating a largely transparent and consistent rhythm of entrances and windows," and recommend "avoid[ing] blank walls along street-facing elevations."

Approval of the large reduction in transparency on the street elevation is pending Board of Zoning Appeals approval on 3/15/2022 (3-A-22-VA). The Board should discuss the enclosure of window and door openings on the façade in comparison with the guidelines.

The mechanical equipment located on the rear section of the right (north) elevation is large in scope and would benefit from screening or painting to minimize its visual impact.

While the proposed wall signs are large, they are proportionate to the wall areas where they'll be placed and do not detract from the overall building. Signs should be confirmed to meet section 13.9.F.b of the City sign code and not exceed 10% of the wall area of the primary building elevation.

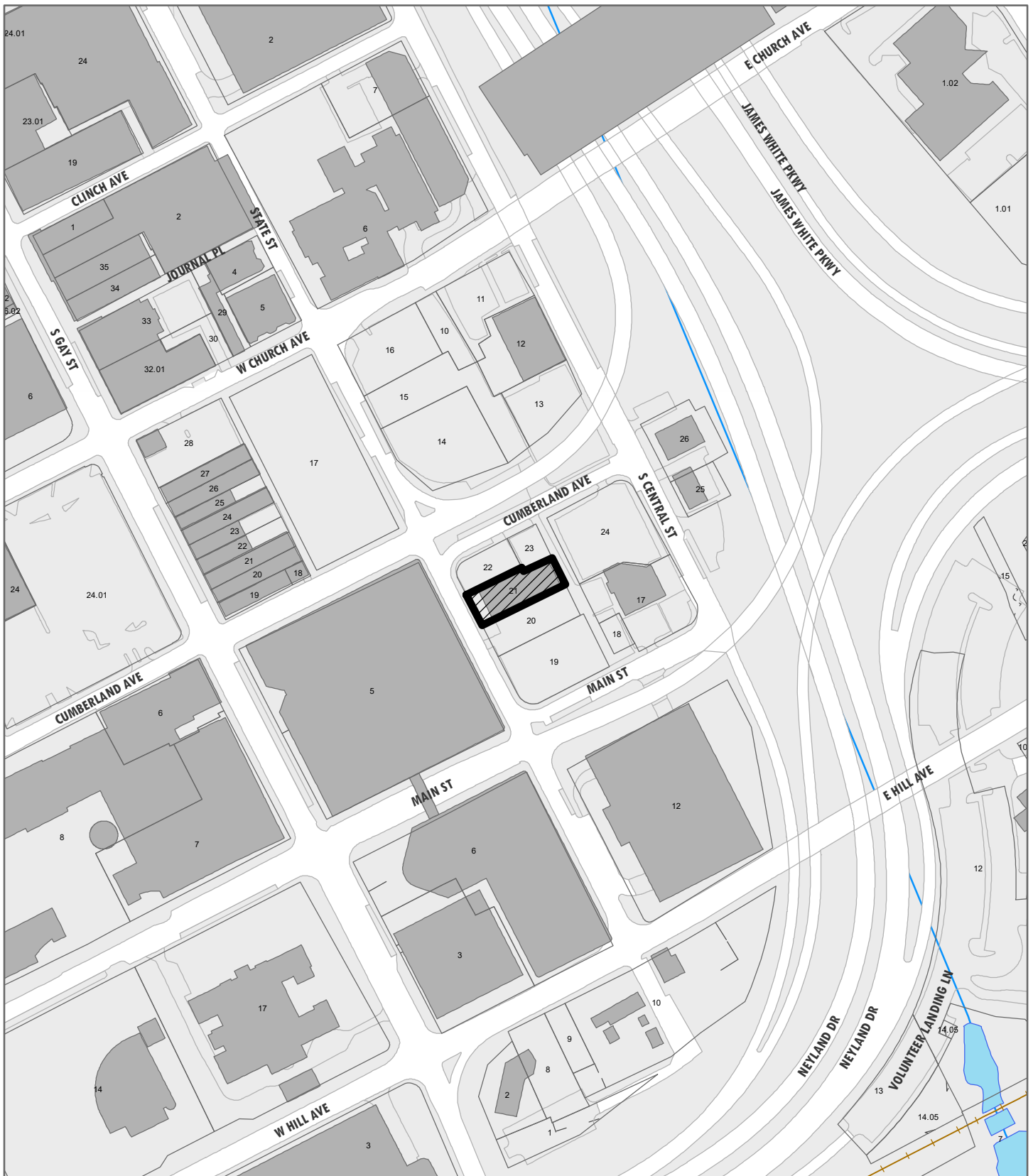
The proposed landscape and patio areas meet the design guidelines for downtown beautification, along with creating pedestrian-friendly private plazas with extensive landscaping. The proposed grade separations on the patio correspond with the site's existing topography, and the plaza will be accessible via a stair off the Cumberland Avenue elevation.

---

## Recommendation

Staff recommends approval of Certificate 2-A-22-DT, subject to the following conditions:

- 1) Receiving the necessary variances at the 3/15/2022 BZA meeting, and pending Board's approval of the removal of façade ground floor transparency;
- 2) Minimize visual impact of mechanical equipment on north/right elevation via screening or paint;
- 3) Meeting the relevant standards of City zoning code for landscaping (Article 12);
- 4) Meeting the relevant standards of the City sign code.



**2-A-22-DT**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

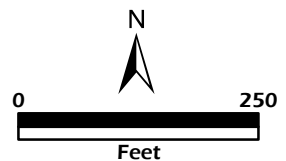
Petitioner: Michael Schmidt

**DOWNTOWN  
DESIGN  
REVIEW  
BOARD**



**808 State St.**  
**Level 2: Major alteration of an existing building/structure**

Original Print Date: 3/7/2022  
Revised:  
Knoxville/Knox County Planning · Downtown Design Review Board





# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Buddy Cruze

Applicant

01/27/2022

February 16, 2022

2-A-22-DT

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Michael Schmidt

Johnson Architecture Inc.

Name

Company

2240 Sutherland Ave Suite 105

Knoxville

TN

37919

Address

City

State

Zip

(865) 405-1546

mschmidt@jainc.com

Phone

Email

## CURRENT PROPERTY INFO

720 E Jackson Ave

(865) 389-6111

Owner Name (if different from applicant)

Owner Address

Owner Phone

808 State Street

095ID021

Property Address

Parcel ID

DK-G

Neighborhood

Zoning

## AUTHORIZATION

Michael Schmidt

1/06/2022

Staff Signature

Please Print

Date

Buddy Cruze

Applicant Signature

Please Print

1/06/2022  
Date

# REQUEST

DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

*See required Downtown Design attachment for more details.*

Brief description of work: The Outpost is an existing building, and we are proposing to transform it into an indoor music venue. Proposed additions to the building are located on the North and East elevations. Each addition stands proud of the original masonry and features a fiber cement panel with a woodgrain finish façade. These panels are also used in the required infill portions of wall. Signage will be located on the North addition, along with a new planter at the base. A new canopy will wrap the North and East elevation, covering the masonry pockets from a previously demolished structure. The existing asphalt parking lot will be converted into a two level outdoor patio surrounded by vegetation.

HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

*See required Historic Zoning attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
      Site built     Modular     Multi-Sectional

*See required Infill Housing attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

STAFF USE ONLY

**ATTACHMENTS**

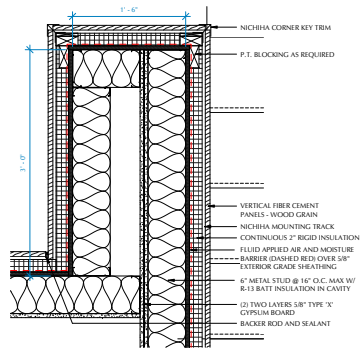
- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

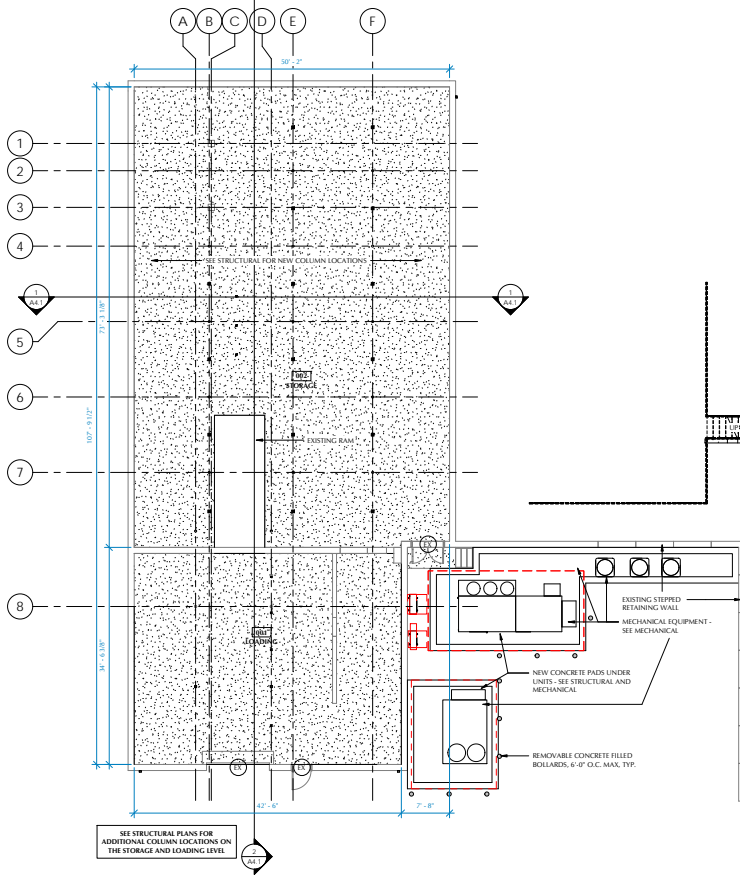
- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>		<b>TOTAL:</b>
<b>FEE 2:</b>		
<b>FEE 3:</b>		



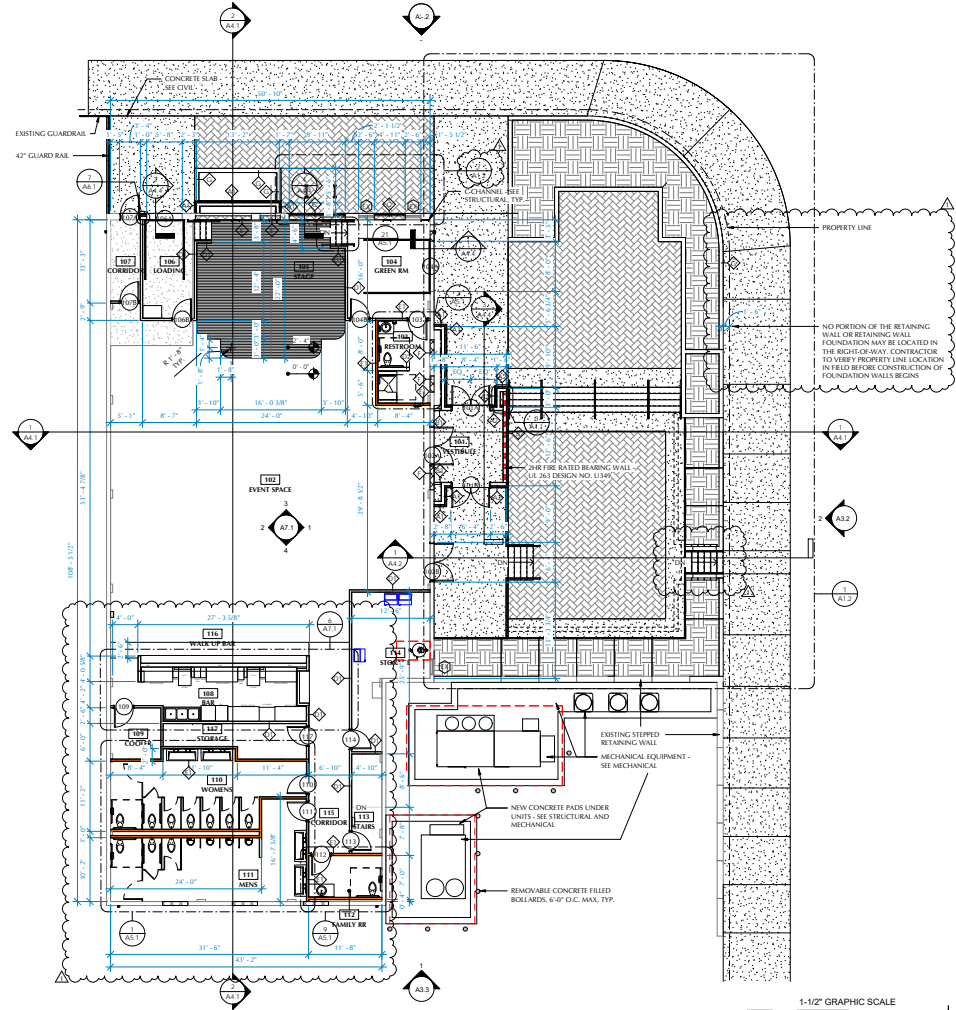
3 FIBER CEMENT PANEL CORNER DETAIL  
 1 1/2" = 1'-0"



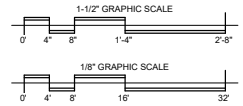
1 STORAGE & LOADING LEVEL FLOOR PLAN  
 1/8" = 1'-0"

FLOOR PLAN NOTES	
1.	COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
2.	SEE SHEET A0.1 FOR ABBREVIATIONS, SYMBOLS, GENERAL NOTES AND TYPICAL ACCESSIBLE MOUNTING HEIGHTS
3.	SEE SHEET A0.2 FOR U.L. ASSEMBLIES
4.	FURNISH AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY A.H.J. MINIMUM REQUIRED PER 75' OF TRAVEL OR 1 PER 6,000 SF OF BUILDING AREA
5.	PROVIDE BLOCKING, ROUGH HARDWARE, ETC. AS REQUIRED TO MOUNT EQUIPMENT
6.	PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS
7.	PROVIDE CYPRESIN BOARD CONTROL JOINTS AT 36" O.C. MAX. COORDINATE LOCATIONS WITH INTERIOR ELEVATIONS. WHERE JOINTS ARE NOT SHOWN, CENTER SPACING WITHIN ROOM. EDGE OF WALL OPENINGS
8.	ALL EXPOSED STEEL TO BE PAINTED W/ ENAMEL LATEX PAINT PER SPEC (PRIMER + 2 COATS MIN.)

WALL LEGEND	
	<b>EXTERIOR WALL PARTITION 'A' &amp; 'A'</b> VERTICAL NICHSHA VINTAGEWOOD FIBER CEMENT PANELS - 'SPRUC' (4X) OR 'BARK' (4X); NICHSHA MOUNTING TRACK, 2" RIGID INSULATION (R-7.5 @ MIN.), CONTINUOUS FLUID APPLIED AIR AND MOISTURE BARRIER, 5/8" EXTERIOR GRADE SHEATHING OVER 6" 20GA. METAL STUD FRAMING @ 16" O.C. MAX. W/ 3 BATT INSULATION AT CAVITY, 5/8" CYPRESIN BOARD ON FINISH SIDE
	<b>EXTERIOR WALL PARTITION 'W'</b> 2HR RATED UL263 DESIGN NO. L149 VERTICAL NICHSHA VINTAGEWOOD FIBER CEMENT PANELS - 'BARK'; NICHSHA MOUNTING TRACK, 2" RIGID INSULATION (R-7.5 @ MIN.), CONTINUOUS FLUID APPLIED AIR AND MOISTURE BARRIER, 5/8" EXTERIOR GRADE SHEATHING OVER 6" 20GA. METAL STUD FRAMING @ 16" O.C. MAX. W/ 3 BATT INSULATION AT CAVITY, 25 TWO LAYERS 5/8" TYPE 'X' CYPRESIN BOARD ON FINISH SIDE
	<b>EXTERIOR WALL PARTITION 'C'</b> VERTICAL NICHSHA VINTAGEWOOD FIBER CEMENT PANELS - 'SPRUC'; NICHSHA MOUNTING TRACK, 2" RIGID INSULATION (R-7.5 @ MIN.), CONTINUOUS FLUID APPLIED AIR AND MOISTURE BARRIER, 5/8" CYPRESIN BOARD ON FINISH SIDE
	EXISTING WALL
	<b>INTERIOR WALL PARTITION 'D' &amp; 'D'</b> 3-5/8" (D) OR 4" (D) 20GA. METAL STUD FRAMING @ 16" O.C. MAX. W/ 5/8" CYPRESIN BOARD ON EACH SIDE. EXTEND STUDS TO UNDERSIDE OF ROOF DECK, PROVIDE SOUND BATS, TYP. EXTEND CYPRESIN BOARD ON ONE SIDE TO UNDERSIDE OF STRUCTURE.
	<b>INTERIOR WALL PARTITION 'E' &amp; 'E'</b> 3-5/8" (E) OR 4" (E) 20GA. METAL STUD FRAMING @ 16" O.C. MAX. W/ 5/8" CYPRESIN BOARD ON EACH SIDE. EXTEND STUDS TO UNDERSIDE OF ROOF DECK, PROVIDE SOUND BATS, TYP. EXTEND CYPRESIN BOARD ON ONE SIDE TO UNDERSIDE OF STRUCTURE.
	<b>INTERIOR CMU 'I'</b> 8" CMU, GROUTED SOLID - SEE STRUCTURAL
	<b>SITE WALL 'C'</b> 8" CONCRETE



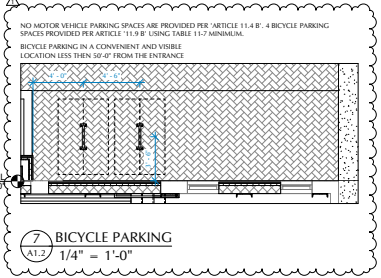
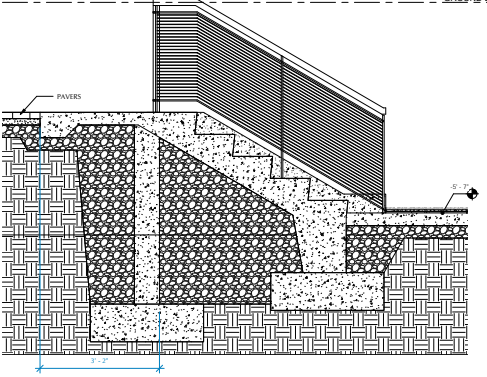
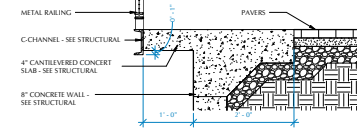
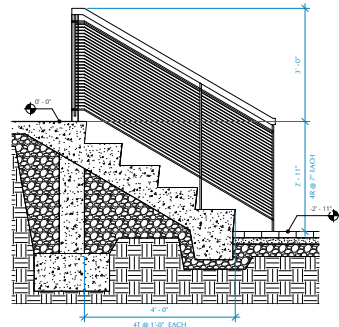
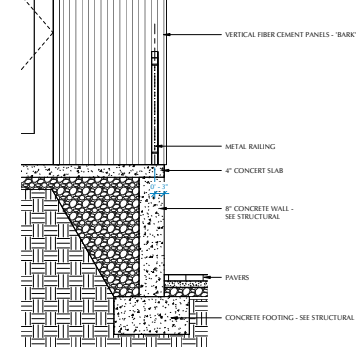
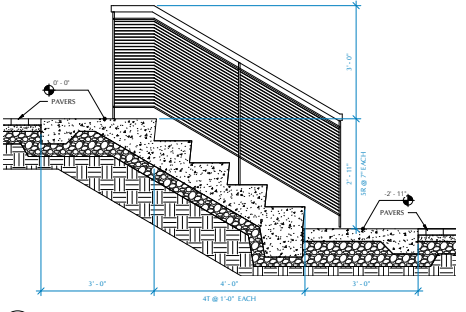
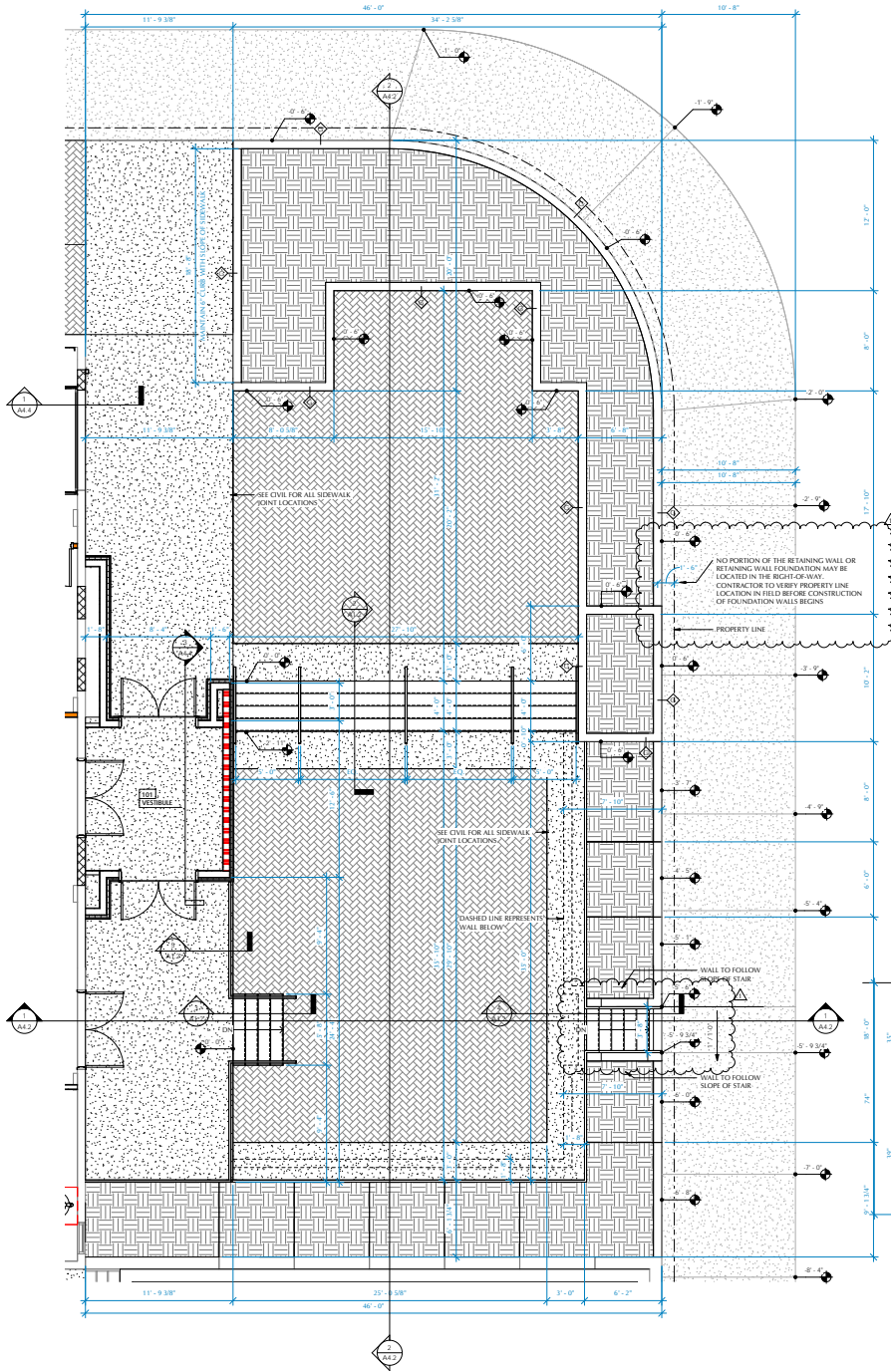
2 GROUND LEVEL FLOOR PLAN  
 1/8" = 1'-0"



REVISIONS		
Revision #	Description	Date
1	Revision 1	

DATE: 12/6/2021  
 PROJECT NO: 213081.2

A1.1



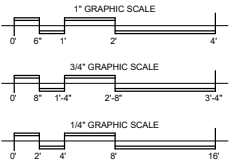
Building Renovation for:  
**THE OUTPOST**  
808 State Street  
Knoxville, Tennessee 37902

ENLARGED PATIO AND DETAILS

REVISIONS

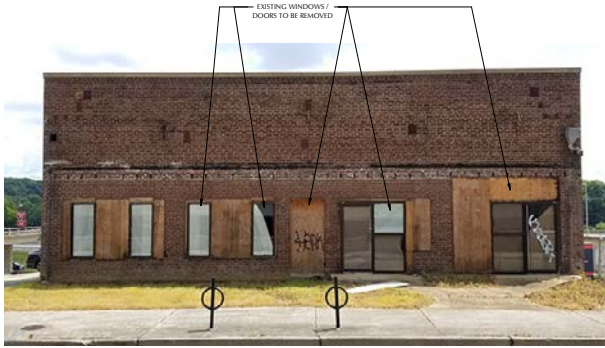
Revision #	Description	Date
1	Revision 1	Date 1

DATE: 12/6/2021  
PROJECT NO: 213081.2



A1.2





1 EXISTING NORTH ELEVATION  
A3.1



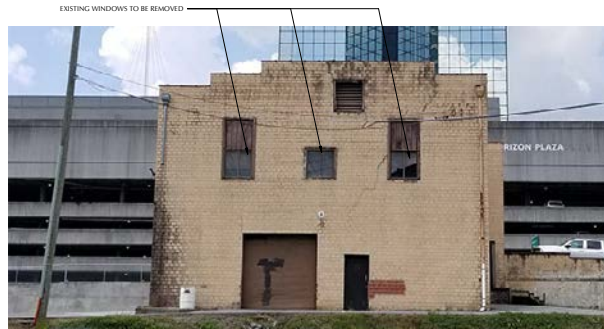
2 EXISTING NORTHEAST ELEVATION  
A3.1



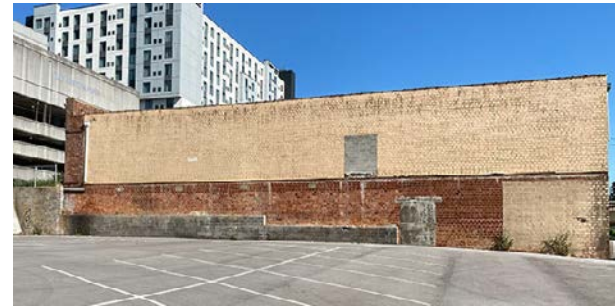
3 EXISTING EAST ELEVATION  
A3.1



4 EXISTING SOUTHEAST ELEVATION  
A3.1



5 EXISTING SOUTH ELEVATION  
A3.1



6 EXISTING WEST ELEVATION  
A3.1



7 SURROUNDING PROPERTIES  
A3.1



8 SURROUNDING PROPERTIES  
A3.1



**Johnson  
Architecture**

2240 Sutherland Ave., Suite 105  
Knoxville, Tennessee 37919  
865.671.9060  
ja@ja-inc.com



Building Renovation for:  
**THE OUTPOST**  
808 State Street  
Knoxville, Tennessee 37902

EXISTING  
ELEVATIONS

REVISIONS

Revision #	Description	Date

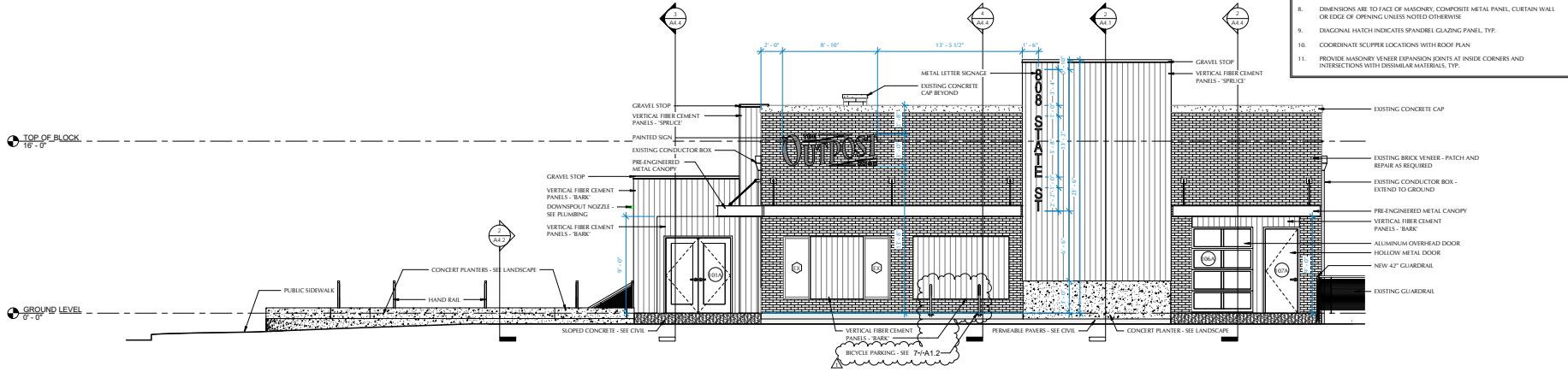
DATE: 12/6/2021

PROJECT NO: 213081.2

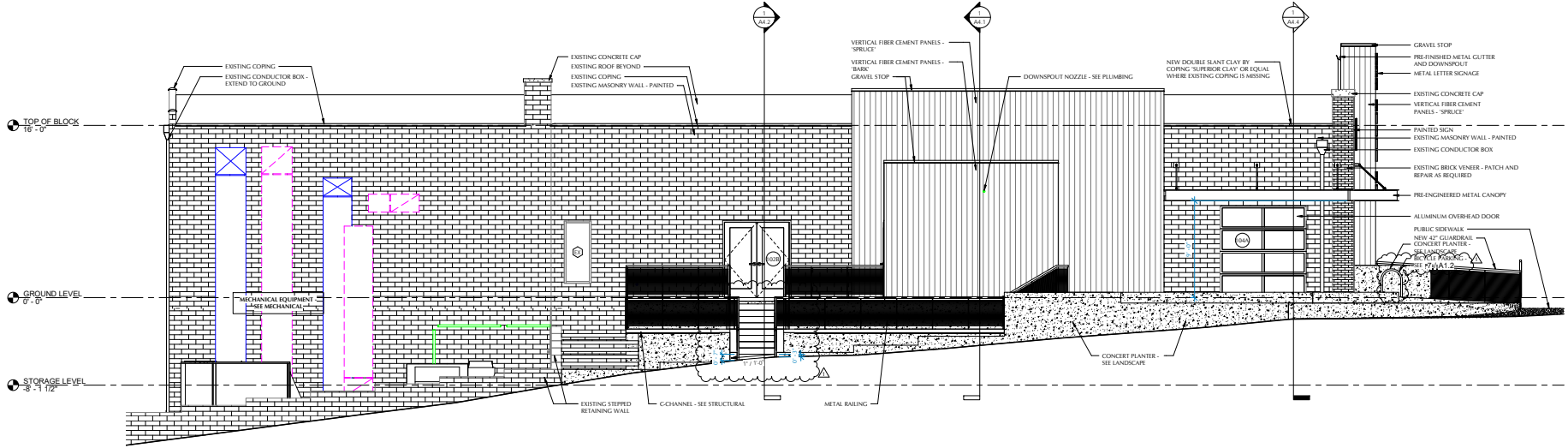
A3.1



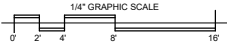
- ELEVATION NOTES**
1. C1 - CONTROL JOINT. SEE DETAIL XXXX
  2. IQ - INSIDE CONTROL JOINT. SEE DETAIL XXXX
  3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 2'-0" O.C. WHERE NOT SHOWN. COORDINATE LOCATIONS WITH ARCHITECT
  4. PROVIDE CONTROL JOINTS MINIMUM 2'-0" OFF EDGE OF OUTSIDE CORNER IF NOT SHOWN ALIGNED WITH FRAME. ALIGN DOWNSPOUT TO COVER CONTROL JOINTS WHERE APPLICABLE
  5. PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS
  6. VERTICAL CONTROL JOINT FILLER TO MATCH MASONRY COLOR. HORIZONTAL CONTROL JOINT FILLER TO MATCH GROUT COLOR
  7. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
  8. DIMENSIONS ARE TO FACE OF MASONRY, COMPOSITE METAL PANEL, CURTAIN WALL OR EDGE OF OPENING UNLESS NOTED OTHERWISE
  9. DIAGONAL HATCH INDICATES SPANDREL GLAZING PANEL TYP.
  10. COORDINATE SCUPPER LOCATIONS WITH ROOF PLAN
  11. PROVIDE MASONRY VENER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISSIMILAR MATERIALS. TYP.



**1 FRONT FACADE**  
A3.2  
1/4" = 1'-0"



**2 RIGHT ELEVATION**  
A3.2  
1/4" = 1'-0"



**Johnson Architecture**  
2240 Sutherland Ave., Suite 105  
Knoxville, Tennessee 37919  
865.671.9660  
ja@ja.com



Building Renovation for:  
**THE OUTPOST**  
808 State Street  
Knoxville, Tennessee 37902

**BUILDING ELEVATIONS**

**REVISIONS**

Revision #	Description	Date
1	Revision 1	Date 1

DATE: 12/6/2021  
PROJECT NO: 213081.2

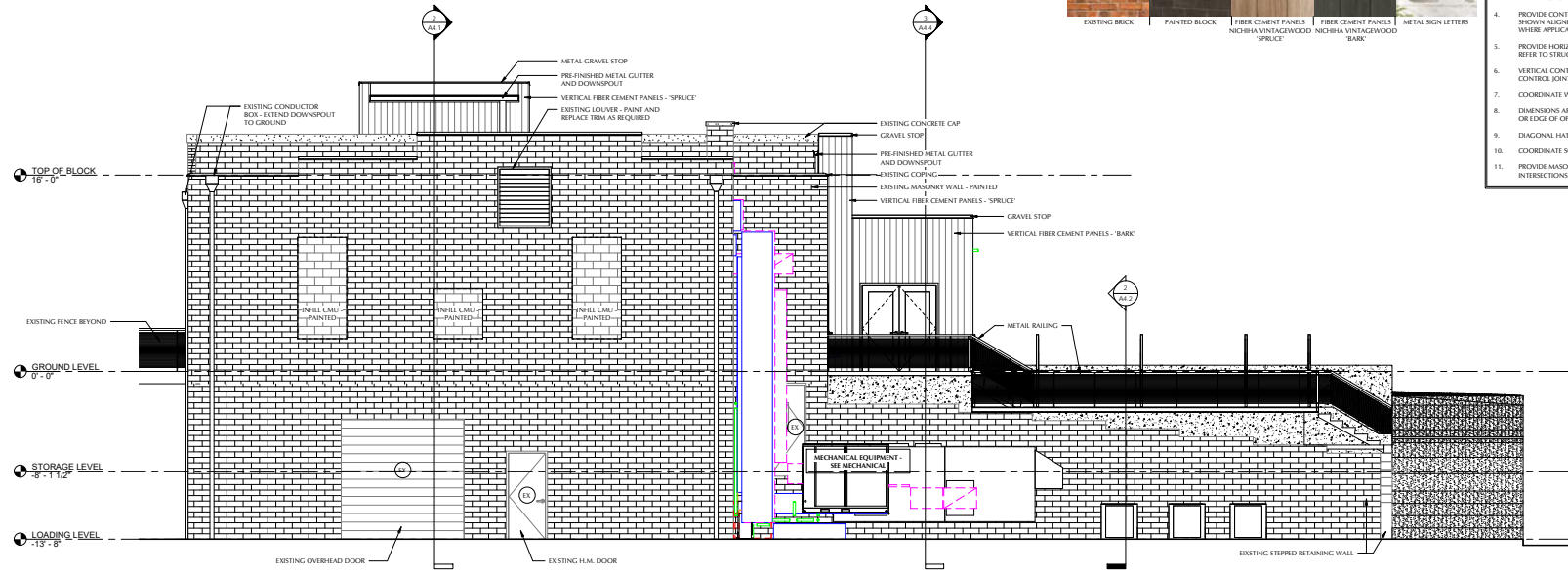
**A3.2**



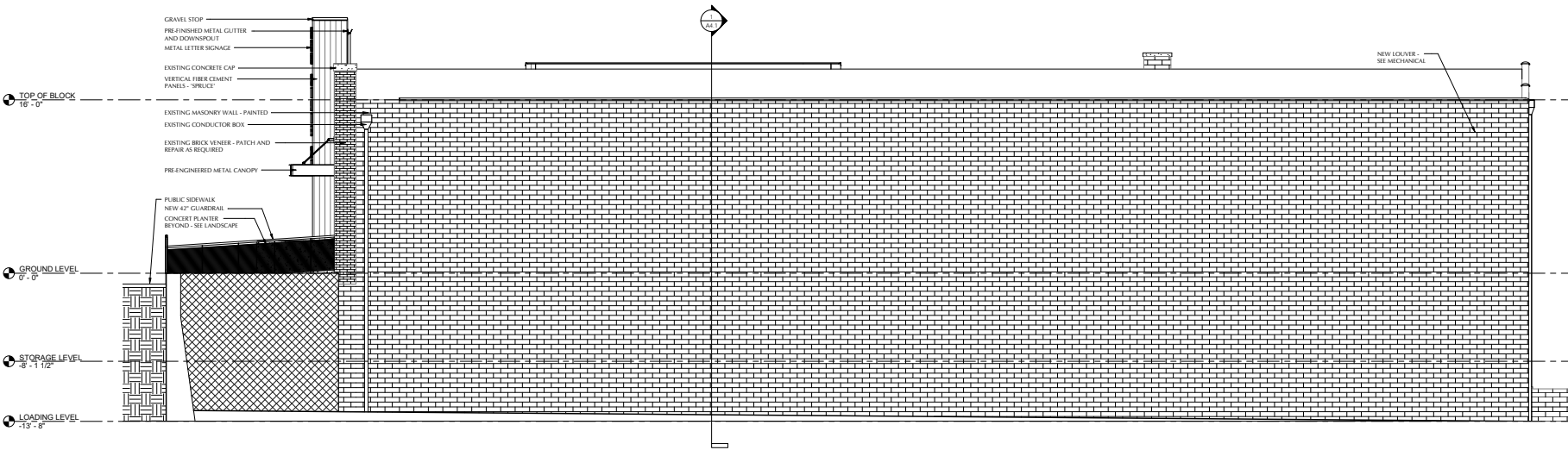
- ### ELEVATION NOTES
1. C1 - CONTROL JOINT, SEE DETAIL XXXX
  2. IC1 - INSIDE CONTROL JOINT, SEE DETAIL XXXX
  3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 2'-0" O.C. WHERE NOT SHOWN. COORDINATE LOCATIONS WITH ARCHITECT
  4. PROVIDE CONTROL JOINTS MINIMUM 2'-0" OFF EDGE OF OUTSIDE CORNER IF NOT SHOWN ALIGNED WITH FRAME. ALIGN DOWNSPOUT TO COVER CONTROL JOINTS WHERE APPLICABLE
  5. PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS
  6. VERTICAL CONTROL JOINT FILLER TO MATCH MASONRY COLOR. HORIZONTAL CONTROL JOINT FILLER TO MATCH GROUT COLOR
  7. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
  8. DIMENSIONS ARE TO FACE OF MASONRY, COMPOSITE METAL PANEL, CURTAIN WALL OR EDGE OF OPENING UNLESS NOTED OTHERWISE
  9. DIAGONAL HATCH INDICATES SPANDREL GLAZING PANEL, TYP.
  10. COORDINATE SCUPPER LOCATIONS WITH ROOF PLAN
  11. PROVIDE MASONRY VENEER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISSIMILAR MATERIALS, TYP.



**Johnson Architecture**  
 2240 Sutherland Ave., Suite 105  
 Knoxville, Tennessee 37919  
 865.671.9660  
 ja@ja.com



**1 REAR ELEVATION**  
 A3.3 1/4" = 1'-0"



**2 LEFT ELEVATION**  
 A3.3 1/4" = 1'-0"

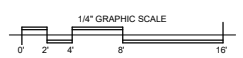
Building Renovation for:  
**THE OUTPOST**  
 808 State Street  
 Knoxville, Tennessee 37902

BUILDING ELEVATIONS

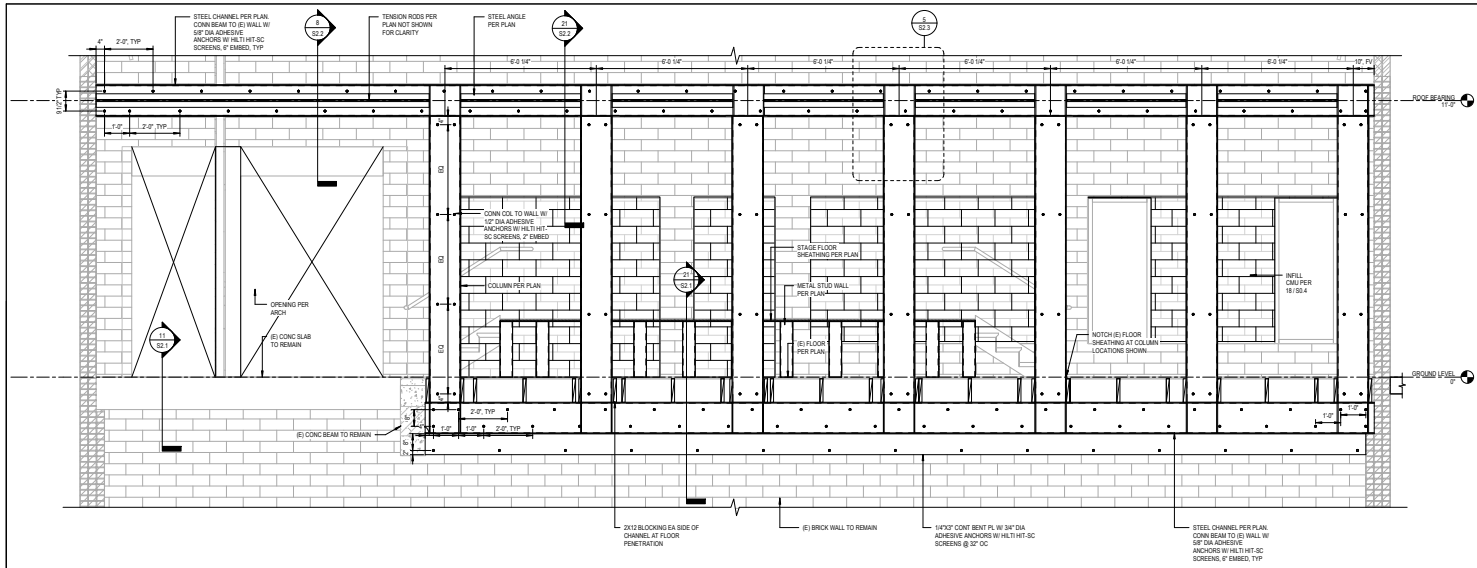
REVISIONS

Revision #	Description	Date
1	Revision 1	Date 1

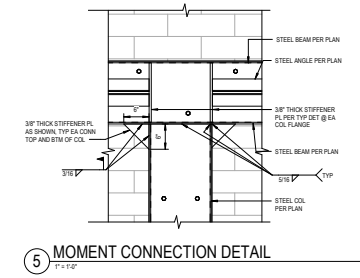
DATE: 12/6/2021  
 PROJECT NO: 213081.2



A3.3



6 FRAMING ELEVATION  
1/2" = 1'-0"



5 MOMENT CONNECTION DETAIL  
1/4" = 1'-0"

**Johnson Architecture**  
2240 Sutherland Ave., Suite 105  
Knoxville, Tennessee 37919  
865.671.9060  
johnson.com

Building Renovation for:  
**THE OUTPOST**  
808 State Street  
Knoxville, Tennessee 37902

SECTIONS & DETAILS

REVISIONS

Revision #	Description	Date

DATE: 12.10.21  
PROJECT NO: 213081.2

**HAINES**  
STRUCTURAL GROUP  
808 S. GAY STREET, STE. 107A KNOXVILLE, TN 37902  
(865) 328-8800 | WWW.HAINES-SG.COM  
project no. 21308

S2.3



**Johnson  
Architecture**

2240 Sutherland Ave., Suite 105  
Knoxville, Tennessee 37919  
865.671.9060  
jainc.com



Building Renovation for:  
**THE OUTPOST**  
808 State Street  
Knoxville, Tennessee 37902

3D VIEWS

REVISIONS

Revision #	Description	Date

DATE: 12/6/2021

PROJECT NO: 213081.2

A3.4



Johnson Architecture

2240 Sutherland Ave., Suite 105  
Knoxville, Tennessee 37919  
865.671.9000  
jafnc.com

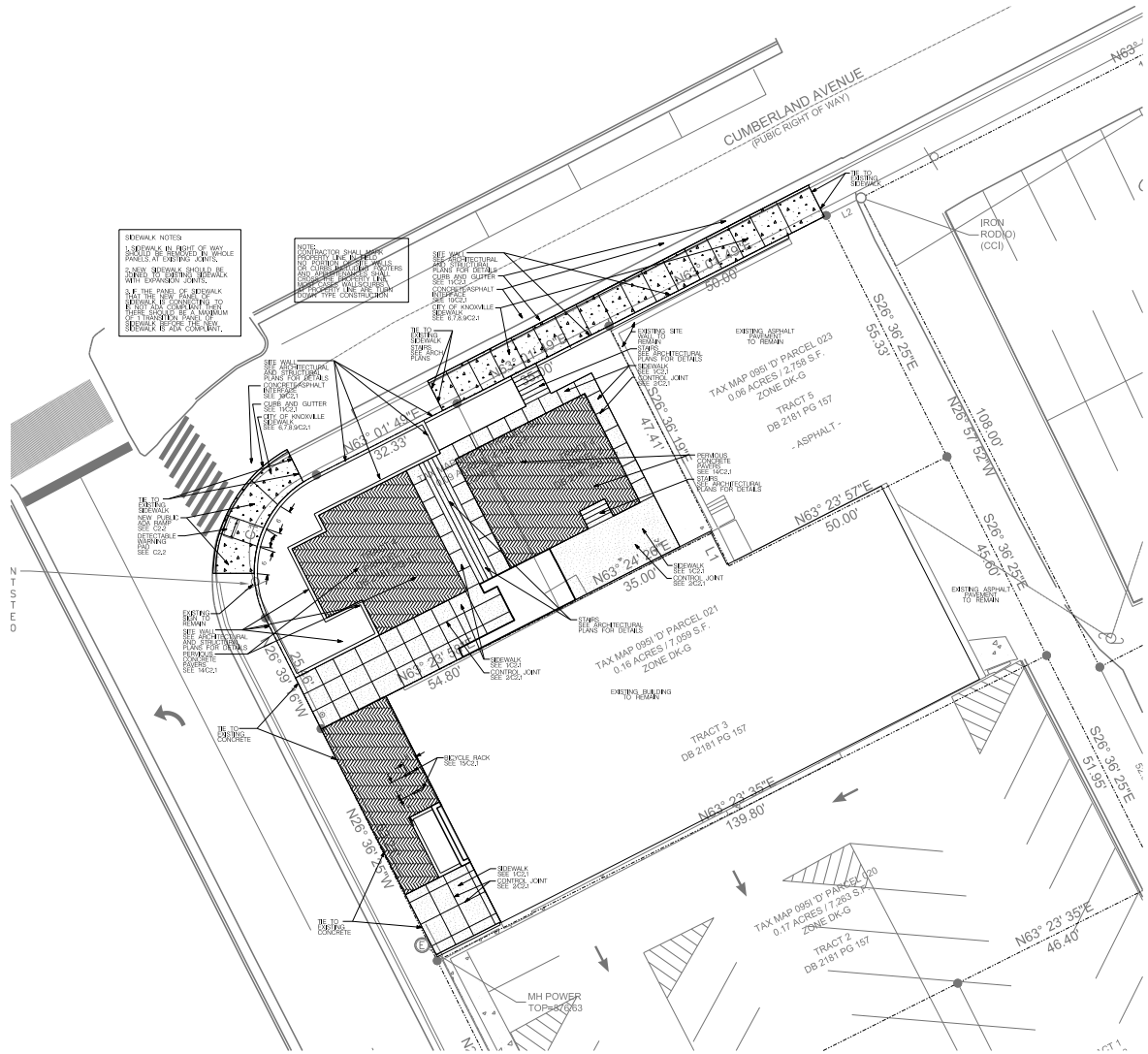


SCALE  
1" = 30 FEET

EXISTING	PROPOSED	DESCRIPTION
---	---	GROUND CONTOUR ELEVATION
---	---	SPOT ELEVATION
---	---	STRUCTURE
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
---	---	STORM DRAIN
---	---	SANITARY SEWER
---	---	POTABLE WATER
---	---	NATURAL GAS
---	---	UNDERGROUND ELECTRICAL
---	---	MANHOLE
---	---	WATER METER
---	---	FIRE HYDRANT
---	---	SURFACE FLOW
---	---	SBT FENCING
---	---	CURB
---	---	CONCRETE PAVEMENT
---	---	ASPHALT PAVEMENT
---	---	CONSTRUCTION ENTRANCE
---	---	EROSION CONTROL MAT

**SITE LAYOUT NOTES**

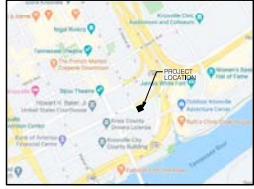
1. SUBPARCEL DOMINION: PARCEL 023 23
2. TOTAL BUILDING AREA:
3. TOTAL SITE/LOT AC TOTAL DED AREA: 506 AC TOTAL NEW IMPVRS 620 AC.
4. DEED REFERENCE: 295-41, CITY BLOCK 1002, WARD 06
5. THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA. SEE MAP 0685.
6. SITE BENCHMARK CONTACT SURVEY FOR SITE BENCHMARK DATUM NAVD 83.
7. BY THE SIGNING AND TOPOGRAHY INFORMATION IS FROM A SURVEY BY ENGINEERING DATED 08/20/20, THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPTS RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
8. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THE INFORMATION.
9. PARKING SUMMARY:  
TOTAL REQUIRED: 0  
TOTAL PROVIDED: 0
10. SETBACKS:  
NOT APPLICABLE
11. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR DISPOSITION OF THE SOILS, ALL MATERIALS AND DEBRIS OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS.
12. CONTRACTOR SHALL COMPLY WITH ALL PREVENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
13. VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNER REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
14. TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
15. CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SEWERALS, DRAINAGE STRUCTURES, UTILITIES OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
16. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
17. DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
18. MAINTAIN ONE SET OF SHEET DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SERVICE MARKS ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES. SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.



**SEWER NOTES**  
 1. EXISTING BUILDING OF WAY...  
 2. NEW WORK SHALL BE...  
 3. THE FLOOR OF SEWER...  
 4. THE FLOOR OF SEWER...  
 5. THE FLOOR OF SEWER...  
 6. THE FLOOR OF SEWER...  
 7. THE FLOOR OF SEWER...  
 8. THE FLOOR OF SEWER...  
 9. THE FLOOR OF SEWER...  
 10. THE FLOOR OF SEWER...

**CONCRETE NOTES**  
 1. ALL CONCRETE SHALL BE...  
 2. ALL CONCRETE SHALL BE...  
 3. ALL CONCRETE SHALL BE...  
 4. ALL CONCRETE SHALL BE...  
 5. ALL CONCRETE SHALL BE...  
 6. ALL CONCRETE SHALL BE...  
 7. ALL CONCRETE SHALL BE...  
 8. ALL CONCRETE SHALL BE...  
 9. ALL CONCRETE SHALL BE...  
 10. ALL CONCRETE SHALL BE...

**OWNER:**  
 8007 JORDAN AVE  
 KNOXVILLE, TN 37919



PROJECT LOCATION MAP - NOT TO SCALE

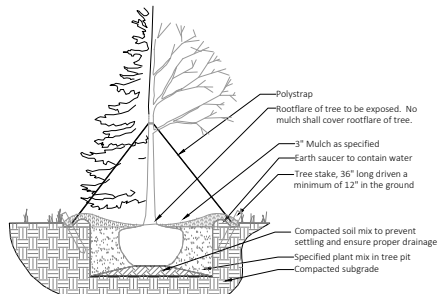
Building Renovation for:  
**THE OUTPOST**  
 808 State Street  
 Knoxville, Tennessee 37902

**SITE LAYOUT PLAN**

REVISIONS	Revision #	Description	Date
1	1	CITY COMM.	01-23-2022

DATE: 12.13.21  
 PROJECT NO: 2130812

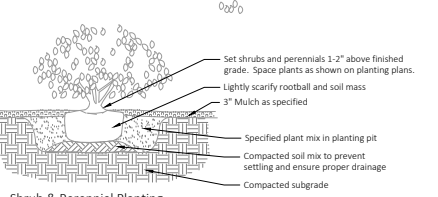
C1.2



- General Notes:**
- Excavate tree pit to a depth equal to depth of rootball plus 24", and a width equal to two times the diameter of the rootball.
  - Fill tree pit with water and confirm percolation rate. Notify landscape architect if poor drainage conditions exist.
  - Install tree 2" above finished grade. Avoid any damage to rootball or trunk of tree.
  - Apply specified plant mix and soil amendments.
  - Remove burlap on top 2/3 of tree rootball.
  - Immediately soak tree pit with water and remove any air pockets that may have occurred during backfilling.
  - Stake and gas tree with specified materials.

**General Tree Planting**

Scale: NTS



**Shrub & Perennial Planting**

Scale: NTS

**LANDSCAPE REQUIREMENT NOTES:**

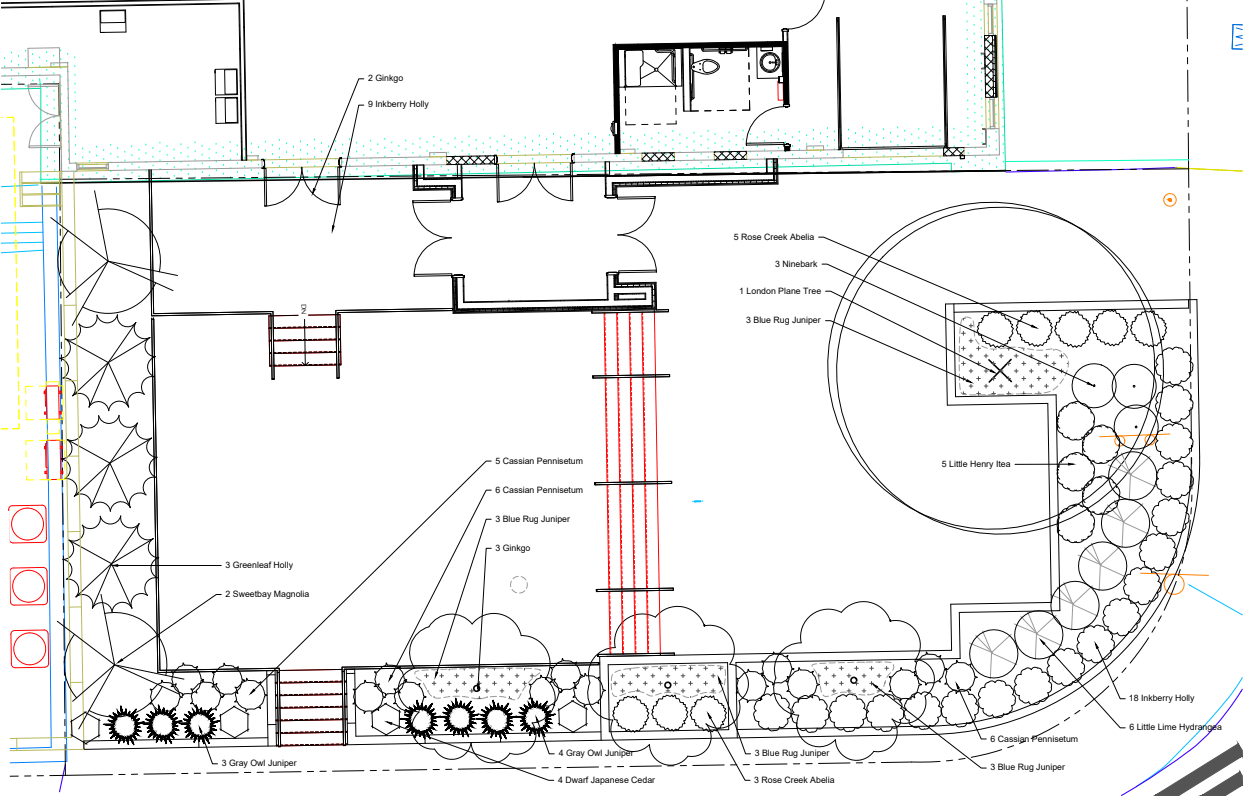
- 12.5 PARKING LOT PERIMETER LANDSCAPE YARD**  
- N/A, parking is less than 10,000 SF
- 12.6 INTERIOR PARKING LOT LANDSCAPE**  
- N/A, parking is less than 20,000 SF
- 12.7 SITE LANDSCAPE**  
N/A, existing structure w/ less than 30% SF additions
- 12.8 BUFFER YARDS**  
No buffer yard required as there are no adjacent residential zoning.
- Trees**  
Total property area = .3 acres. 8 trees per acre required. 3\*8 = 2.5, 3 trees required. 9 trees proposed

**PLANTING LEGEND:**

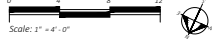
Qty	Botanical Name	Common Name	Size	Notes	Mature Height
<b>Deciduous Trees</b>					
3	<i>Ginkgo biloba</i>	Ginkgo	2" cal.	central leader, full and dense, male	25' to 50'
1	<i>Platanus x acerifolia</i>	London Plane Tree	2" cal.	central leader, full and dense	40' to 50'
<b>Evergreen Trees</b>					
3	<i>Ilex opaca</i>	Green Leaf Holly	6" ht.	central leader, full and dense	15' to 20'
2	<i>Magnolia virginiana</i>	Sweetbay Magnolia	6" ht.	central leader, full and dense	20' to 35'
1	<i>Chamaecyparis obtusa</i>	Hinoki Cypress	6" ht.	central leader, full and dense	
<b>Deciduous Shrubs</b>					
6	<i>Hydrangea paniculata</i>	Lime Light Hydrangea	3 gallon	full and dense	
9	<i>Itea virginica 'Sprich'</i>	Little Henry Itea	3 gallon	full and dense	
3	<i>Physocarpus</i>	Ninebark	3 gallon	full and dense	
17	<i>Pennisetum alopecuroides</i>	Cassian	3 gallon	full and dense	
<b>Evergreen Shrubs</b>					
12	<i>Juniperus horizontalis</i>	Blue Rug Juniper	3 gallon	full and dense	
18	<i>Ilex glabra</i>	Inkberry Holly	3 gallon	full and dense	
7	<i>Juniperus virginiana</i>	Gray Owl Juniper	3 gallon	full and dense	
4	<i>Cryptomeria japonica 'nana glubosa'</i>	Dwarf Japanese Cedar	3 gallon	full and dense	
8	<i>Abelia x chinensis</i>	Rose Creek Abelia	3 gallon	full and dense	

**Planting Notes:**

- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to provide allowance for soil amendments, percolation tests, soil tests, mulch and irrigation.
- Irrigation system to be drip unless otherwise noted and approved.
- Contractor to complete work within schedule established by owner.
- Contractor to provide one year warranty for all plant material from date of substantial completion.
- Contractor to provide interim maintenance (watering, pruning, fertilizing, weeding, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, application of insecticides/herbicides, and general landscape clean-up) until substantial completion notice is provided by the owner or landscape architect.
- The contractor shall locate and verify all existing utilities prior to planting and report any conflicts to the landscape architect. Perform work in compliance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide for permits required by local authorities.
- All plant material to be specimen quality as established by the American Association of Nurserymen, horticultural standards, latest edition. Quality of the plant material to be judged by the landscape architect.
- Plant material to be free of disease, weeds and insect pests. Damaged plant material shall be rejected.
- No planting shall take place until rough grade has been reviewed and approved by the landscape architect.
- Planting plans may need to be adjusted in the field. Contractor to coordinate layout of plant material with landscape architect for on-site approval prior to installation.
- Test plant beds and plant pits for adequate drainage. Hardpan or moisture barriers shall be broken, or drain pipes to be installed to provide proper drainage of plant areas. Plant pits shall be excavated to the bottom of the pit. Fill each plant pit with water and observe the pit for 2 hours. If the water has not dissipated by 50% within 2 hours, notify landscape architect of such in writing before installing plants in the questionable area. Otherwise contractor shall be held liable for plants.
- Trees shall be installed 3" above finish grade in hardpan areas to provide good drainage unless otherwise directed.
- Groundcover and shrub mass beds shall be cultivated to a depth of 12 inches below grade to break through compacted or hardpan soil. Remove all stones, roots, and weeds. Add specified soil amendments and fertilizer. Install plants, edge bed area, mulch and water thoroughly.
- Set all plants plumb and turned so that the most attractive side is viewed.
- Plants shall be measured to their main structure, not tip to tip of branches.
- Tree pit and shrub pit to be twice the size of the root mass. Fill with plant mix.
- Broken root balls for trees shall be rejected. Contractor to check root balls and expose rootflares to check for root grinding. Do not assess the rootflares is exposed upon purchase from the nursery.
- Any plant materials shipped to site in uncovered vehicles/ trailer shall be rejected regardless of season.
- All tree scars over 1 - 1/2" shall be rejected and tree to be replaced.
- All shrubs to be dense and full. All trees to have a symmetrical growth habit (360 degrees) unless uncharacteristic to plant type or otherwise noted on plans.
- Remove all excess growth of trees and shrubs as directed by landscape architect. Do not cut central leader.
- If rootball is wrapped in non-biodegradable burlap, remove entire wrap after placed in pit.



Landscape Plan



**Johnson Architecture**  
2240 Sutherland Ave., Suite 105  
Knoxville, Tennessee 37919  
865.671.9860  
jainc.com



Patrick Beasley  
865.441.4428  
patrick@beasleya.com



Building Renovation for:  
**THE OUTPOST**  
808 State Street  
Knoxville, Tennessee 37902

LANDSCAPE PLAN

REVISIONS

Revision #	Description	Date

DATE: 12.10.21

PROJECT NO: 213081.2

L1.1