



Staff Report

Infill Housing Design Review Committee

File Number: 6-B-22-IH

Meeting: 6/15/2022
Applicant: Gary Koontz
Owner: Gary Koontz

Property Information

Location: 134 E. Emerald Ave. **Parcel ID** 81 K H 005
Zoning: RN-2 (Single-Family Residential Neighborhood)
District: Oakwood/Lincoln Park Infill Housing Overlay District

Description of Work

Level II Driveways, Parking Pads, Access Points, Garages, or Similar, Additions Visible from the Primary Street, Changes to Porches Visible from the Primary Street

Modifications to front porch, new rear addition, and new parking pad.

Front porch was enclosed in multiple phases to provide additional interior space. Applicant proposes to remove enclosure and restore a front porch with the same footprint (9' deep by 20' wide), and a 4.5/12 pitch shed roof. The leftmost brick column which intersects the bay window will be removed. The applicant is proposing investigatory demolition to uncover original porch details and proposes to retain the half-height brick wall and right two columns if structurally feasible. Otherwise, the applicant will install 12"-15" round columns and a wood railing. One window will be installed in the original façade window opening.

A 10' deep by 18.6' wide, hipped roof addition will be constructed on the rear. The addition will be clad in lap siding, rest on a stucco-clad CMU foundation, and intersect with the rear-facing gable-roof massing.

The application also includes a new 18' by 18' concrete parking pad to extend off McMillan Street.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations.
- On corner lots, a driveway to the garage may be provided off the side street.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original houses on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron columns and other materials that were not used in the 1900s should not be used.

9. Additions

- In making an addition, exterior covering and roof materials, windows, and doors should be selected that are like those original to the house.
- If replacement is necessary, new windows and doors should be in keeping with the styles and openings of the original design.
- Additions should be made to the rear or side of the house. Taller additions should be made to the rear of the house to keep the original scale of the front façade consistent with the other houses along the block.
- The roof line and roofing materials should complement the original house.
- The open appearance of front porches should be maintained; if porches are to be enclosed, glass should be used (without obstructing architectural details) where the open dimensions of the porch had been located.

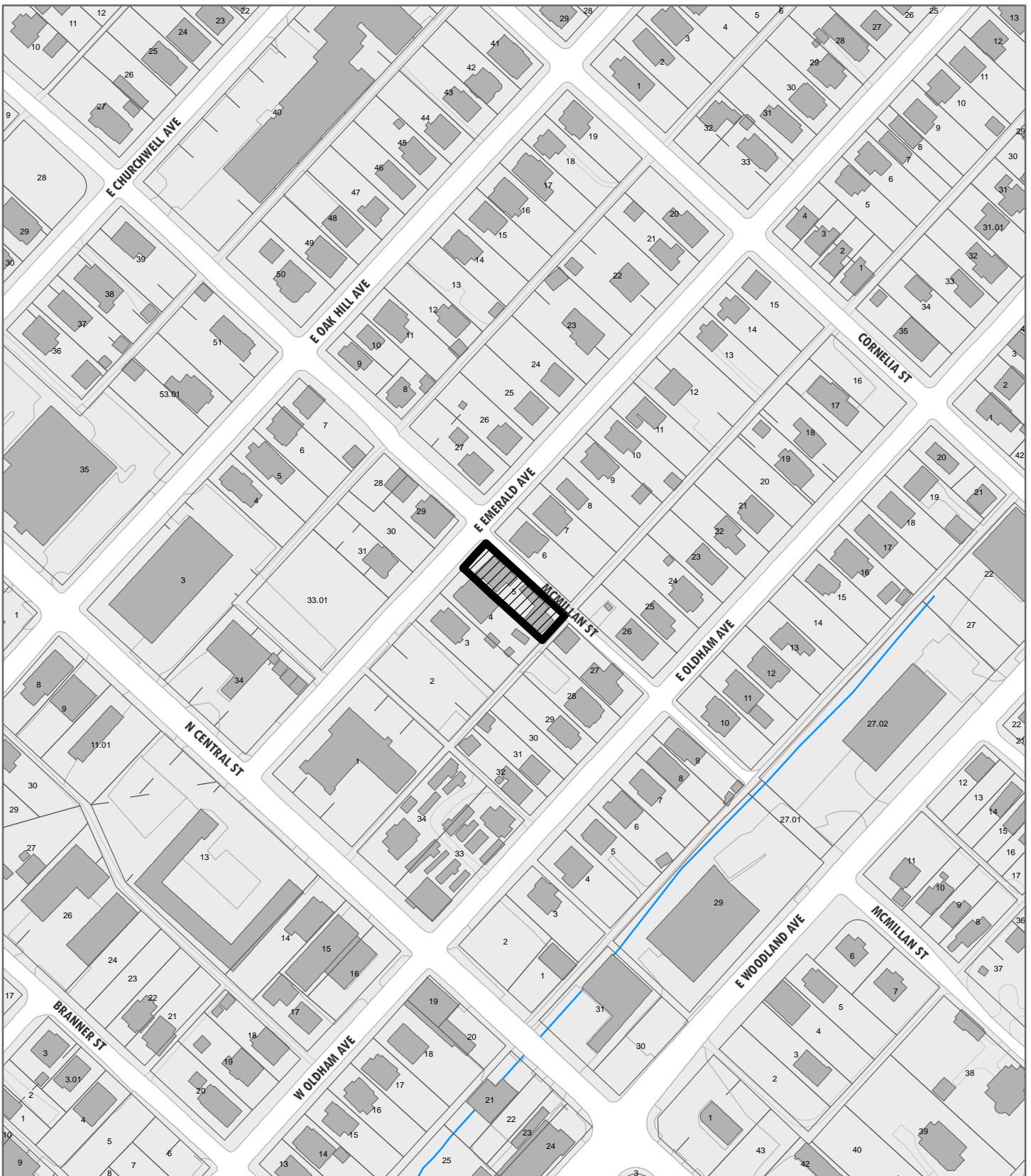
Comments

1. The brick porch supports and foundation are not original to the house and most likely date to the 1920s to 1930s (having acquired historic significance on their own). The front porch enclosure is also not original. Removing the materials enclosing the front porch to recreate the porch's original footprint and transparency of the porch is appropriate within the guidelines. The structural capacity of porch columns and foundation won't be fully clear until the applicant moves forward with investigatory demo. Whether retaining the brick foundation and columns or installing new columns, after completing the investigatory demolition, the applicant should submit final drawings to staff, including proposed materials, locations, and dimensions for columns and railing.
2. The rear addition meets the design guidelines as it is located on the rear of the house and uses a roofline and roofing materials compatible with the original house. The rear addition will occupy the footprint of a rear addition which will be removed. Guidelines note that exterior covering and roof materials should be selected "that are like those original to the house." The proposed lap siding will be compatible, yet differentiated, from the sawn shingle siding the applicant intends to repair and maintain on the main house.
3. As shown on the site plan, the proposal meets the base zoning code for building and impervious coverage, but any modifications to the site plan should stay within the dimensional standards of the base zoning.
4. Guidelines note that "on corner lots, a driveway to the garage may be provided off the side street." City Engineering will also require the driveway to extend off McMillan Street due to drainage issues. Final modifications to the site plan may be necessary to meet City Engineering requirements.
5. The applicant will need to create a lot of record and record a new subdivision plat for the property prior to issuing a building permit.

Recommendation

Staff recommends approval of Certificate 6-B-22-IH, subject to the following conditions:

- 1) Applicant to submit final porch drawing to staff, including proposed materials, locations, and dimensions for porch columns and railing;
- 2) Site plan to remain within the dimensional standards of the RN-2 zoning district;
- 3) Final site plan to meet City Engineering requirements.



6-B-22-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

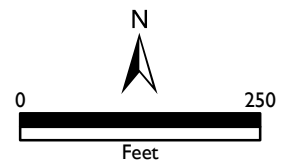
Applicant: Gary Koontz

**INFILL
HOUSING
REVIEW
BOARD**



134 E. Emerald Ave.
Oakwood/Lincoln Park Infill Housing Overlay
District

Original Print Date: 6/7/2022
Revised:
Knoxville/Knox County Planning - Infill Housing Design Review Committee





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Gary Koontz
Applicant

June 15, 2022 6-B-22-IH
Date Filed Meeting Date (if applicable) File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Gary Koontz
Name Company

1600 Ashland Springs Way Knoxville TN 37922
Address City State Zip

865-548-1010 gary@garykoontz.com
Phone Email

CURRENT PROPERTY INFO

Gary Koontz
Owner Name (if different from applicant) Owner Address Owner Phone

134 E. Emerald Ave. Knoxville, TN. 081KH005
Property Address Parcel ID

FV McMillians A Lot
Neighborhood Zoning

AUTHORIZATION

Lindsay Crockett Lindsay Crockett 5.27.22
Staff Signature Please Print Date

[Signature] Gary Koontz 5.27.22
Applicant Signature Please Print Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

(McMillan - side street)

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details. (7x19 1/2')

Brief description of work: *1. Tear off old back porch/addition. Add 10' x 19 1/2' addition - see drawing. 2. Original front porch was enclosed - Porch to be opened back up to original design. See drawing. 3. Parking Pad to be added off McMillan.*

STAFF USE ONLY

ATTACHMENTS

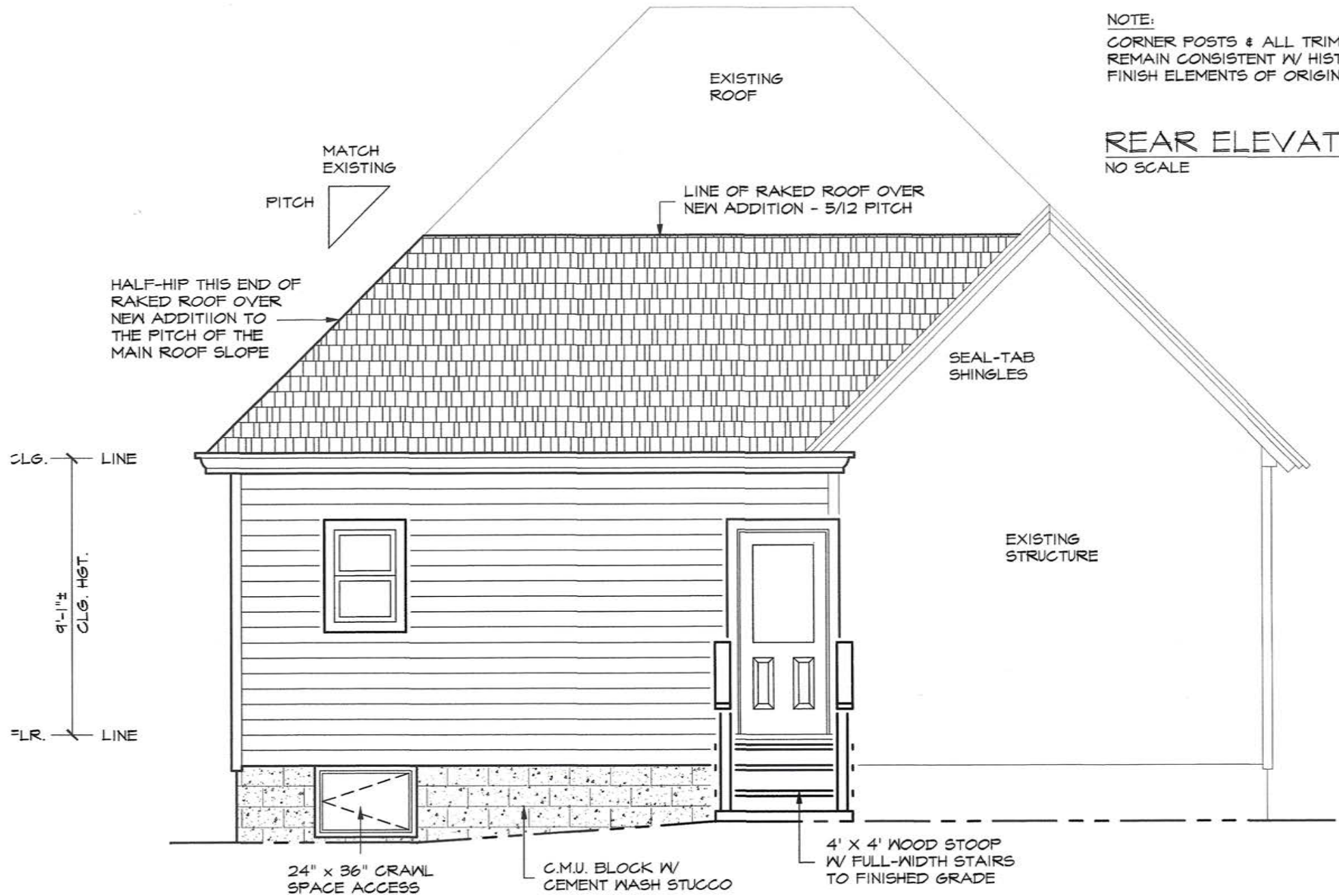
- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

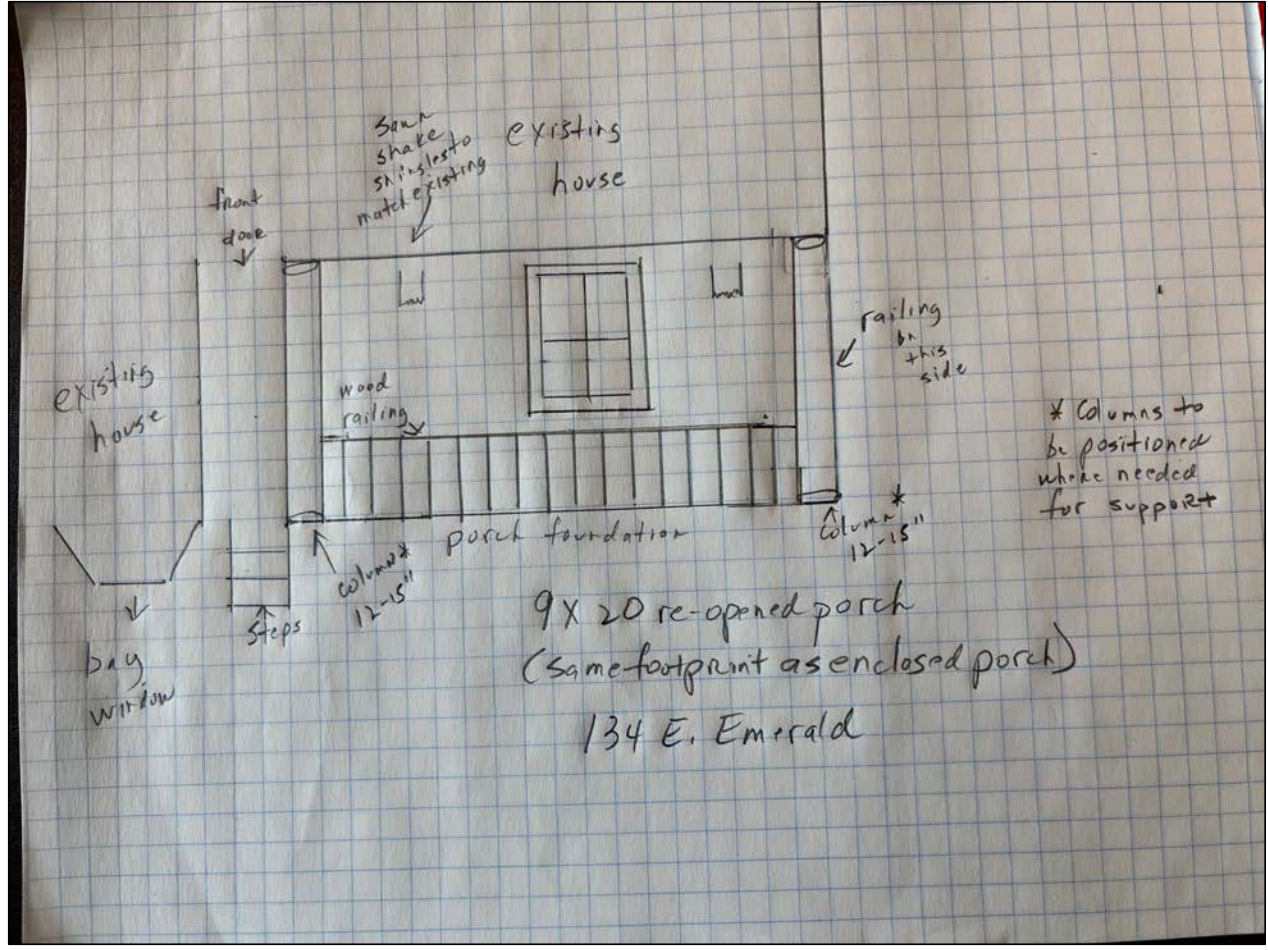
Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
FEE 2:		
FEE 3:		



NOTE:
 CORNER POSTS & ALL TRIM MUST
 REMAIN CONSISTENT W/ HISTORICAL
 FINISH ELEMENTS OF ORIGINAL HOME

REAR ELEVATION
 NO SCALE





Photos provided by applicant



Photos provided by applicant