

Meeting: 6/15/2022
Project: 716 & 718 S. Gay Street
Applicant: Rodney Calvin

Property Information

Location: 716 S. Gay St. **Parcel ID** 95 I F 022 021
Zoning: DK (Downtown Knoxville)
Description:

Adjoining three-story, brick masonry buildings with modified storefronts and decorative brick corbelling along the parapet.

Description of Work

Level II Major Alteration of an Existing Building/Structure, Addition to an Existing Building/Structure
Exterior rehabilitation and new rooftop addition.

Rehabilitation scopes includes the repair and repointing of exterior brick masonry, the replacement of existing windows with one-over-one, double-hung, aluminum-clad windows, and the installation of new steel lintels above the window openings. On the second story of the east elevation, two new windows will be installed at existing openings, along with two new window openings to match the others. Three new window openings will be installed on the third story.

On the façade storefronts, the existing stucco and double entry door on the right storefront will be removed. The right storefront will receive a new aluminum storefront system to match the left side. The exposed steel beam will be cleaned and painted. The rear elevation will be cleaned and repainted, with new window openings created on the first story, and a new steel exterior staircase to be installed with a low-slope, standing-seam metal roof installed above.

The rooftop addition will feature a low-slope, TPO roof, an exterior of vertical fiber cement siding, and three bays of full-light doors on the façade. Additional bays of windows will be located on east and rear elevations. The addition will be recessed from the façade by 36'-3.5", with a steel and horizontal cable guardrail along the parapet.

Applicable Design Guidelines

Downtown Design Guidelines

B. Private Realm

3. Building Materials

3a. Use complimentary materials and elements, especially next to historic buildings.

4. Architectural Character

4a. Encourage first floor uses that draw walk-in traffic; businesses that do not require pedestrian traffic should be

located on other floors.

4b. Enhance pedestrian interest in commercial and office buildings by creating a largely transparent and consistent rhythm of entrances and windows.

4d. Differentiate the architectural features of ground floors from upper floors with traditional considerations such as show-windows, transoms, friezes, and sign boards.

4e. Design top floors to enhance the skyline of the block through cornices and details that are harmonious with adjacent architecture.

5. Ground Floor Doors and Windows

5a. Use consistent rhythm of openings, windows, doorways, and entries.

5b. Orient primary front entrances to the main street; secondary entrances should be clearly defined and oriented to streets or alleys, as appropriate.

5c. Design entrances according to the proportions of the building's height and width.

5e. All windows at the pedestrian level should be clear.

5f. Recess ground floor window frames and doors from the exterior building face to provide depth to the façade.

6. Residential Buildings

6c. Encourage the development of mixed-use buildings with apartments over lower story commercial uses.

Comments

Overall, the proposal adheres to the design guidelines, as the project will remove non-historic modifications to the façade and reinstall a consistent rhythm of doorways to enhance pedestrian interest.

The proposed replacement windows are appropriate within the design guidelines. The original fenestrations will be maintained, with additional transparency created on the side and rear elevations in similar sizes and spacing. Aluminum-clad wood has been approved for replacement windows on historic buildings in downtown Knoxville, and the windows will feature a pane configuration, muntin arrangement and size, and overall size to match the existing.

The historic masonry is a character-defining feature and should be repointed to meet the standards of NPS Preservation Brief 2. Per building codes, seismic upgrades will be necessary to complete the project. Any modifications to the roofline should maintain the brick corbelling detail and the size, dimensions, and design of the parapet.

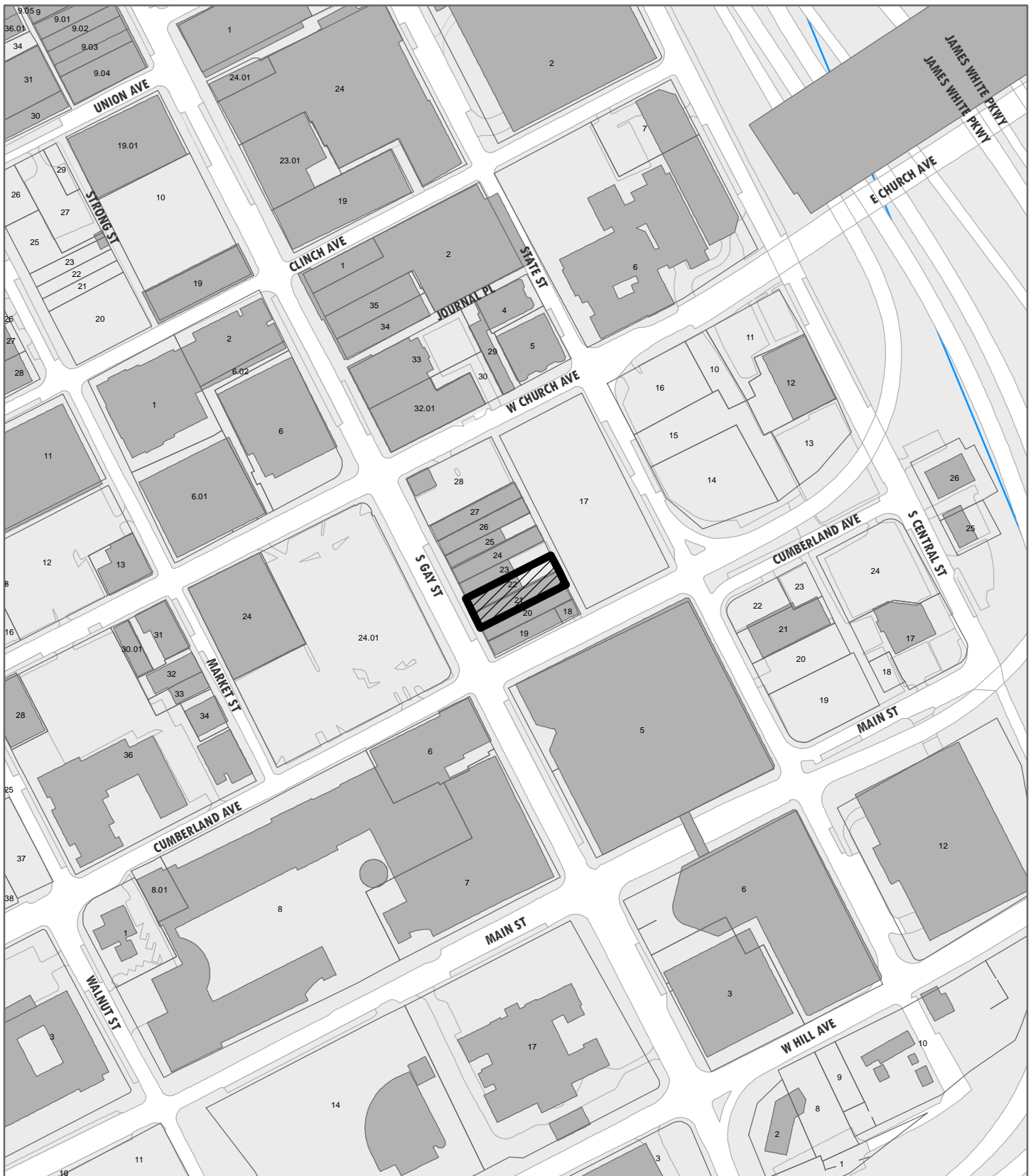
While 716 & 718 S. Gay Street are not listed on the NRHP and not subject to the Historic Resources section of the guidelines, the proposed rooftop addition does meet the relevant guideline, as it is substantially recessed from the façade and will be minimally visible from Gay Street. The rooftop addition will be differentiated from the historic building, and will not require the removal of any character-defining features.

The proposal meets the design standards for the DK-G zone. Any modifications to the site plan, including the installation of a patio or encroachment to the alley, is subject to further review by the City of Knoxville. Associated signage would also return to the DRB or staff.

Recommendation

Staff recommends approval of Certificate 6-A-22-DT, subject to the following conditions:

- 1) Masonry repointing and repair to adhere to NPS Preservation Brief #2;
- 2) Seismic-related modifications to the roofline should preserve size and design of masonry corbelling and parapet;
- 3) Any associated signage to return to the DRB or staff.



6-A-22-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Petitioner: Rodney Calvin

**DOWNTOWN
DESIGN
REVIEW
BOARD**

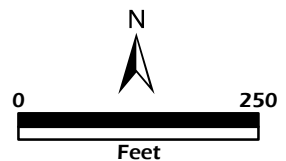


716 S. Gay St.

Level 2: Major alteration of an existing building/structure; Level 2: Addition to an

Original Print Date: 6/7/2022
Knoxville/Knox County Planning · Downtown Design Review Board

Revised:
Knoxville/Knox County Planning · Downtown Design Review Board





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

DKLEVY Architecture & Design

Applicant

05/27/2022

06/15/2022

6-A-22-DT

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Rodney Calvin

DKLEVY Architecture & Design

Name

Company

3523 Maloney Rd.

Knoxville

TN

37920

Address

City

State

Zip

865.474.9264

rodney@dklevy.com

Phone

Email

CURRENT PROPERTY INFO

Manki Investments LLC

521 Lovell Rd, STE 201

865.789.9168

Owner Name (if different from applicant)

Owner Address

Owner Phone

716 - 718 S. Gay St

095IF022; 095IF021

Property Address

Parcel ID

Downtown

DK-G

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

5.27.22

Staff Signature

Please Print

Date

Rodney Calvin

05/27/2022

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: RENOVATION OF A BUILDING LOCATED AT 716 - 718 S. GAY ST. IN DOWNTOWN KNOXVILLE. THE EXISTING GROUND LEVEL COMMERCIAL SPACES WILL BE RENOVATED AS SHELL SPACES. 716 S. GAY ST. WILL BE A BUSINESS OCCUPANCY AND 718 S. GAY ST. WILL BE A RESTAURANT SHELL SPACE. ON THE UPPER LEVELS, THE EXISTING SPACES WILL BE RENOVATED INTO A TOTAL OF (8) RESIDENTIAL UNITS ABOVE AND (1) AT THE ALLEY LEVEL. THE REAR UNITS AT THE UPPER MOST LEVEL WILL BE DESIGNED AS MULT-LEVEL UNITS WITH A NEW PENTHOUSE LEVEL.

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
100.00		
FEE 2:		
		100.00
FEE 3:		

716 - 718 S. GAY STREET MIXED-USE RENOVATION

716-718 S. GAY STREET, KNOXVILLE, TN

GENERAL NOTES

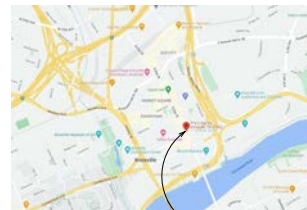
PROJECT INFORMATION

ARCHITECT
DKLEVY PLLC
 3523 Maloney Rd.
 Knoxville, TN 37920
 Phone: 865.474.9264
 Email: dlevy@dklevy.com
 Contact: Daniel Levy, AIA

STRUCTURAL
Fe Design & Engineering, P.C.
 5105 Custis Lane
 Knoxville, TN 37920
 Phone: 865-216-8960
 Email: mary@fedesignandengineering.com
 Contact: Mary French-Ewers, P.E., S.E.

MEP
PROFICIENT ENGINEERING
 4110 Sutherland Ave.
 Knoxville, TN 37919
 Phone: 865.409.5755
 Email: twasmund@proficientengineering.com
 Contact: Thomas Wasmund

NAME: 716 - 718 S. GAY STREET MIXED-USE RENOVATION
 ADDRESS: 716-718 S. GAY STREET, KNOXVILLE, TN
 OWNER:
 DESCRIPTION:
 RENOVATION OF A BUILDING LOCATED AT 716 - 718 S. GAY ST IN DOWNTOWN KNOXVILLE. THE EXISTING SPACES HAVE COMMERCIAL SPACES WILL BE RENOVATED TO SELL SPACES. THE GARDEN WILL BE A BUSINESS OCCUPANCY AND 718 S. GAY ST. WILL BE A RESTAURANT/SHOPS SPACE. ON THE UPPER LEVELS, THE EXISTING SPACES WILL BE RENOVATED INTO A TOTAL OF 16 RESIDENTIAL UNITS AND 12 STUDIO UNITS ON THE GARDEN LEVEL. THE RESIDENTIAL UNITS AT THE UPPER FLOOR LEVEL WILL BE SECURED AS 2-BEDROOM UNITS WITH A NEW PENTHOUSE LEVEL LOCATED AT THE EXISTING ROOF LEVEL.



REGIONAL MAP



LOCAL AERIAL MAP

SITE

SITE

DKLEVY
 architecture + design
 3523 MALONEY RD. • KNOXVILLE, TN 37920 • 865.474.9264 • WWW.DKLEVY.COM • INFO@DKLEVY.COM

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 p. 865.474.9264 www.dklevy.com



716 - 718 S. GAY STREET MIXED-USE RENOVATION

CONCEPT

CODE INFORMATION
 TYPE OF CONSTRUCTION:
 OCCUPANCY CLASS:
 FIRE PROTECTION SYSTEMS

REVISIONS			21111 716 - 718 S. GAY STREET MIXED-USE RENOVATION	
NO	DESCRIPTION	DATE	ISSUE DATE	05.27.2022

CLIENT: 716-718 S. GAY STREET, KNOXVILLE, TN
 ADDRESS:
 SCALE:

G000
 COVER SHEET

DEMO PLAN GENERAL NOTES

MAINTAIN PROTECTED EGRESS AND ACCESS TO THE WORK. ACCESS TO EXISTING EXITWAYS TO REMAIN OPEN AT ALL TIMES DURING CONSTRUCTION.

DISCONNECT, REMOVE, CAP AND IDENTIFY DESIGNATED UTILITIES WITHIN DEMOLITION AREAS.

DEMOLISH IN AN ORDERLY AND CAREFUL MANNER. PROTECT EXISTING SUPPORTING STRUCTURAL MEMBERS AND MATERIALS.

EXCEPT WHERE NOTED OTHERWISE, REMOVE DEMOLISHED MATERIALS FROM SITE. DO NOT BURY OR BURN MATERIALS ON SITE.

REMOVE DEMOLISHED MATERIALS FROM SITE AS WORK PROGRESSES. UPON COMPLETION OF WORK, LEAVE AREAS IN CLEAN CONDITION.

BEFORE ANY DEMOLITION, CONTRACTOR TO VERIFY EXTENT OF WORK AND ISOLATE WORK AREA. VERIFY THAT ALL PARTITIONS WHICH ARE NOT BREAK OR LOAD BEARING.

THE CONTRACTOR AND SUB CONTRACTORS SHALL FIELD INSPECT ALL EXISTING CONDITIONS WHICH MAY REMAIN. IDENTIFY DAMAGE AND PROVIDE PATCHING AND REPAIR OF THESE ITEMS.

DEMOLITION SCOPE AND INTENT IS TO PROVIDE A REQUIRED WORK TO ENABLE NEW WORK TO TAKE PLACE (SEPARATE PERMIT).

THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS, ANY ALL NON-CLAIMED ITEMS BY THE OWNER ARE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE.

CONTRACTOR SHALL VISIT THE SITE AND BRING ANY DISCREPANCIES BETWEEN THE SPACE CONDITIONS AND THE NOTES ABOVE TO THE ATTENTION OF THE ARCHITECT AND ENGINEER. CONTRACTOR SHALL PROVIDE LABOR AND MATERIALS TO ACHIEVE THE INTENDED DEMOLITION AS INDICATED IN THESE NOTES AND SCOPE AREAS AS SHOWN ON PLANS.

DO NOT REMOVE STRUCTURAL ELEMENTS WITHOUT APPROVAL OF DESIGN ARCHITECT. PROVIDE TEMPORARY SUPPORT TO EXISTING CONSTRUCTION. SUCH SUPPORT SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER.

REMOVE DIRT, DUST, AND LOOSE DEBRIS FROM BUILDING. BUILDING SHALL BE SWEEP CLEAN IMMEDIATELY PRIOR TO COMPLETION OF WORK.

THE CONDITIONS INDICATED ON PLANS ARE BASED ON EXISTING CONDITIONS. SLIGHT VARIATIONS IN ACTUAL INSTALLED CONDITIONS MAY BE ENCOUNTERED DURING CONSTRUCTION. PLEASE NOTIFY ARCHITECT OF DISCREPANCIES.

CAP ANY UNUSED PLUMBING & ELECTRICAL CONDUIT BELOW FINISH FLOOR OR REE OF WALL. PATCH AND REPAIR FLOORS AND WALLS AS REQUIRED PRIOR TO INSTALLATION OF FIXTURES.

DEMOLISH ANY UNUSED LIGHTING, HVAC DUCTWORK, ELECTRICAL CONDUIT BRACING, ETC FROM CEILING AREA. PATCH AND REPAIR AS NECESSARY.

PROTECT EXISTING MATERIALS AND FINISHES THAT ARE NOT SCHEDULED OR OTHERWISE REQUIRED TO BE DEMOLISHED.

AT AREAS RECEIVING NEW FINISHES, REMOVE ALL EXISTING FLOOR FINISHES INCLUDING WALL BASE IN AREAS OF DEMOLITION. BE SURE TO REMOVE ALL ADHESIVE, ETC. PATCH AND REPAIR FLOOR AND WALLS AS REQUIRED BEFORE INSTALLING NEW FINISHES.

ACCURATELY RECORD ACTUAL LOCATIONS OF CAPPED UTILITIES AND SUBSURFACE OBSTRUCTIONS.

PERFORM WORK OF THIS SECTION UNDER PROVISIONS OF IBC CHAPTER 31, AND NFPA 241 FOR DEMOLITION WORK. SAFETY OF STRUCTURE, DUST CONTROL, AND SAFETY OF OCCUPANTS.

DO NOT CLOSE OR OBSTRUCT EGRESS WIDTH TO EXITS.

CONFORM TO PROCEDURES APPLICABLE WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS.

PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AS REQUIRED.

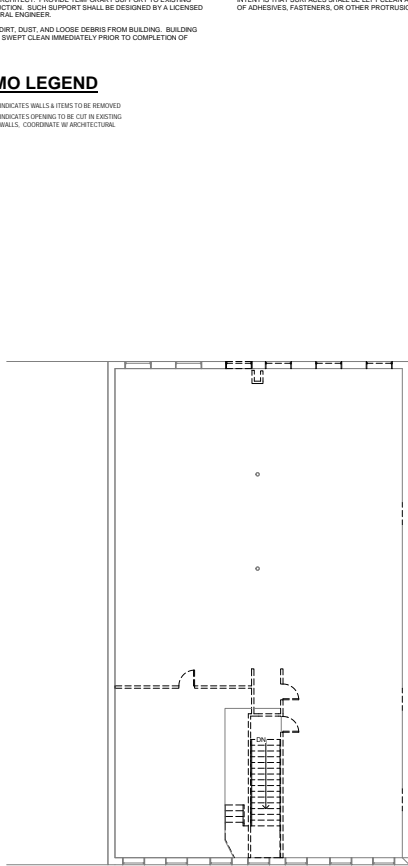
CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT AND OCCUPIED PROPERTIES.

PROVIDE BARRICADES AND DEMARK AREAS OF DANGER IN ORDER TO PROVIDE SAFE PASSAGE OF PEOPLE AROUND AREA OF WORK.

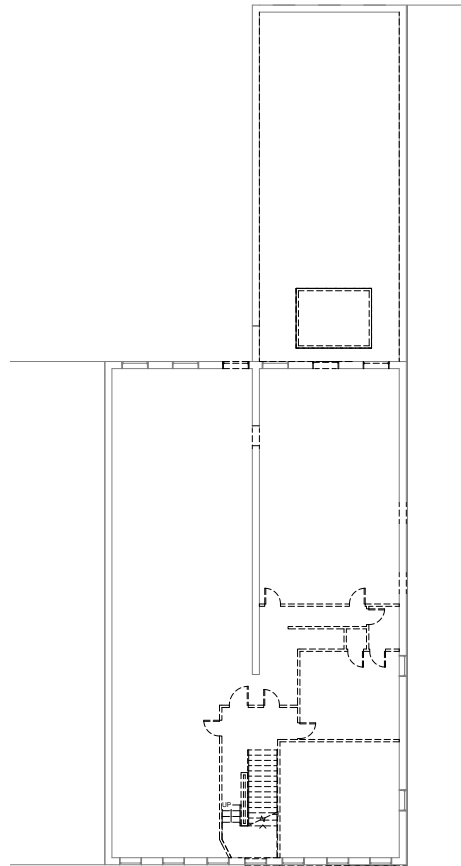
INTENT IS THAT SURFACES SHALL BE LEFT CLEAN AND SMOOTH. FREE OF ADHESIVES, FASTENERS, OR OTHER PROTRUSIONS.

DEMO LEGEND

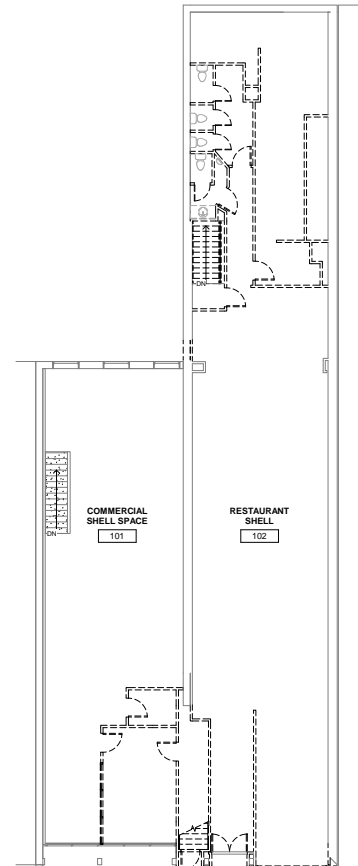
- INDICATES WALLS & ITEMS TO BE REMOVED
- - - - - INDICATES OPENING TO BE CUT IN EXISTING WALLS. COORDINATE W/ ARCHITECTURAL.



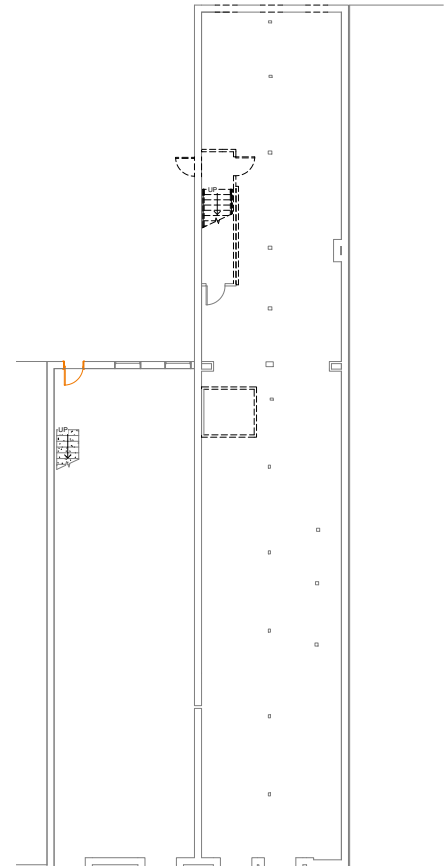
04 TOP LEVEL
1/8" = 1'-0"



03 ABOVE GAY STREET - EXIST. & DEMO
1/8" = 1'-0"



02 GAY STREET - EXIST & DEMO
1/8" = 1'-0"



01 ALLEY (BASEMENT LEVEL) - EXIST. & DEMO
1/8" = 1'-0"



WALL RATING LEGEND	
	INDICATES NON RATED PARTITION
	INDICATES NON RATED SOUND PARTITION
	INDICATES 1 HR RATED FIRE PARTITION
	INDICATES 2 HR RATED FIRE PARTITION

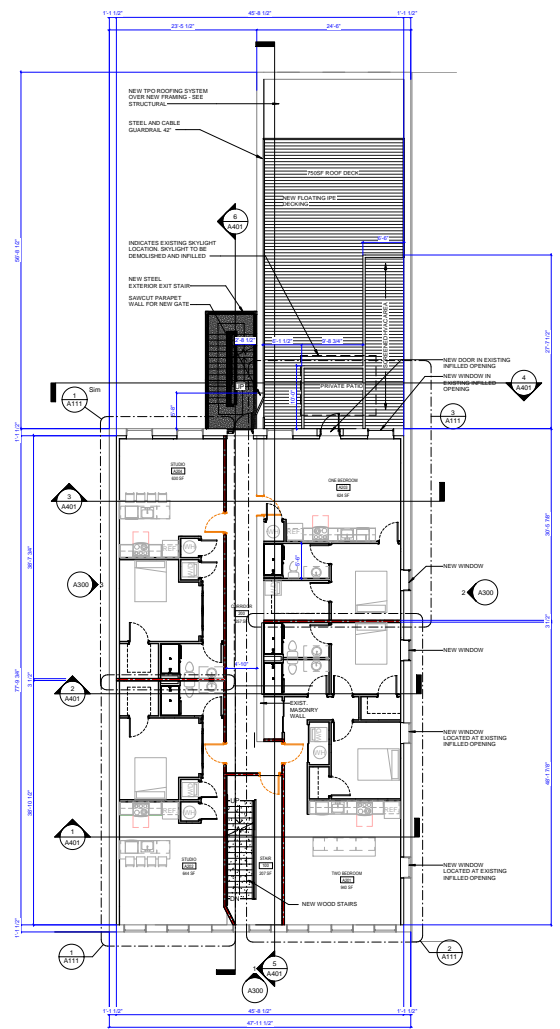
NOTE: SEE WALL SECTIONS FOR EXTERIOR WALL TYPES NOT INCLUDED ABOVE.

FLOOR PLAN NOTES

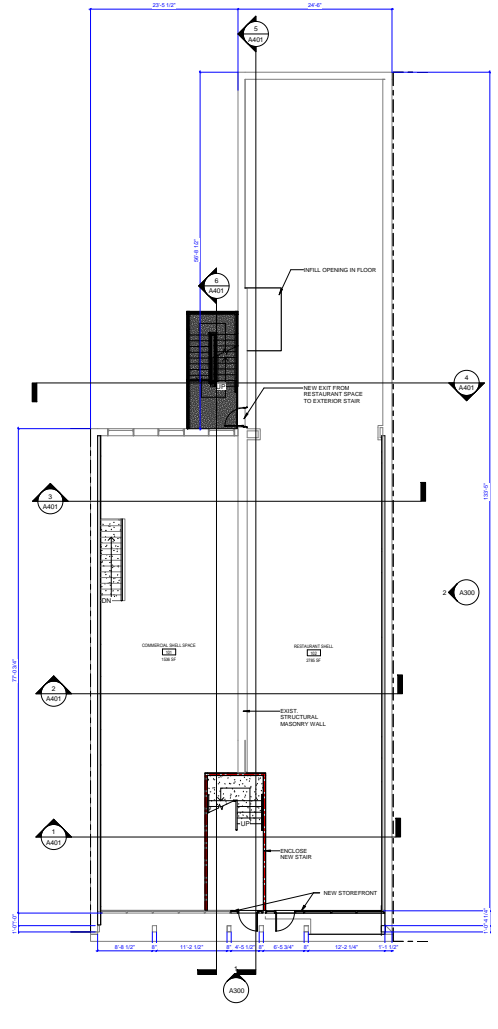
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. CLEAR DISTANCE DENOTES CLEAR BETWEEN FINISH WALLS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS COVER ALL PARTITION LOCATIONS, DIMENSIONS & TYPES. DOOR & WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN IN CASE OF CONFLICT. NOTIFY ARCHITECT PARTITION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.
- MAINTAIN INTEGRITY OF PARTITION RATINGS WHERE RECESSED EQUIPMENT OR FIXTURES ARE TO BE PLACED.
- PROVIDE AND INSTALL INSULATION FULL HEIGHT OF ALL INTERIOR AND EXTERIOR WALLS
- CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR WITH PARTICLES FOR REVIEW BY OWNER AND ARCHITECT PRIOR TO THE INSTALLATION OF STUD SOLE PLATE. REVIEW WILL BE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL COORDINATE AND VERIFY ALL LOCATIONS TO INSURE PROPER FIT.
- PROVIDE AND INSTALL MOISTURE RESISTANT GIP SD ON ALL WALLS AND CEILING IN BATH, RESTROOM, JANITOR CLOSETS, AND FOR FULL HEIGHT OF ALL CABINET WALLS WHERE SINKS ARE LOCATED.
- GC SHALL PROVIDE IN-WALL BLOCCING FOR ALL MILLWORK OVERHEAD UNITS. COORDINATE WITH INSTALLER FOR REQUIRED SIZE AND TYPE.
- ALL WOOD IN CONTACT WITH W/ CONCRETE OR MASONRY SHALL BE PRESURE TREATED.
- RESIDENT CLOSETS TO HAVE SHELVING PER DTL.
- LAUNDRY EQUIPMENT AND FURNITURE IS PROVIDED BY UNIT TENANT.

- SHOWERS**
- BATHROOMS DESIGNED AS OPTION A
- ACCESSIBLE ROUTE - 36" WIDE
- 48" X 54" CLEAR FLOOR SPACE AT WATER CLOSET
- 30" X 48" CLEAR FLOOR SPACE AT THE FOLLOWING LOCATIONS:
- CENTERED ON LAVATORY
 - AT SHOWER ENTRANCE
 - CENTERED ON LAUNDRY EQUIPMENT
 - CENTERED AT HITCHEN EQUIPMENT
- 30" X 30" MIN. SHOWER COMPARTMENT. SEE PLANS FOR DIMENSIONS
- AT WATER CLOSETS, REINFORCEMENT SHALL BE INSTALLED TO ACCOMMODATE THE FUTURE INSTALLATION OF SWING UP GRAB BARS OF 5/8" LENGTH ON EACH SIDE.

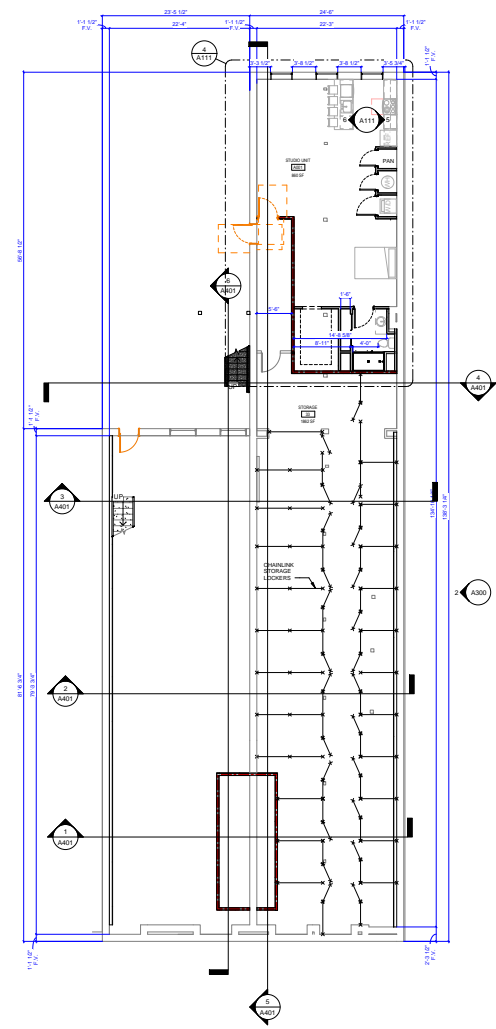
NOTE: STEEL BEAMS AND COLUMNS WITHIN EXTERIOR WALLS AND OUTSIDE OF THE BUILDING SHALL BE 2HR FIRE RATED WITH AN INTUMESCENT COATING. SEE SHEET A00 FOR ASSEMBLY.



03 ABOVE GAY STREET PROPOSED
1/8" = 1'-0"



02 GAY STREET - PROPOSED
1/8" = 1'-0"



01 ALLEY PROPOSED
1/8" = 1'-0"

DKLEVY
architecture + design
3523 Maloney Rd., Knoxville, TN 37920
p. 865.474.9264 www.dklevy.com



716 - 718 S. GAY STREET MIXED-USE RENOVATION
CONCEPT

CODE INFORMATION
TYPE OF CONSTRUCTION:
OCCUPANCY CLASS:
FIRE PROTECTION SYSTEMS

REVISIONS		
NO	DESCRIPTION	DATE

21111 716 - 718 S. GAY STREET MIXED-USE RENOVATION
ISSUE DATE 05.27.2022
CLIENT
ADDRESS 716-718 S. GAY STREET, KNOXVILLE, TN
SCALE As indicated

A101
FLOOR PLANS

WALL RATING LEGEND	
	INDICATES NON RATED PARTITION
	INDICATES NON RATED SOUND PARTITION
	INDICATES 1 HR RATED FIRE PARTITION
	INDICATES 2 HR RATED FIRE PARTITION

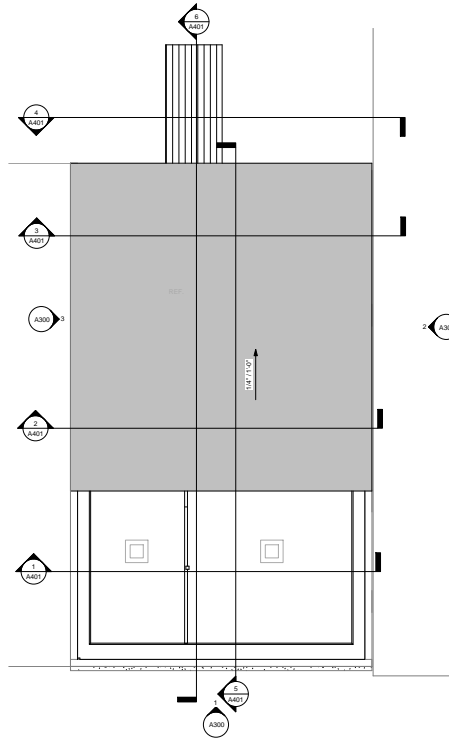
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FLOOR PLAN NOTES

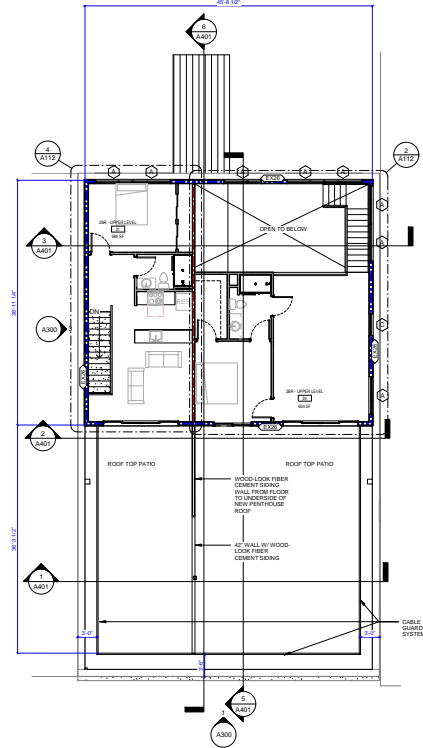
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. CLEAR DISTANCE DENOTES CLEAR BETWEEN FINISH WALLS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS & TYPES, DOOR & WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN IN CASE OF CONFLICT NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.
- MAINTAIN INTEGRITY OF PARTITION RATINGS WHERE RECESSED EQUIPMENT OR FIXTURES ARE TO BE PLACED.
- PROVIDE AND INSTALL INSULATION FULL HEIGHT OF ALL INTERIOR AND EXTERIOR WALLS.
- CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR WITH PAINTCHALK FOR REVIEW BY OWNER AND ARCHITECT PRIOR TO THE INSTALLATION OF STUD SOLE PLATE. REVIEW WILL BE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL COORDINATE AND VERIFY ALL LOCATIONS TO ENSURE PROPER FIT.
- PROVIDE AND INSTALL MOISTURE RESISTANT GYP BD ON ALL WALLS AND CEILINGS IN BATHS, RESTROOMS, JANITOR CLOSETS, AND FOR FULL HEIGHT OF ALL CABINET WALLS WHERE SINKS ARE LOCATED.
- GC SHALL PROVIDE IN-WALL BLOCKING FOR ALL MILLWORK OVERHEAD UNITS. COORDINATE WITH INSTALLER FOR REQUIRED SIZE AND TYPE.
- ALL WOOD IN CONTACT WITH W/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- RESIDENT CLOSETS TO HAVE SHELVING PER DTL.
- LAUNDRY EQUIPMENT AND FURNITURE IS PROVIDED BY UNIT TENANT.

TYPE UNITS

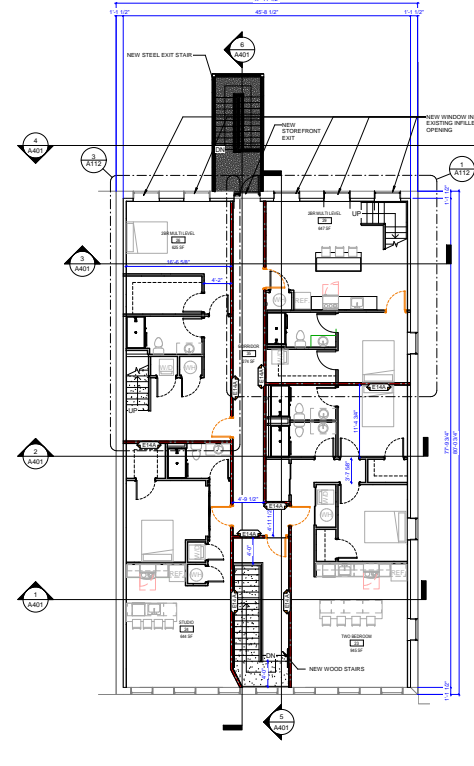
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- 30" X 48" CLEAR FLOOR SPACE AT THE FOLLOWING LOCATIONS:
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 - AT SHOWER ENTRANCE
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 - CENTERED ON KITCHEN EQUIPMENT
- 30" X 30" MIN. SHOWER COMPARTMENT. SEE PLANS FOR DIMENSIONS
- AT WATER CLOSETS, REINFORCEMENT SHALL BE INSTALLED TO ACCOMMODATE THE FUTURE INSTALLATION OF BRING UP URGS BARS (30" MIN LENGTH) ON EACH SIDE.
- NOTE: STEEL BEAMS AND COLUMNS WITHIN EXTERIOR WALLS AND OUTSIDE OF THE BUILDING SHALL BE FIRE RATED WITH AN INTERMEDIATE COATING. SEE SHEET A022 FOR UL ASSEMBLY.



07 PENTHOUSE ROOF
1/8" = 1'-0"



06 NEW PENTHOUSE LEVEL
1/8" = 1'-0"



04 TOP LEVEL PROPOSED
1/8" = 1'-0"



CODE INFORMATION
TYPE OF CONSTRUCTION:
OCCUPANCY CLASS:
FIRE PROTECTION SYSTEMS

REVISIONS			21111 716 - 718 S. GAY STREET MIXED-USE RENOVATION	
NO	DESCRIPTION	DATE	ISSUE DATE	05.27.2022

CLIENT
ADDRESS 716-718 S. GAY STREET, KNOXVILLE, TN
SCALE As Indicated

A102
FLOOR PLANS

FLOOR PLAN NOTES

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- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS & TYPES, DOORS & WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN IN CASE OF CONFLICT NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.
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- LAUNDRY EQUIPMENT AND FURNITURE IS PROVIDED BY UNIT TENANT.

WALL RATINGS

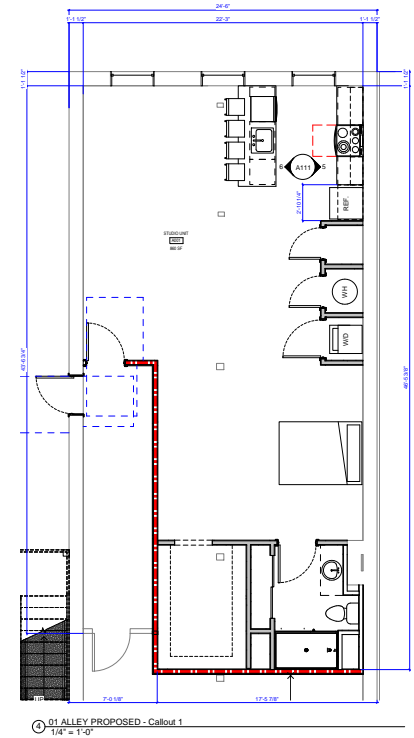
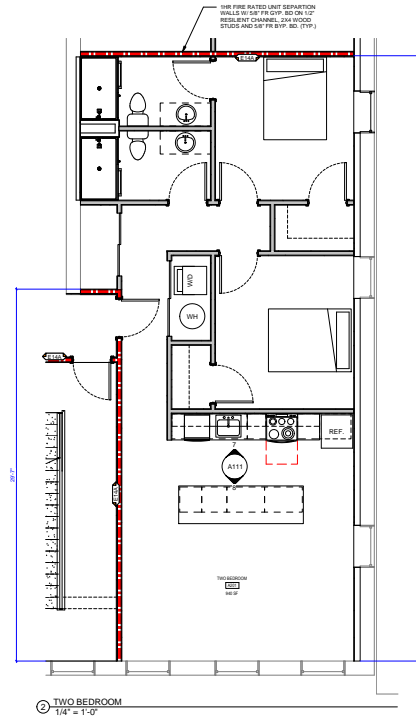
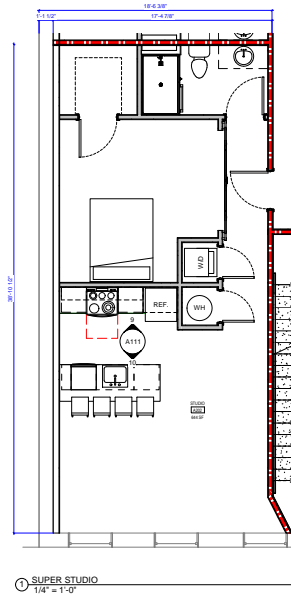
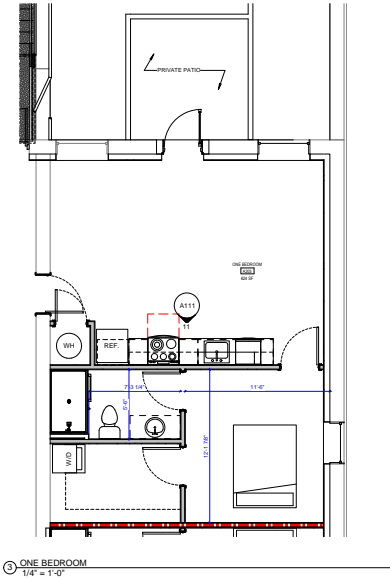
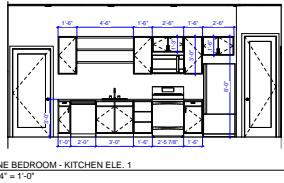
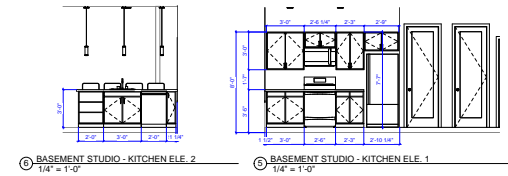
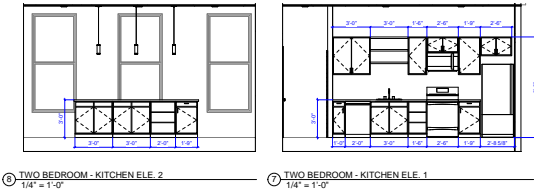
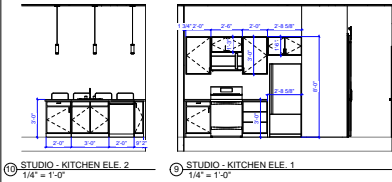
- BATHROOMS DESIGNED AS OPTION A
- ACCESSIBLE ROUTE: 3" WIDE
- 48" X 50" CLEAR FLOOR SPACE AT WATER CLOSET
- 30" X 48" CLEAR FLOOR SPACE AT THE FOLLOWING LOCATIONS:
- CENTERED ON LAVATORY
 - AT SHOWER ENTRANCE
 - CENTERED ON LAUNDRY EQUIPMENT
 - CENTERED AT KITCHEN EQUIPMENT
- 30" X 30" MIN. SHOWER COMPARTMENT. SEE PLANS FOR DIMENSIONS AT WATER CLOSETS. REINFORCEMENT SHALL BE INSTALLED TO ACCOMMODATE THE FUTURE INSTALLATION OF STIRRUP BARS BARS @ 8" MIN LENGTH ON EACH SIDE.

WALL RATING LEGEND

- INDICATES NON RATED PARTITION
- INDICATES NON RATED SOUND PARTITION
- INDICATES 1 HR RATED FIRE PARTITION
- INDICATES 2 HR RATED FIRE PARTITION

NOTE: SEE WALL SECTIONS FOR EXTERIOR WALL TYPES NOT INCLUDED ABOVE.

NOTE: STEEL BEAMS AND COLUMNS WITHIN EXTERIOR WALLS AND CORES OF THE BUILDING SHALL BE 2HR FIRE RATED WITH AN INTERRUPTED COATING. SEE SHEET A03 FOR US. ASSEMBLY.



REVISIONS		
NO	DESCRIPTION	DATE

WALL RATING LEGEND	
	INDICATES NON RATED PARTITION
	INDICATES NON RATED SOUND PARTITION
	INDICATES 1 HR RATED FIRE PARTITION
	INDICATES 2 HR RATED FIRE PARTITION
NOTE: SEE WALL SECTIONS FOR EXTERIOR WALL TYPES NOT INCLUDED ABOVE.	

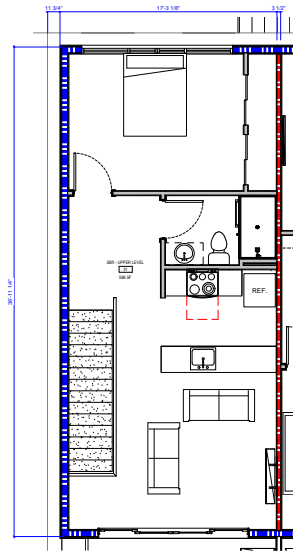
FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD/UNLESS NOTED OTHERWISE. CLEAR DISTANCE DIMOTES CLEAR BETWEEN FINISH WALLS.
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS & TYPES, DOOR & WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN IN CASE OF CONFLICT, NOTES ABOVE/TEXT, PARTITION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.
- MAINTAIN INTEGRITY OF PARTITION RATINGS WHERE RECESSED EQUIPMENT OR FIXTURES ARE TO BE PLACED.
- PROVIDE AND INSTALL INSULATION FULL HEIGHT OF ALL INTERIOR AND EXTERIOR WALLS.
- CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR WITH PARTI-CHALK FOR REVIEW BY OWNER AND ARCHITECT PRIOR TO THE INSTALLATION OF STUD SOLE PLATE. REVIEW WILL BE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL COORDINATE AND VERIFY ALL LOCATIONS TO ENSURE PROPER FIT.
- PROVIDE AND INSTALL MOISTURE RESISTANT GYP BD. ON ALL WALLS AND CEILING IN BATH, RESTROOM, JANITOR CLOSET, AND FOR FULL HEIGHT OF ALL CABINET WALLS WHERE SINKS ARE LOCATED.
- GC SHALL PROVIDE IN-WALL BLOCKING FOR ALL MILLWORK OVERHEAD UNITS. COORDINATE WITH INSTALLER FOR REQUIRED SIZE AND TYPE.
- ALL WOOD IN CONTACT WITH W/ CONCRETE OR MASONRY SHALL BE PRESURE TREATED.
- RESIDENT CLOSETS TO HAVE SHELVING PER DTL.
- LAUNDRY EQUIPMENT AND FURNITURE IS PROVIDED BY UNIT TENANT.

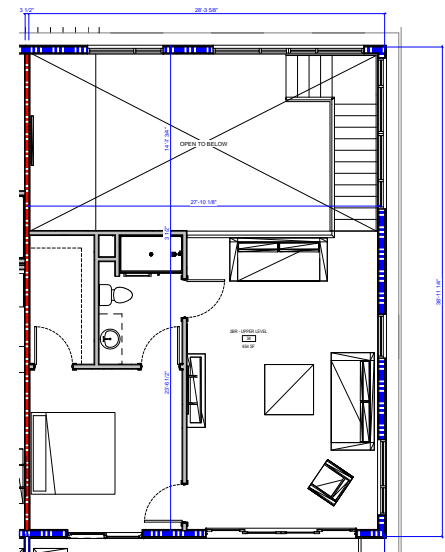
TYPE & USAGE

- BATHROOMS DESIGNED AS OPTION A
 ACCESSIBLE ROUTE = 36" WIDE
 48" X 36" CLEAR FLOOR SPACE AT WATER CLOSET
 30" X 48" CLEAR FLOOR SPACE AT THE FOLLOWING LOCATIONS:
- CENTERED ON LAVATORY
 - AT SHOWER ENTRANCE
 - CENTERED ON LAUNDRY EQUIPMENT
 - CENTERED AT KITCHEN EQUIPMENT
- 30" X 36" MIN. SHOWER COMPARTMENT. SEE PLANS FOR DIMENSIONS AT WATER CLOSETS. REINFORCEMENT SHALL BE INSTALLED TO ACCOMMODATE THE FUTURE INSTALLATION OF SVING UP GRAB BARS (OF MIN LENGTH) ON EACH SIDE.

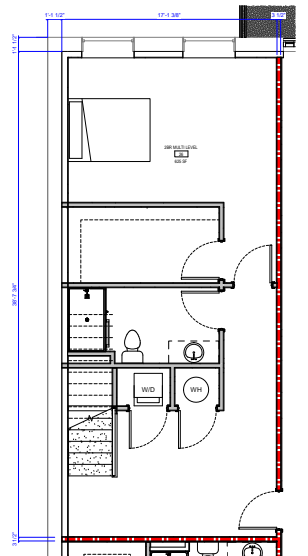
NOTE: STEEL BEAMS AND COLUMNS WITHIN EXTERIOR WALLS AND OUTSIDE OF THE BUILDING SHALL BE COR FIRE RATED WITH INSULATION. COATING. SEE SHEET A022 FOR UL ASSEMBLY.



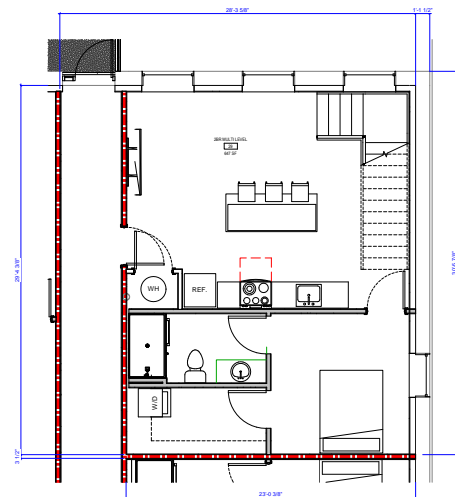
2BR - MULTI LEVEL - UPPER LEVEL
1/4" = 1'-0"



2BR - MULTI LEVEL - UPPER
1/4" = 1'-0"



2BR - MULTI LEVEL - LOWER LEVEL
1/4" = 1'-0"



2BR - MULTI LEVEL - LOWER LEVEL
1/4" = 1'-0"



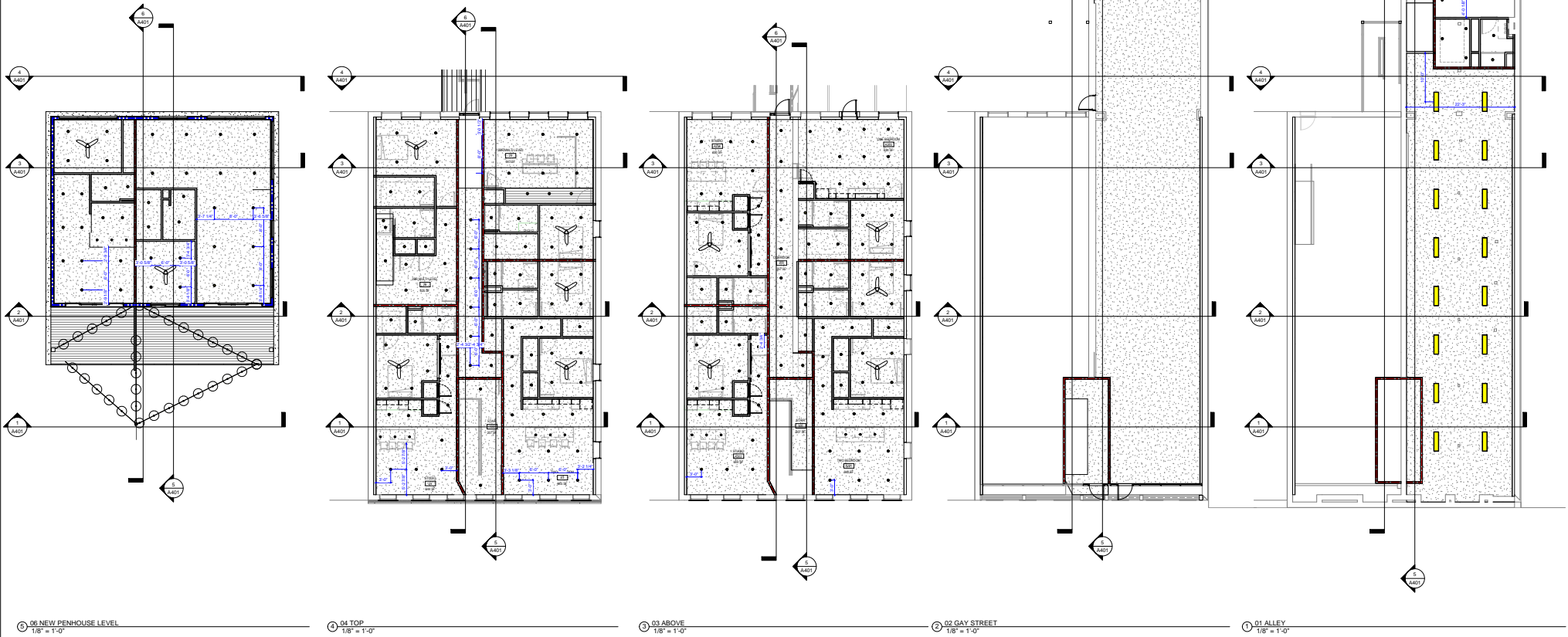
CODE INFORMATION
 TYPE OF CONSTRUCTION:
 OCCUPANCY CLASS:
 FIRE PROTECTION SYSTEMS

REVISIONS		
NO	DESCRIPTION	DATE

21111 716 - 718 S. GAY STREET MIXED-USE RENOVATION
 ISSUE DATE 05.27.2022
 CLIENT
 ADDRESS 716-718 S. GAY STREET, KNOXVILLE, TN
 SCALE As indicated

REFLECTED CEILING PLAN LEGEND

CEILING CONSTRUCTION	LIGHTING FIXTURES	SEE ELECTRICAL DRAWINGS AND SCHEDULES
PART OF 1 HR UL RATED ASSEMBLY	SURFACE MOUNTED	
5/8" F.B. GWB ON 1/2" RESILIENT CHANNEL	SURFACE MOUNTED, RECESSED CHANDELIER	
5/8" GWS SUSPENDED CEILING	RECESSED TROFFER	
UGS DRYWALL SUSPENSION SYSTEM	DECORATIVE PENDANT	
1/4" FLAT STOCK TRIM	VANITY	
2'x2" ACOUSTIC TILE DROP CEILING	EXTERIOR WALL SCONCE	
2'x4" ACOUSTIC TILE DROP CEILING	INTERIOR WALL SCONCE @ 12" AFF. ADA	
	TRACK LIGHTING	



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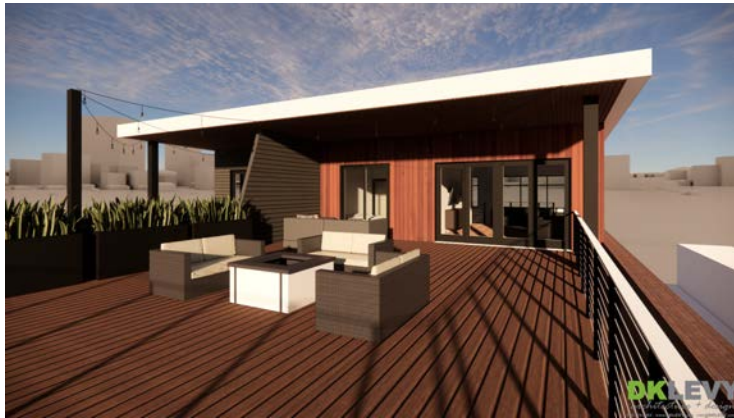
716 - 718 S. GAY STREET MIXED-USE RENOVATION
 CONCEPT

CODE INFORMATION
 TYPE OF CONSTRUCTION:
 OCCUPANCY CLASS:
 FIRE PROTECTION SYSTEMS

REVISIONS		
NO	DESCRIPTION	DATE

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 ISSUE DATE 05.27.2022
 CLIENT
 ADDRESS 716-718 S. GAY STREET, KNOXVILLE, TN
 SCALE 1/8" = 1'-0"

A201
 RCP'S

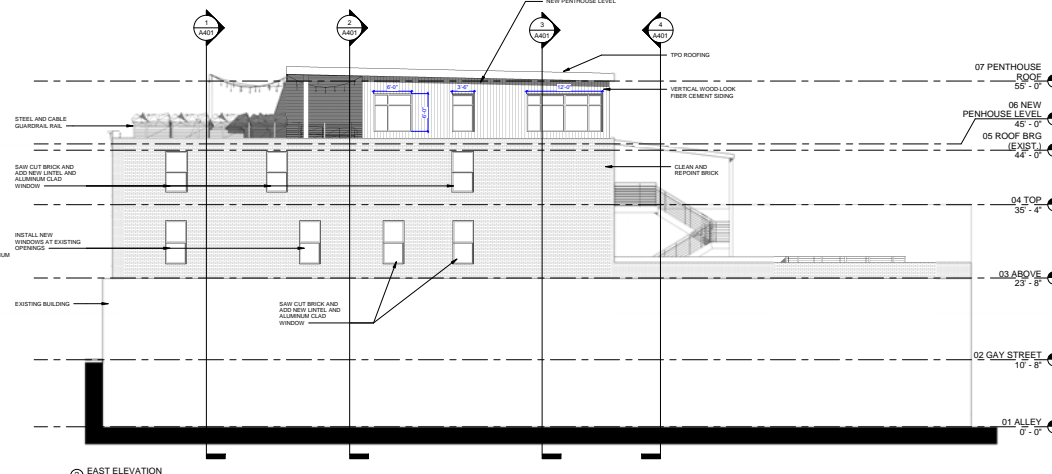
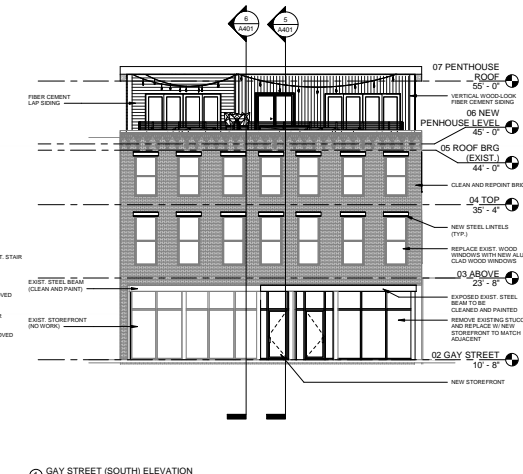
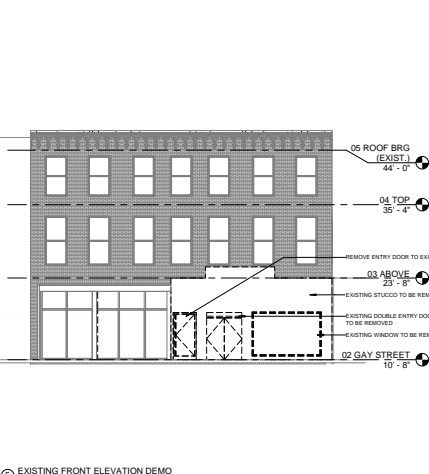
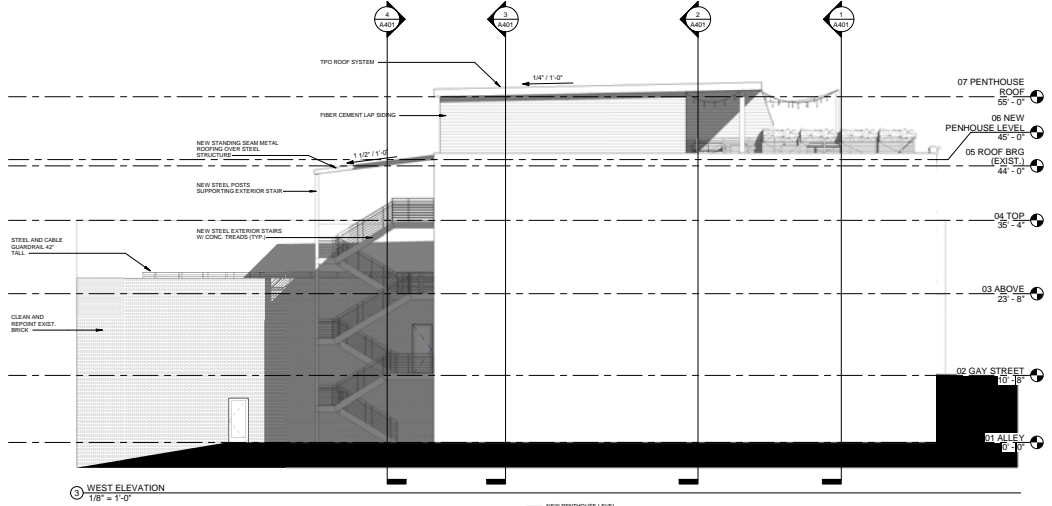
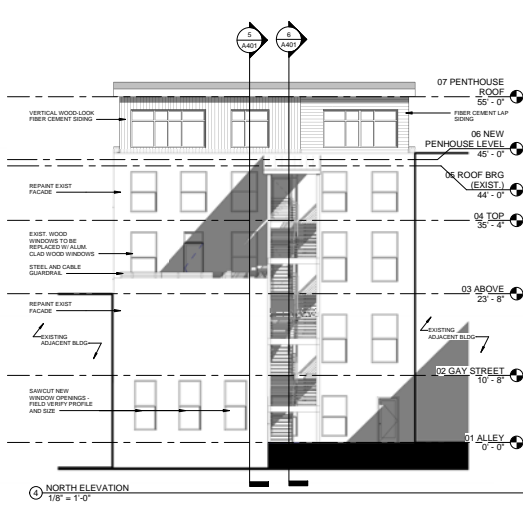


716 - 718 S. GAY STREET MIXED-USE RENOVATION
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 FIRE PROTECTION SYSTEMS

REVISIONS		
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ADDRESS	716-718 S. GAY STREET, KNOXVILLE, TN
SCALE	



⑤ EXISTING FRONT ELEVATION DEMO
1/8" = 1'-0"

① GAY STREET (SOUTH) ELEVATION
1/8" = 1'-0"

② EAST ELEVATION
1/8" = 1'-0"



716 - 718 S. GAY STREET MIXED-USE RENOVATION

CONCEPT

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FIRE PROTECTION SYSTEMS

REVISIONS			21111 716 - 718 S. GAY STREET MIXED-USE RENOVATION	
NO	DESCRIPTION	DATE	ISSUE DATE	05.27.2022

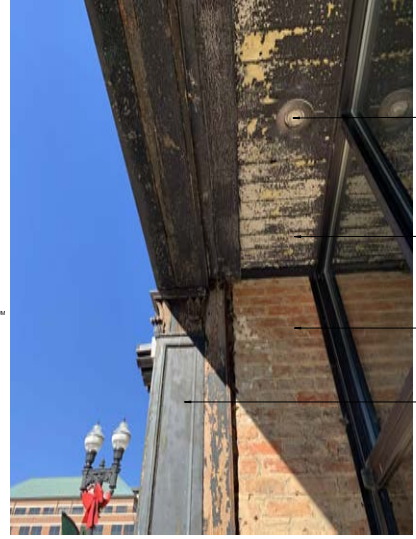
CLIENT
ADDRESS 716-718 S. GAY STREET, KNOXVILLE, TN
SCALE 1/8" = 1'-0"
A300
ELEVATIONS



- CLEAN AND REPOINT BRICK
- REPLACE EXIST. WOOD WINDOW WITH NEW ALUMINUM CLAD WOOD WINDOWS
- REMOVE EXISTING STUCCO AND REPLACE WITH NEW STUCCO TO MATCH ADJACENT
- EXIST. STEEL BEAM (CLEAN AND PAINT)
- REPLACE EXIST. SOFFIT WITH NEW METAL SOFFIT
- EXIST. STOREFRONT (NO WORK)
- SPRINT AND PAINT EXISTING TRIM AT COLLARING
- REPAIR TILING
- REPAIR EXISTING ENTRY STOOP



- CLEAN AND REPOINT BRICK
- REMOVE EXISTING WOOD UNITS AND REPLACE WITH NEW STEEL UNITS (TYP.)
- REPLACE EXIST. WOOD WINDOW UNITS WITH NEW ALUMINUM CLAD WOOD WINDOWS
- REPAIR EXISTING STUCCO AND REPLACE WITH NEW STUCCO TO MATCH ADJACENT



- REPLACE EXIST. SOFFIT WITH NEW METAL SOFFIT
- CLEAN AND REPOINT EXISTING BRICK
- SPRINT AND PAINT EXISTING TRIM AT COLLARING



- CLEAN AND REPOINT EXIST. BRICK
- SAWCUT NEW WINDOW OPENING; FIELD VERIFY PROFILE AND SIZE
- REPAINT EXISTING FACADE



- EXIST. WOOD WINDOWS TO BE REPLACED WITH ALUMINUM CLAD WOOD WINDOWS
- REPAINT EXISTING FACADE
- CLEAN AND REPOINT EXIST. BRICK



- CLEAN AND REPOINT EXIST. BRICK

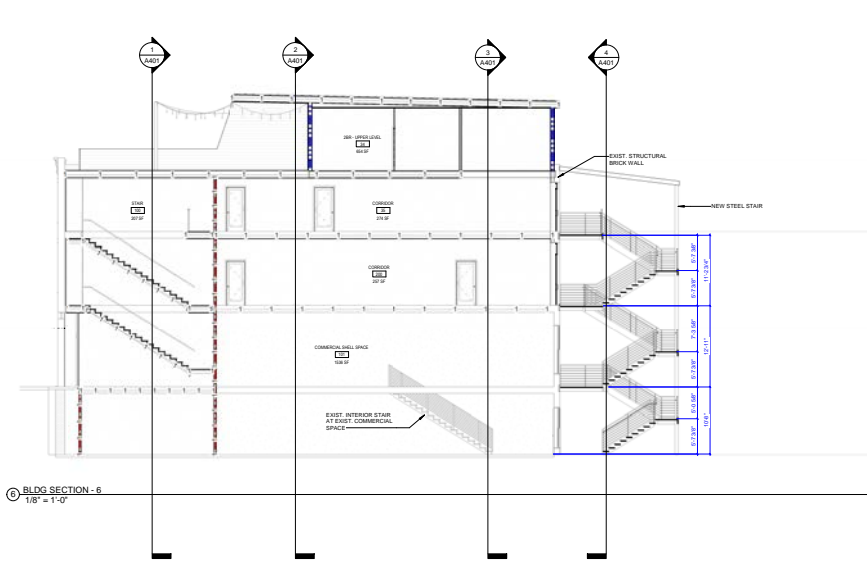


716 - 718 S. GAY STREET MIXED-USE RENOVATION
CONCEPT

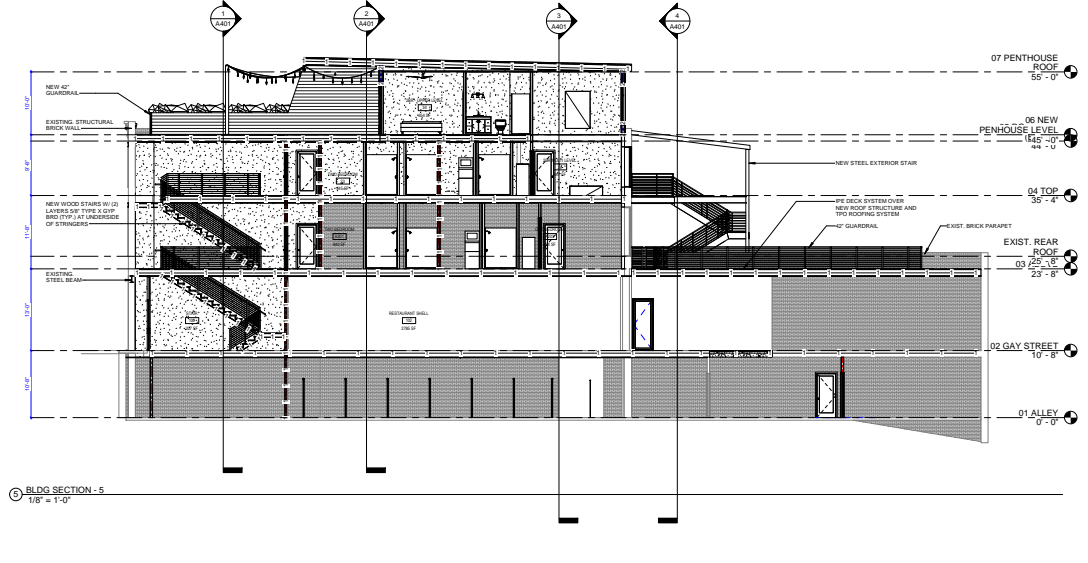
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REVISIONS		
NO	DESCRIPTION	DATE

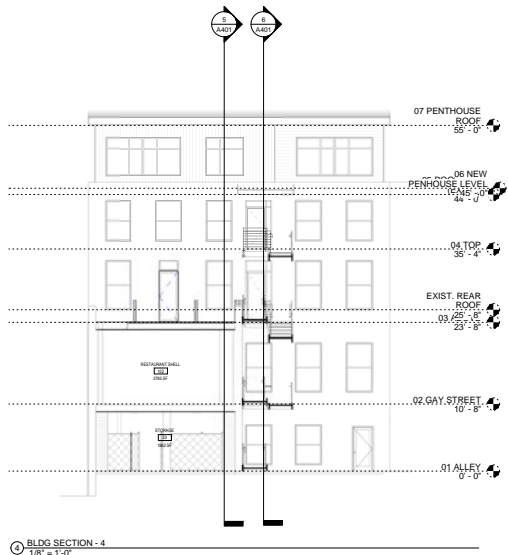
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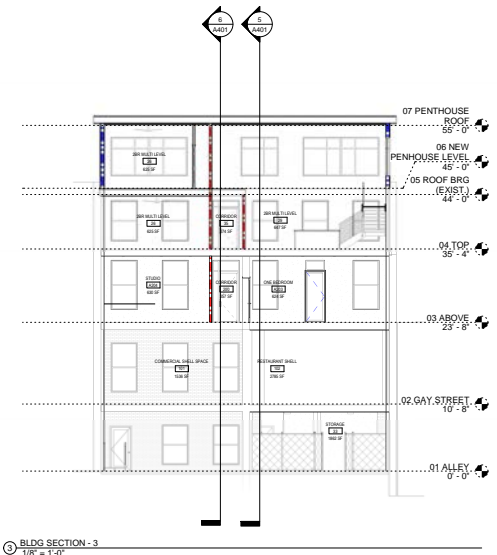
BLDG SECTION - 6
1/8" = 1'-0"



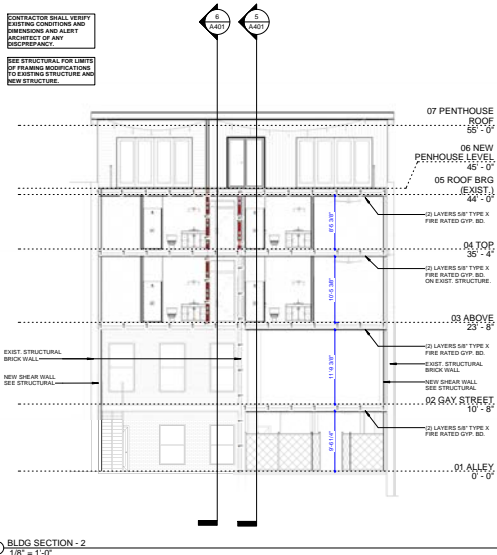
BLDG SECTION - 5
1/8" = 1'-0"



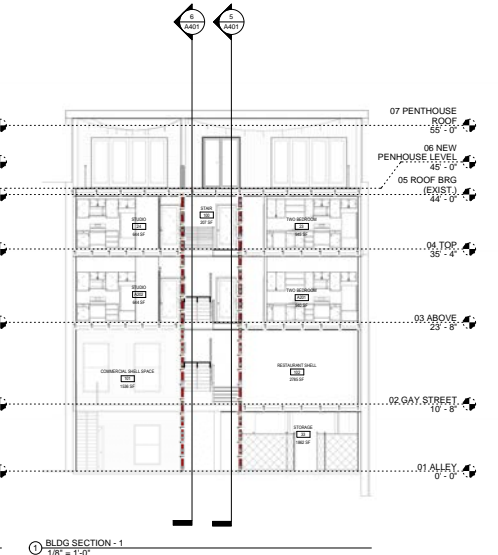
BLDG SECTION - 4
1/8" = 1'-0"



BLDG SECTION - 3
1/8" = 1'-0"



BLDG SECTION - 2
1/8" = 1'-0"



BLDG SECTION - 1
1/8" = 1'-0"

CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AND ALERT ARCHITECT OF ANY DISCREPANCY.
SEE STRUCTURAL FOR LIMITS OF FRAMING MODIFICATIONS TO EXISTING STRUCTURE AND NEW STRUCTURE.

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716 - 718 S. GAY STREET MIXED-USE RENOVATION

CONCEPT

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ISSUE DATE: 05.27.2022
CLIENT:
ADDRESS: 716-718 S. GAY STREET, KNOXVILLE, TN
SCALE: 1/8" = 1'-0"

A401
BUILDING SECTIONS