



# Staff Report

Infill Housing Design Review Committee

File Number: 7-A-22-IH

**Meeting:** 8/17/2022  
**Applicant:** Josh Braden BN Group, LLC  
**Owner:** Josh Braden BN Group, LLC

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## Property Information

**Location:** 3335 Johnston St. **Parcel ID** 81 H C 04201  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**District:** Lonsdale Infill Housing Overlay District

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## Description of Work

Level III Driveways, Parking Pads, Access Points, Garages, or Similar, New Primary Structure

New primary residence fronting Johnston Street. One-story, side-gable roof residence measures 30' wide by 40' long, with a 9' deep front porch centered on the façade (east). The parking is proposed as a 20' by 20' concrete parking pad in the front yard.

The application was postponed from the 7/20/22 meeting date to allow the applicant the opportunity to address condition of approval #6: "introduce differentiation in design between 3327, 3331, and 3335 Johnston Street." The revised proposal includes a centered, hipped-roof porch and a slightly shifted front door.

The one-story house features a 6/12 pitch, side-gable roof clad in asphalt shingles, an exterior of vinyl slap siding, and a brick or stone-clad foundation. The house features a 21' wide, 9' deep front porch centered on the façade, with a hipped roof. The porch also features a square horizontal beam support, "accented to appear as timber beams," supported by two square 6 by 6 posts on brick piers. The façade (east) features an off-center door and two one-over-one windows. The right (north) elevation features three bays of one-over-one windows, with three bays of windows and a secondary entry on the left elevation. The revised rear elevation has one one-over-one window.

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## Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

### 1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- When several infill houses, porches and the habitable portion of each house should be about the same distance from the street as the original houses.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

### 2. House Orientation and Side Yards

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

### 3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations.
- On streets without alleys, garages or parking pads should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- Alley oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.

### 4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to the other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- If extensions or bays were typically part of the neighborhood's historic house design, such elements should be incorporated into infill housing.
- New foundations should be about the same height as the original houses in the neighborhood.

### 5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12' toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development.

### 6. Windows and Doors

- When constructing new houses, the windows and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

### 7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Infill neighborhoods.

### 8. Siding Materials

- Clapboard-like materials should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

## 11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.
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## Comments

1. The Design Review Board postponed the application at the July meeting in order to review the applicant's revised design and differentiation between the three adjoining new construction houses. The revised drawing features a hipped-roof porch centered on the façade, and square posts supported by brick piers.
  2. The Infill Housing design guidelines note that "parking should not be in front yards." The block does not have an operable alley. Guidelines recommend that "on streets without alleys, parking should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade." The previous review requested the site plan should be revised to meet design guidelines and City Engineering standards. Due to line of sight issues on a steep road and the topography of the sites, City Engineering will require the driveways to have turnaround areas immediately adjacent to the right-of-way, and access points be optimized to prevent sight distance areas. 3335 Johnston Street is required to have a driveway against the southern property line. Due to multiple constraints on the property, City Engineering requirements will supersede the Infill Guidelines in this case. Any minor modifications to the site plan should meet City Engineering requirements.
  3. The proposed materials do meet the design guidelines; final selection of vinyl siding should be smooth-finished, straight lap siding with an overlap similar to historic wood siding, instead of Dutch lap siding or flush panels. The final drawings should incorporate a front door compatible with historic doors in the neighborhood.
  4. Final site plans should incorporate one native or naturalized shade tree in the front and rear yards.
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## Recommendation

Staff recommends approval of Certificate 7-A-22-IH, subject to the following conditions:

- 1) Final site plan to meet City Engineering standards;
- 2) Exterior siding to be smooth-finished, straight vinyl lap siding with an overlap instead of Dutch lap, and applicant to select a front door which meets design guidelines;
- 3) Final site plans to incorporate one native or naturalized tree in front and rear yards.



**7-A-22-IH**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

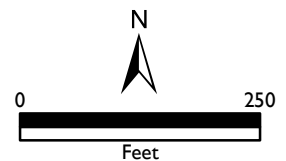
Applicant: Josh Braden BN Group, LLC

**INFILL  
HOUSING  
REVIEW  
BOARD**



3335 Johnston St.  
Lonsdale Infill Housing Overlay District

Original Print Date: 7/6/2022  
Revised:  
Knoxville/Knox County Planning - Infill Housing Design Review Committee





# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

BN GROUP, LLC.

Applicant		
06/09/22	07/20/2022	7-A-22-IH
Date Filed	Meeting Date (if applicable)	File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.


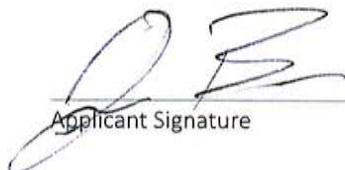
- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Josh Braden		BN GROUP, LLC.	
Name	Company		
303 Bob Smith Lane	Knoxville	TN	37924
Address	City	State	Zip
865.696.7375	joshuabradens4@gmail.com		
Phone	Email		

## CURRENT PROPERTY INFO

BN GROUP, LLC.	303 Bob Smith Lane, Knoxville, TN 37924	865.696.7343
Owner Name (if different from applicant)	Owner Address	Owner Phone
3335 Johnston Street, Knoxville, TN 37921	#081HC04201	
Property Address	Parcel ID	
	RN2	
Neighborhood	Zoning	

## AUTHORIZATION

	Lindsay Crockett	6.13.22
Staff Signature	Please Print	Date
	Josh Braden	06/09/2022
Applicant Signature	Please Print	Date

# REQUEST

DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

*See required Downtown Design attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

*See required Historic Zoning attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

*See required Infill Housing attachment for more details.*

Brief description of work: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

STAFF USE ONLY

**ATTACHMENTS**

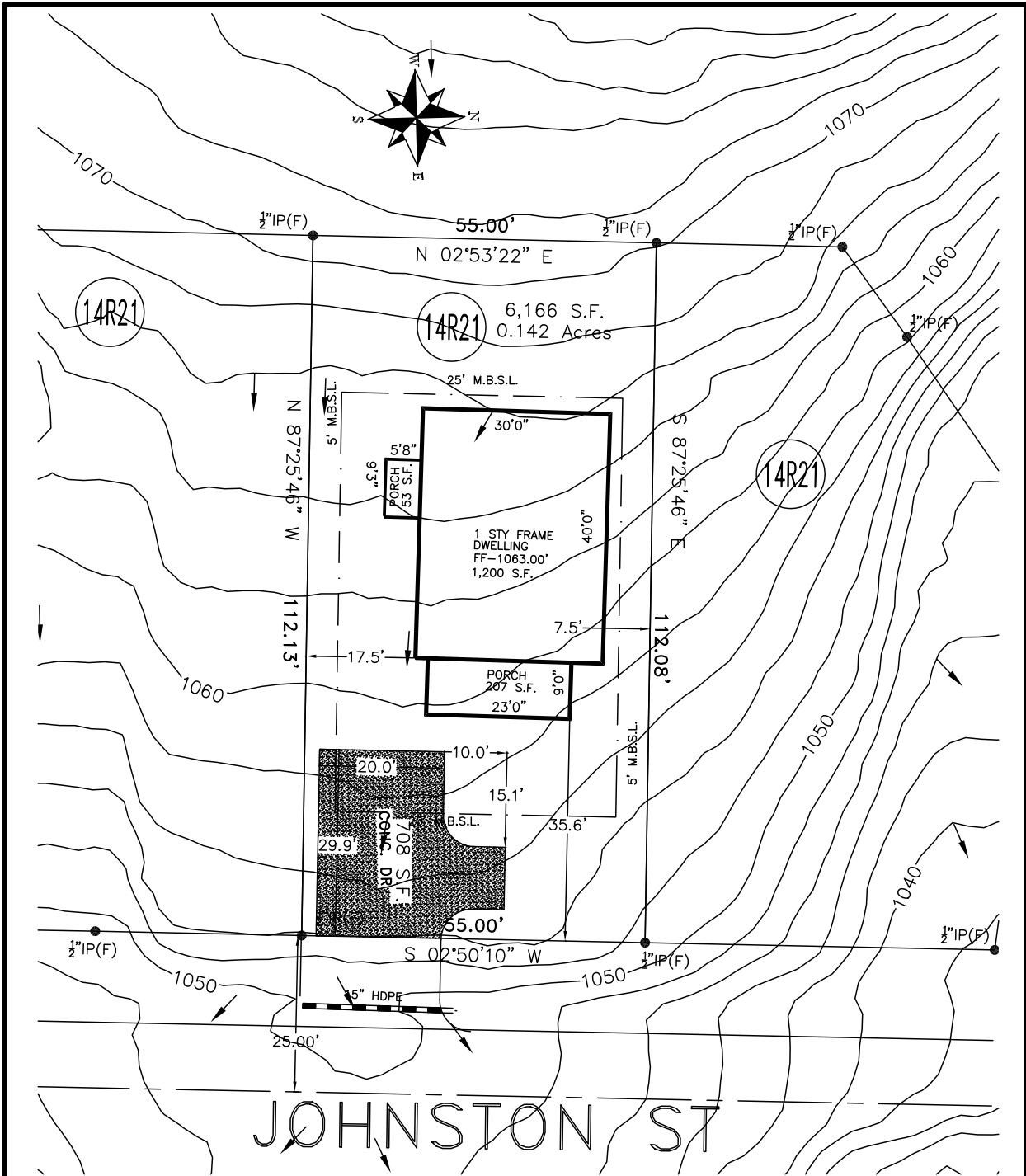
- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>	250.00	<b>TOTAL:</b>  250.00
<b>FEE 2:</b>		
<b>FEE 3:</b>		



SITE DATA:  
 TOTAL MAX COVERAGE(40%)2,466 S.F. [2,168 S.F.]  
 MAX. BLDG COVERAGE(30%)1,849 S.F. [1,200 S.F.]

REVISION 07/28/22

DATE: 04/29/22

**SITE PLAN**

DRAWING NUMBER 332122

FOR **BN GROUP LLC**

ADDRESS 3335 Johnston Street

DISTRICT 5th COUNTY KNOX

LOT NO. 14R1-3 RESUB. BELLOCK AND SCHMIDT PROP. S/D

WARD 19th CITY BLOCK 19321 DRAWN BY SWA

MAP CAB. 202202230065497

TAX MAP 081H GROUP C PARCEL 042.01

WARRANTY DEED BK. 202109290026155

MORTGAGE CO.

TITLE CO.

SCALE 1" = 20'

CITY KNOXVILLE STATE TN ZIP 37912

ABBOTT LAND SURVEYING LLC

STEVEN W. ABBOTT JR, RLS

1109 E. WOODSHIRE DRIVE

KNOXVILLE, TN 37922

OFFICE: (865) 671-1149

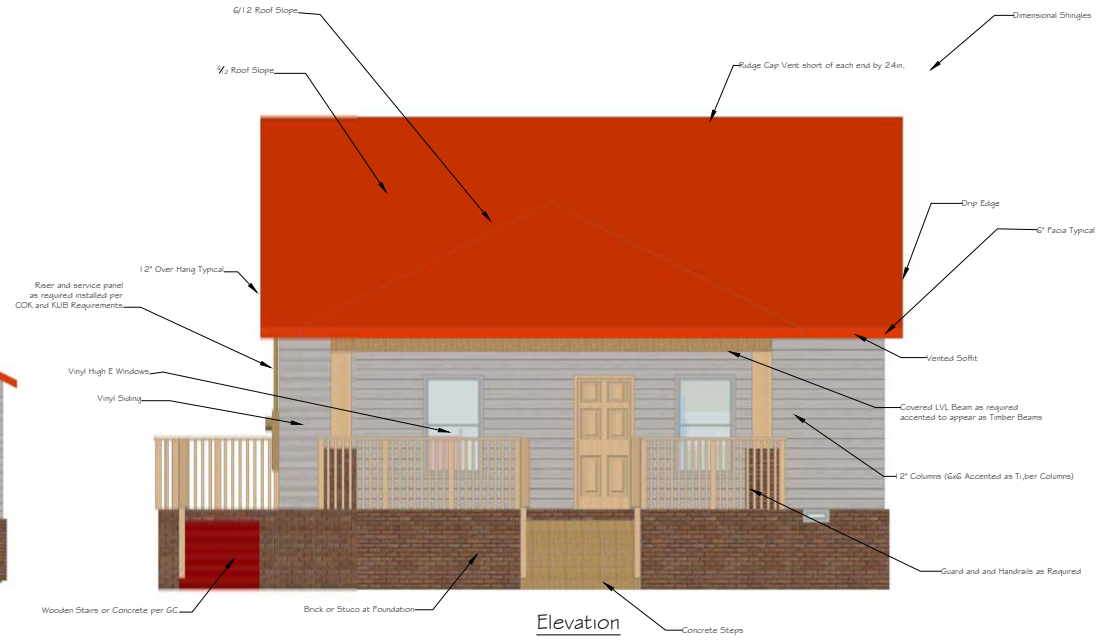
EMAIL: survmap@tds.net



THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE. THIS IS TO CERTIFY THAT ON THE DATE SHOWN, I MADE AN ACCURATE SURVEY OF THE PREMISES SHOWN HEREON USING THE LATEST RECORDED DEED AND OTHER INFORMATION FURNISHED TO ME, THAT THERE ARE NO EASEMENTS, ENCROACHMENTS OR PROJECTIONS EVIDENT OTHER THAN THOSE SHOWN. THE SURVEY WAS DONE UNDER THE AUTHORITY OF TCA 62-18-126; AND THE SURVEY IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3-07. THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE DESCRIBED NOT TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA.



Right



Elevation



Front



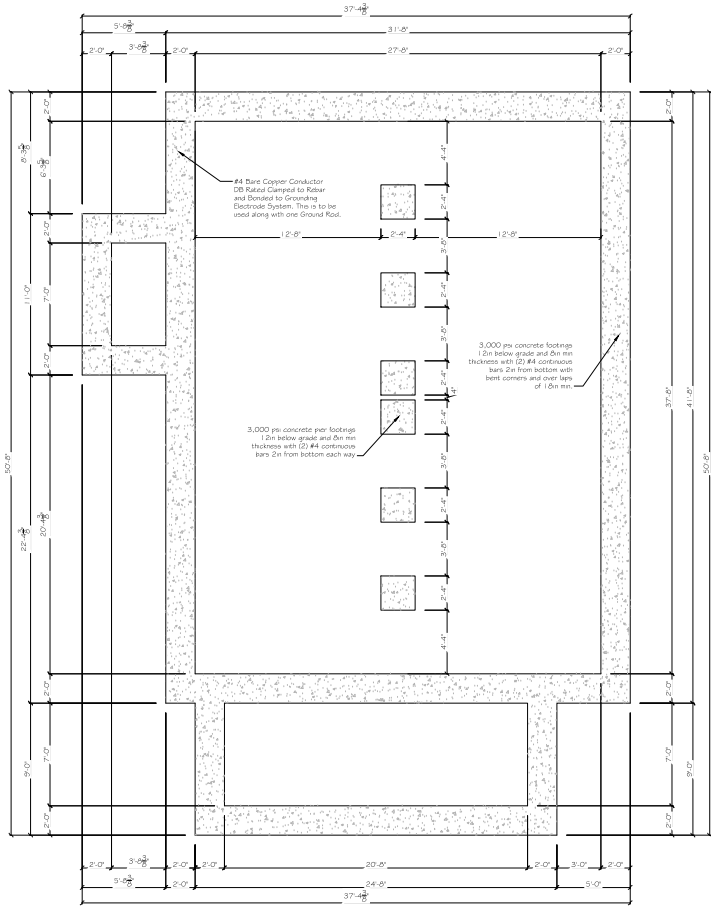
Left



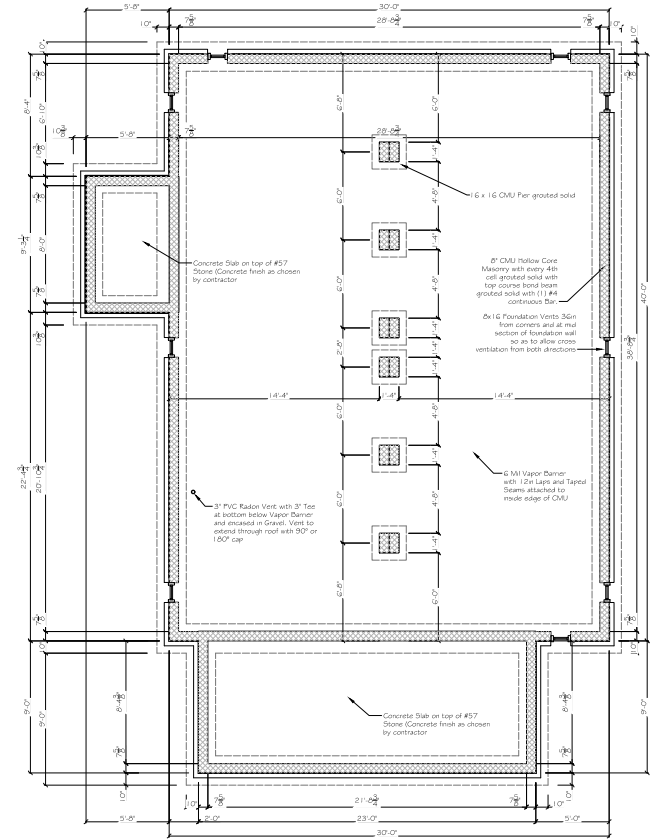
Rear

Project Name and Address	Project Number
Single Family Home #1008	1008-1008
Drawing Date	Drawing Date
July 26, 2012	July 26, 2012
Scale	Scale
See Drawing Legend	See Drawing Legend
Architect	Sheet Number
Josh Braden Braden Family Properties, LLC Cell: (903) 449-7558 Office: (903) 471-5070	C1.1
Contractor	

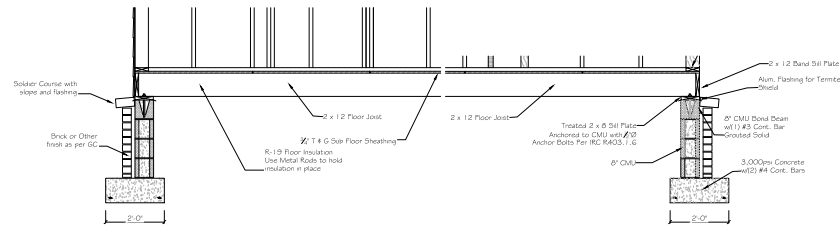




Footings Plan  
Scale: 1/4" = 1'-0"



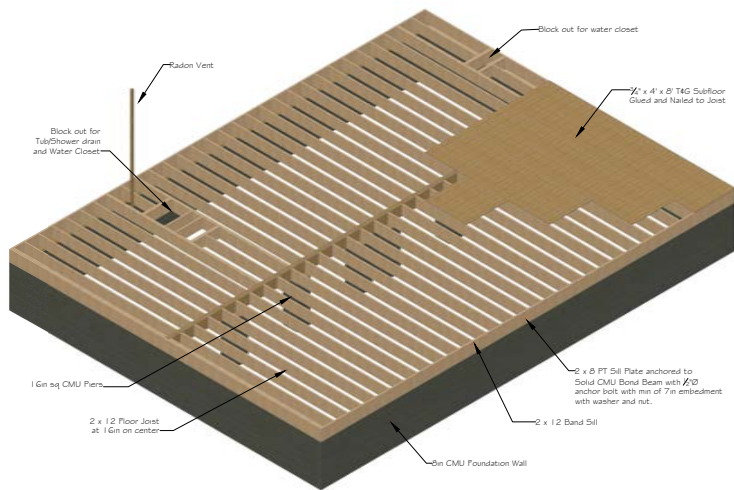
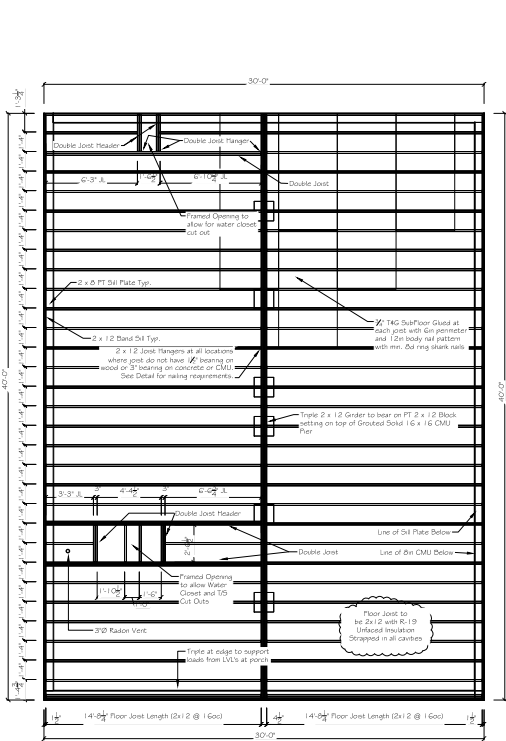
Foundation Wall Plan  
Scale: 1/4" = 1'-0"



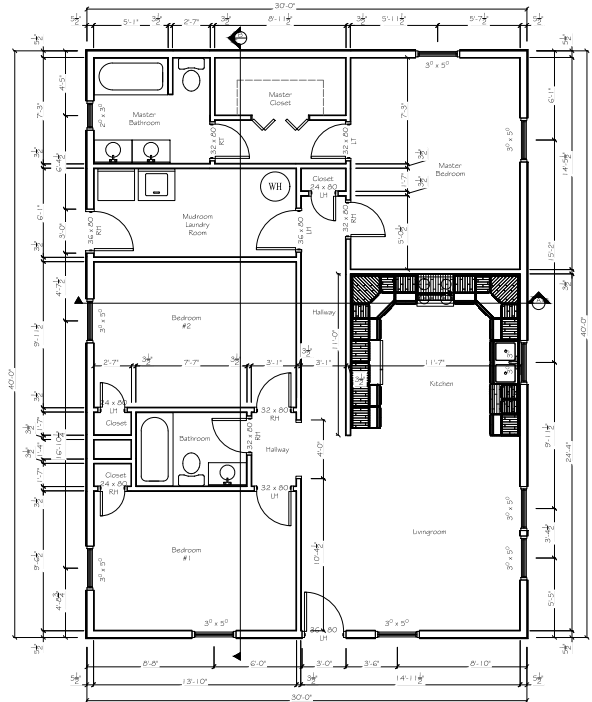
Foundation Sections  
Scale: 1/4" = 1'-0"

Project Name and Address	Project Number
Single Family Home #1008	1008
Drawing Date	Sheet Number
July 26, 2022	E1.0
Client	Contractor
Site Drawing Layer	
Auth: Braden	Scale
Bradley Family Properties, LLC	
Cell: 980.546.6568	
Office: (943) 974-9070	
Contractor	

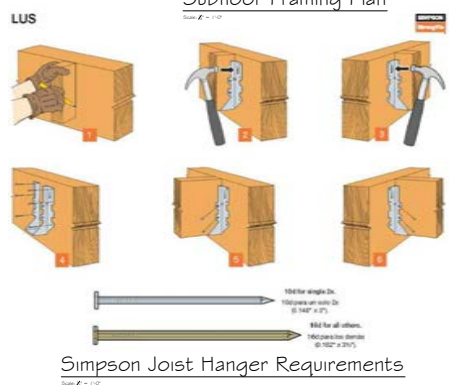
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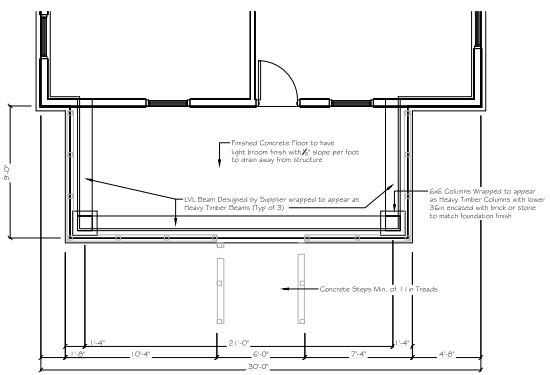
SW View Subfloor Framing Plan  
Scale: 1/4" = 1'-0"



Wall/Window/Door Framing Plan  
Scale: 1/4" = 1'-0"

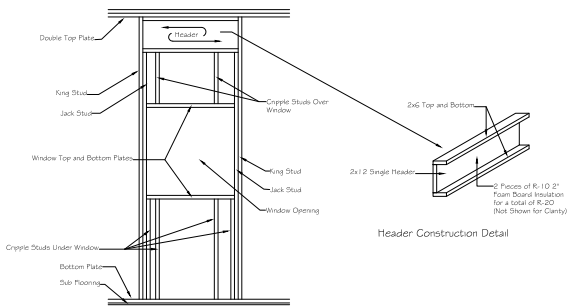


Simpson Joist Hanger Requirements  
Scale: 1/4" = 1'-0"

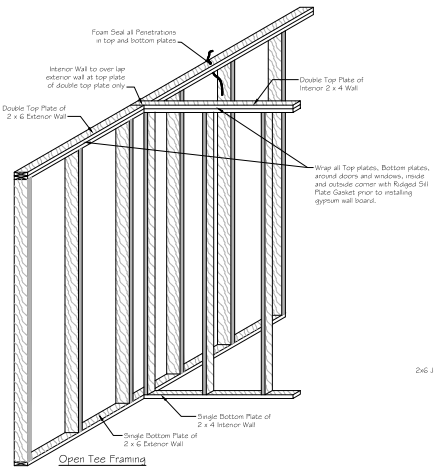
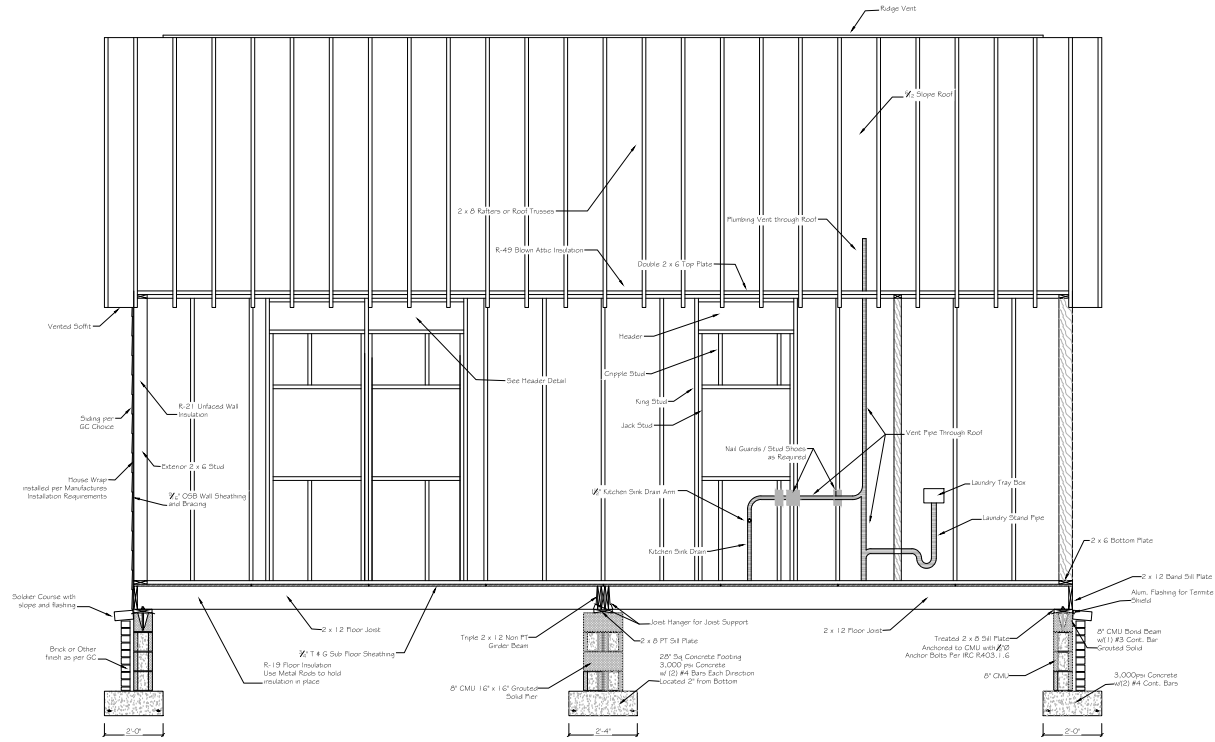


Porch Framing Plan  
Scale: 1/4" = 1'-0"

Project Name and Address	Project Number
Single Family Home #1008	1008
Drawing Date	Sheet Number
July 26, 2022	E1.1
Drawn By	Contractor
Joe	
Site Drawing Layer	
Auto Update	
Shade Family Properties, LLC	
Cell: (866) 446-5161	
Office: (866) 974-5600	

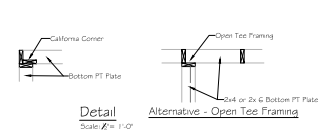


Header Construction Detail

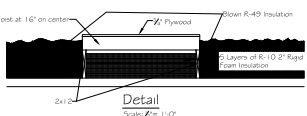
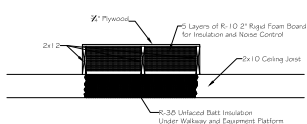


Open Tee Framing

Notes: All top plates, bottom plates, windows, doors and corners to have foam insulation wrap applied prior to gypsum wall board application.  
 All electrical boxes to be sealed and all penetrations in top plate to be sealed.  
 Blower door test to be performed with less than 3 air changes per hour at 50 pascals with a final air change rate at 3 air changes per hour and duct leakage test as required.



Detail Alternative - Open Tee Framing Scale: 1/2\"/>

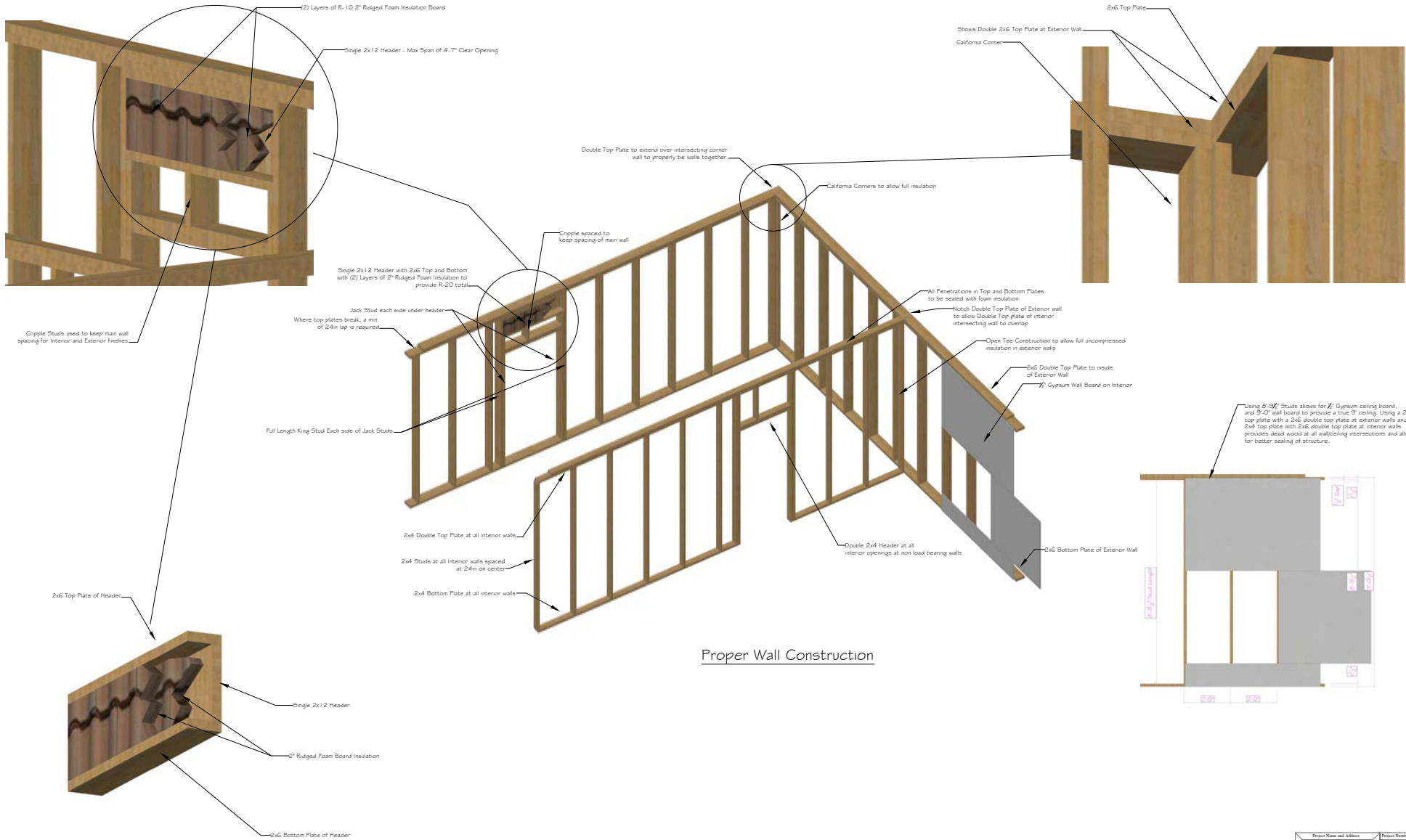


Detail Scale: 1/2\"/>

Framing Sections (Typ) and Details

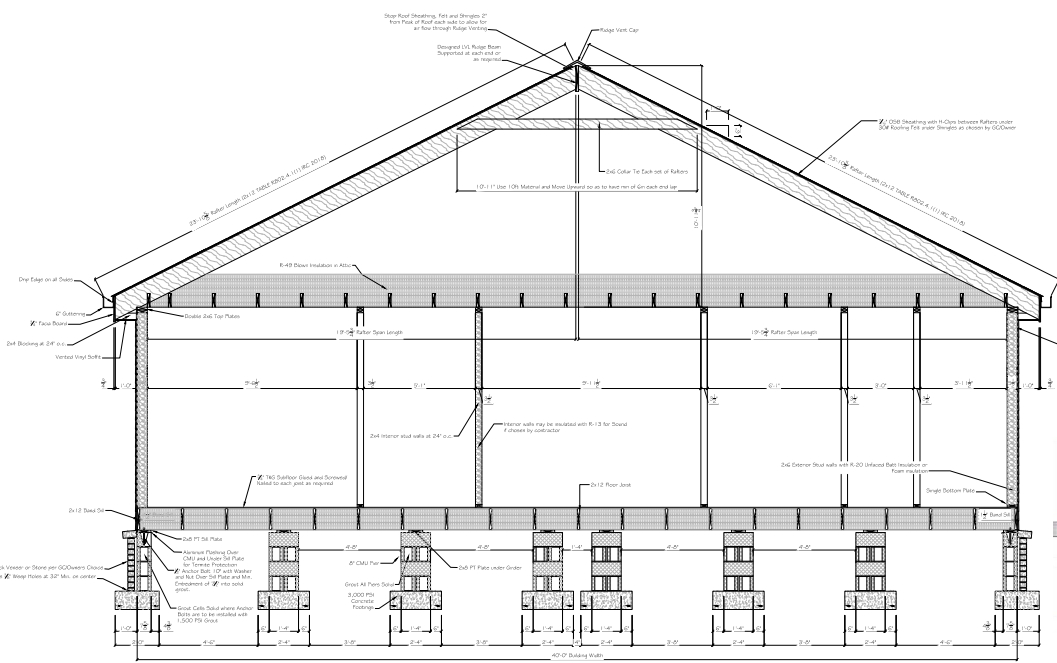
Scale: 1/2\"/>

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Single Family Home #1008	1008
Drawing Date	Sheet Number
July 26, 2022	E1.2
Client	Contractor
Site Drawing Layer	
John Braden Bradley Family Properties, LLC 200 98th Ave SW Ocala, FL 34474-9400	

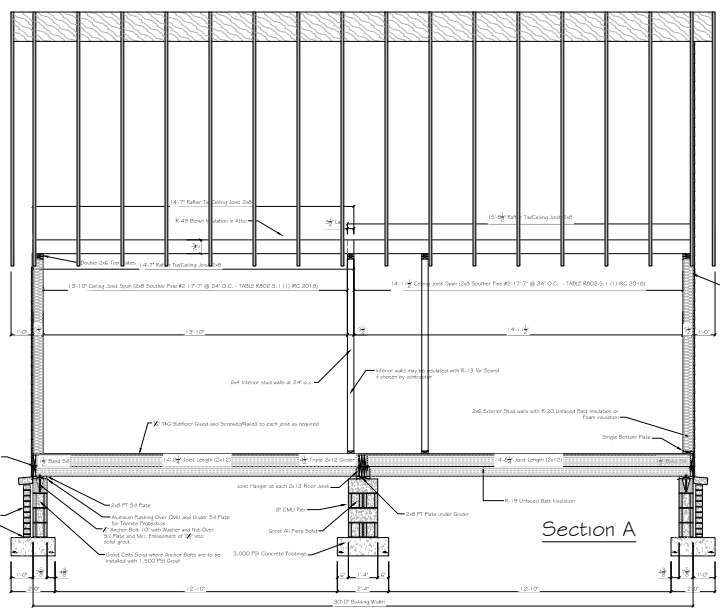


Proper Wall Construction

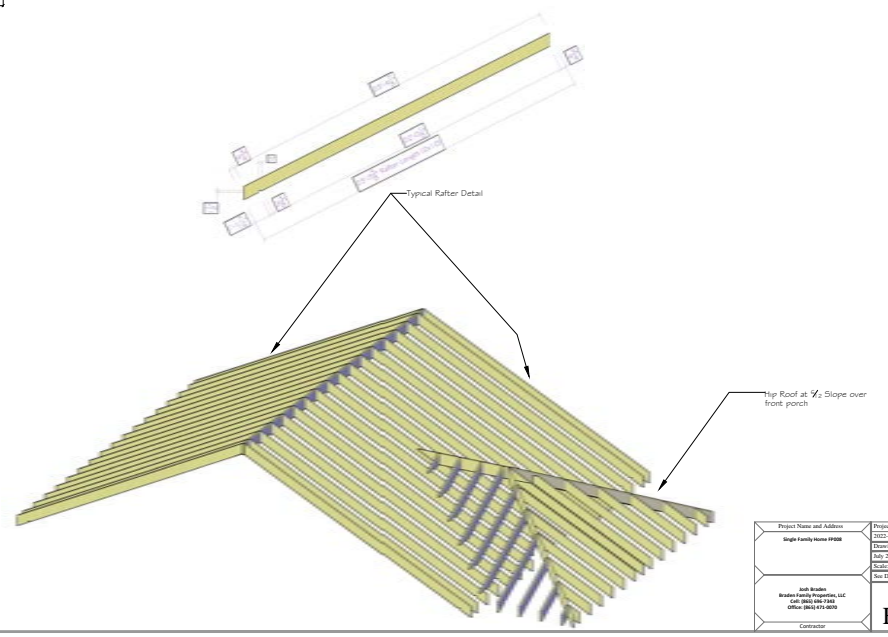
Project Name and Address	Project Number
Single Family Home #1008	1008
Drawing Date	Drawing Date
July 26, 2012	July 26, 2012
Scale	Scale
1/4" = 1'-0"	1/4" = 1'-0"
See Drawing Legend	See Drawing Legend
John Braden Bradley Family Properties, LLC Cell: (903) 486-7561 Office: (903) 471-5600	Sheet Number
Contractor	E1.3



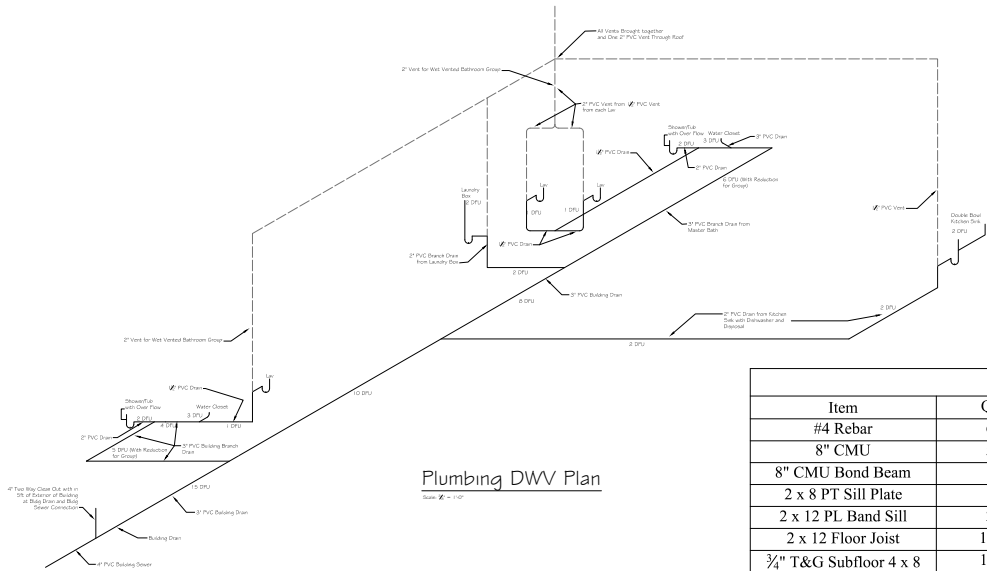
Section B



Section A

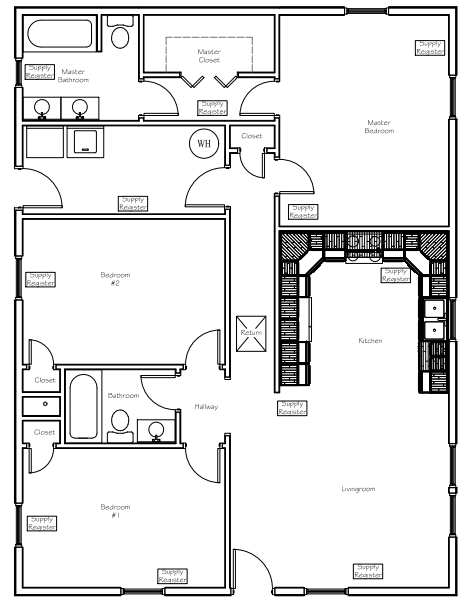


Project Name and Address		Project Number
Single Family Home #1908		1908
Drawing Date		July 26, 2012
Client		Client
Scale		As Shown
Sheet Number		E1.4
Contractor		



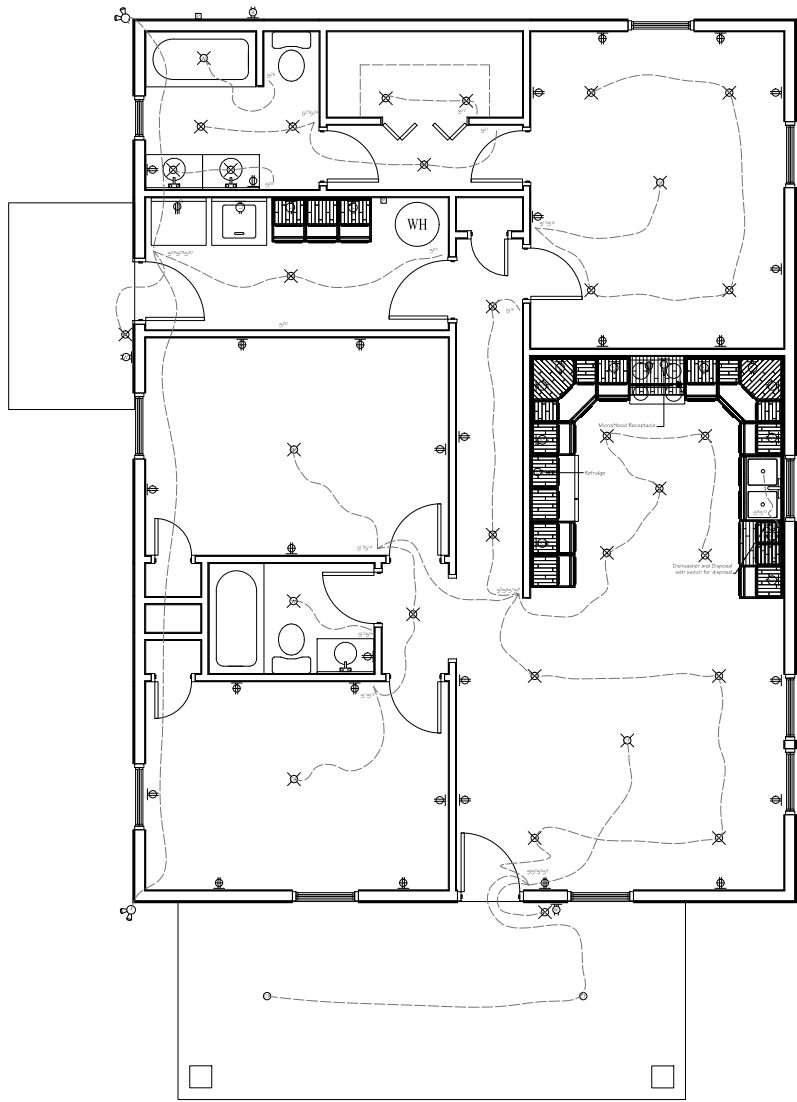
Plumbing DWV Plan  
Scale: 1/4" = 1'-0"

Material List				
Item	Quantity	Pieces	Use	Area
#4 Rebar	600 LF	30 @ 20ft	Footings and Piers	Foundation
8" CMU	588 LF	450	Walls and Piers	Foundation
8" CMU Bond Beam	196 LF	150	Walls and Piers	Foundation
2 x 8 PT Sill Plate	164 LF	17 @ 10ft	Floor Sill Plate	Floor
2 x 12 PL Band Sill	260 LF	26 @ 10ft	Band Sill & Girder	Floor
2 x 12 Floor Joist	1,152 LF	70 @ 16ft	Floor Joist	Floor
3/4" T&G Subfloor 4 x 8	1,200 SF	38 @ 4 x 8	Sub Floor	Floor
2 x 6 x 9ft Studs	1,215 LF	135 @ 9ft	Exterior Studs & Headers	Ext Walls
2 x 12 x 10ft	40 LF	4 @ 10ft	Exterior Wall Headers	Ext Walls
2 x 4 9ft	1,116 LF	124 @ 9ft	Interior Walls and Headers	Int Walls
2 x 6 x 12ft	420 LF	35 @ 12ft	Exterior Bot & Top Plates	Ext Walls
2 x 4 12ft	510 LF	43 @ 12ft	Int Bot & Top Plates	Int Walls
7/16" x 4 x 8 Sheathing	2,140 SF	67 @ 4 x 8	Wall Sheathing	Ext Walls
2 x 8 x 16ft	544 LF	34 @ 16ft	Ceiling Joist	Ceiling
2 x 8 x 18ft	90 LF	5 @ 18ft	Ceiling Joist	Ceiling
2 x 8 x 14ft	70 LF	5 @ 14ft	Ceiling Joist	Ceiling
2 x 12 x 24ft	864 LF	36 @ 24ft	Rafters Living	Roof
2 x 12 x 14ft	266 LF	19 @ 14ft	Rafters Porch	Roof
2 x 6 x 10ft	260 LF	26 @ 10ft	Rafter Collar Tie	Roof
7/16" x 4 x 8 Sheathing	2,688 SF	84 @ 4 x 8	Roof Sheathing	Roof
3/16" x 8 1/4" x 12ft Hardie	2,800 SF	350 @ 8 x 12ft	Hardie Siding Board	Ext Walls
36 x 60 Window	-	7 @ 3 <sup>0</sup> x 5 <sup>0</sup>	Window	Ext Walls
24 x 36 Window	-	1 @ 2 <sup>0</sup> x 5 <sup>0</sup>	Window	Ext Walls
48 x 12 Window	-	1 @ 4 <sup>0</sup> x 1 <sup>0</sup>	Window	Ext Walls
36 x 80 Ext Door RH	-	1 @ 3 <sup>0</sup> x 6 <sup>8</sup>	Exterior Door	Ext Walls
36 x 80 Ext Door LH	-	1 @ 3 <sup>0</sup> x 6 <sup>8</sup>	Exterior Door	Ext Walls
24 x 80 Int Door RH	-	2 @ 2 <sup>6</sup> x 6 <sup>8</sup>	Interior Door	Interior Walls
24 x 80 Int Door LH	-	1 @ 2 <sup>6</sup> x 6 <sup>8</sup>	Interior Door	Interior Walls
32 x 80 Int Door RH	-	4 @ 2 <sup>6</sup> x 6 <sup>8</sup>	Interior Door	Interior Walls
32 x 80 Int Door LH	-	2 @ 2 <sup>6</sup> x 6 <sup>8</sup>	Interior Door	Interior Walls
48 x 80 Int Bi-Fold Door	-	1 @ 4 <sup>0</sup> x 6 <sup>8</sup>	Interior Door	Interior Walls



Mechanical Plan  
Scale: 1/4" = 1'-0"

Project Name and Address Single Family Home #1008	Project Number 1008-1001
Drawing Date July 26, 2012	Sheet Number E1.5
Drawn By JWH	Checked By JWH
Scale As Drawing Layer	Contractor
JWH Braden Family Properties, LLC 1000 S. 10th St. Okla. City, OK 73106 Phone: (405) 971-5000	

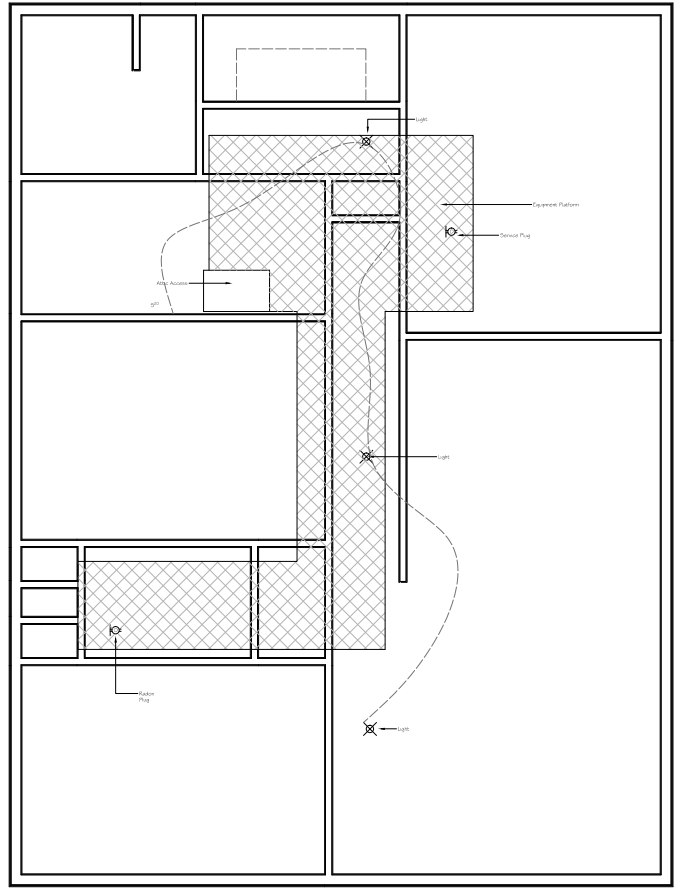


**Electrical Plan**  
Scale: 1/8" = 1'-0"

- Electrical Notes:**
- \* All Wiring to be Per NEC 2018 and Local and State Requirements
  - \* Ground Sources used will be Concrete Encased Ground as shown on Footing Section and Over Ground Rod
  - \* GFCI Circuits to include all Receptacles in Bathrooms, Outdoor, Kitchens, Laundry Room, Detachments and any other Wet Locations
  - \* AFCI Circuits to include all Receptacles Kitchen, Living Room, Dining Room, Tool Rooms, Laundry Room and Mud Room
  - \* Must include dedicated Light and Two Receptacles, one for equipment and one for radio power supply.
  - \* All 1/2" AWG Wire with ground for all 12 amp circuits
  - \* IBT to be installed on Ground System at Service Panel

- ⊗ Switched Luminary
- ⊗ Wet Location Switched Luminary
- ⊗ Switched Luminary and Switched Ceiling Fan Combo
- ⊗ Switched Ceiling Fan
- ⊗ Switched Wet Location Luminary with Switched Exhaust Fan Divided to Exterior of Structure
- ⊗ 20 amp Duplex Receptacle Single Gang
- ⊗ 20 amp Duplex Receptacle 2 Gang - Ganged Box
- ⊗ 20 amp Dedicated Duplex Receptacle
- ⊗ 20 amp Dedicated Circuit Duplex Receptacle
- ⊗ 20 amp Weather Proof Duplex Receptacle
- ⊗ Clothes Dryer Dedicated Receptacle
- ⊗ Range Dedicated Receptacle
- ⊗ Full Disconnect
- ⊗ Single Pole Switch
- ⊗ Three Way Switch
- ⊗ Smoke Alarm Handwired and Interconnected
- ⊗ 20 amp Dedicated Circuit For Receptacles in Laundry Room
- ⊗ 20 amp Dedicated Circuit For Receptacles on Small Appliance Circuits
- ⊗ 20 amp Dedicated Circuit For Detachments and Driveway Circuit
- ⊗ Exterior LED Flood Lamps

- ⊗ 1" = Porch Ceiling Fans Single Pole Single Throw Switch
- ⊗ 1" = Porch Wall Sconce Single Pole Single Throw Switch
- ⊗ 1" = Living Room Ceiling Fan/Lights Single Throw Switch w/ Dimmer for lights - Use 3 Wire with Ground
- ⊗ 1" = Living Room Can Lights Single Pole Double Throw Switch
- ⊗ 1" = Kitchen Lights Single Pole Single Throw Switch
- ⊗ 1" = Main Hall Light Single Pole Double Throw Switch
- ⊗ 1" = Living Room Lights Single Pole Double Throw Switch
- ⊗ 1" = Hall Light Single Pole Double Throw Switch
- ⊗ 1" = Disposal Single Pole Single Throw Switch
- ⊗ 1" = Under Cabinet Lighting Single Pole Single Throw Switch (Optional)
- ⊗ 1" = Bedroom 1 Fan/Light Single Pole Single Throw Switch w/ Dimmer for Lights - Use 3 Wire with Ground
- ⊗ 1" = Hall Light Single Pole Double Throw Switch
- ⊗ 1" = Hall Light Double Pole Double Throw Switch
- ⊗ 1" = Bedroom 2 Fan/Light Single Pole Single Throw Switch w/ Dimmer for Lights - Use 3 Wire with Ground
- ⊗ 1" = Bathroom Light Single Pole Single Throw Switch
- ⊗ 1" = Bathroom Fan Single Pole Single Throw Switch
- ⊗ 1" = Master Bedroom Fan/Light Single Pole Single Throw Switch w/ Dimmer for Lights - Use 3 Wire with Ground
- ⊗ 1" = Master Bedroom Lights Single Pole Single Throw Switch
- ⊗ 1" = Main Hall Light Single Pole Double Throw Switch
- ⊗ 1" = Attic Lights Single Pole Single Throw Switch
- ⊗ 1" = Master Hall Lights Single Pole Double Throw Switch
- ⊗ 1" = Master Closet Lights Single Pole Single Throw Switch
- ⊗ 1" = Master Bath Lights Single Pole Single Throw Switch
- ⊗ 1" = Master Hall Lights Single Pole Double Throw Switch
- ⊗ 1" = Master Lav/Wall Sconce Single Pole Single Throw Switch
- ⊗ 1" = Master Bath Fan/Light Combo Single Pole Single Throw Switch
- ⊗ 1" = Mud Room Light Single Pole Double Throw Switch
- ⊗ 1" = Mud Room Light Single Pole Double Throw Switch
- ⊗ 1" = Exterior Porch Wall Sconce Single Pole Single Throw Switch
- ⊗ 1" = Exterior LED Flood Lights Single Pole Single Throw Switch
- ⊗ 1" = Craw Space Lighting Single Pole Single Throw Switch



**Attic Electrical Plan**  
Scale: 1/8" = 1'-0"

Project Name and Address	Project Number
Single Family Home #2008	2008-0012
Drawing Date	July 26, 2012
Client	Owner
Site Drawing Layout	Sheet Number
	E1.6

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