

**Meeting:** 4/20/2022  
**Project:** Capitol Lofts  
**Applicant:** Leigh Burch

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## Property Information

**Location:** 305 W. Vine Ave. **Parcel ID** 94 E J 032  
**Zoning:** DK (Downtown Knoxville)  
**Description:** New, seven-story, multi-family construction on an existing surface parking lot.

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## Description of Work

Level III Construction of a New Building/Structure, Site Design, Parking, Plaza, Landscape

**SUMMARY:** Proposed new seven-story multi-family construction (five stories of residential apartments above two stories of garage parking). The new building is proposed for a site measuring approximately 495' wide along Vine Avenue, approximately 100' deep on the left (west) side, and approximately 85' wide on the right (east) side, with additional land extending to the north. The site is currently a surface parking lot which slopes dramatically downward to the north outside of the garage. Due to the site topography, the building will largely present as five stories on the Vine Avenue (south) elevation, with the parking garage exposed on the north elevation. A ground-level pool deck extends approximately 90' along the west end of the building, towards the left (west) property line.

**SITE LAYOUT AND ACCESS:** The building is accessed by Vine Avenue. One approximately 27' wide, two-way asphalt driveway extends northwest off the Vine Avenue, leading to the lower level of parking (P2) on the east elevation. A second access, measuring approximately 20' wide, extends northwest off Vine towards the middle of the building, leading to the first level of parking (P1). There is no internal circulation between P1 and P2.

There are two pedestrian accesses off Vine Avenue, one closer to the east accessing a private residential stairwell and one closer to the west, accessing a stair and the leasing office/club area.

**DESIGN ELEMENTS:** The flat-roof building rests on a two-story painted concrete garage with horizontal fenestrations along the north elevation. The design features alternating vertical bands of brick veneer; fiber cement panels of multiple colors; projecting metal balconies; and a faux-wood fiber cement siding. Windows are full-light storefront windows with full-light entry doors to the balconies. Towards the east elevation is an "urban light house," a flat-roof, illuminated interior space that extends approximately 7.5' above the roofline. The "urban light house" incorporates opaque glazing, backlit with multi-colored LED lighting. Flat-roof awnings are centered over the pedestrian entries.

The applicant has included a secondary color/material submittal with the same alternating vertical bands of brick veneer; fiber cement panels of multiple colors; and a faux-wood fiber cement siding.

On the south elevation (fronting Vine Avenue) and the east elevation (visible from Vine Avenue and Gay Street), the applicant proposes to screen the parking garage with a living wall (vertical bands of vegetation), illuminated with T5 LED lights.

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At the southwest corner of the building, an approximately 20' by 20', hipped roof structure clad in fiber cement paneling serves as pool equipment storage.

Proposed landscaping includes the planting of 11-12 trees between the building and Vine Avenue, along with planters enclosing the pool area. The project also necessitates the installation of multiple retaining walls, including one along the north elevation of the building and one on the left side of the Vine Avenue elevation.

There is no exterior mechanical equipment depicted in the elevation drawings. Depicted lighting includes exterior sconces by pedestrian entry doors and under-soffit lighting along the roofline.

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## Applicable Design Guidelines

### Downtown Design Guidelines

#### A. Public Realm

3. Parking Facilities: it is important to ensure that parking facilities (both public and private) are safe, accessible, and clearly marked. New parking facilities should be designed to be attractive, compatible additions to downtown. In general, new parking facilities should remain subordinate to the street scene.

3a. Create parking garages that do not contain blank walls. Allow for future commercial uses that may not be feasible at the time of construction.

3b. Locate parking garages under structures, or provide for retail, residential, or office uses that line the garage. Corner locations are preferable for commercial uses.

3d. Screen surface lots, where they abut a public sidewalk, with decorative walls, fencing, and landscaping.

36. Access to parking garages should not limit options for future development of contiguous or adjoining space, especially on corners.

#### B. Private Realm

##### 1. Building Mass, Scale, and Form

Building form should be consistent with the character of downtown as an urban setting and should reinforce the pedestrian activity at the street level. Creating pedestrian-scale buildings, especially at street level, can reduce the perceived mass of buildings. Historically, building technology limited height and subsequently created pedestrian-scaled buildings typically less than 10 stories. Building technology no longer limits the height of buildings, however, there is still a need for buildings that respond to pedestrians. The use of 'human-scale' design elements is necessary to accomplish this. Human-scale design elements are details and shapes that are sized to be proportional to the human body, such as upper-story setbacks, covered entries, and window size and placement.

1a. Maintain a pedestrian-scaled environment from block to block.

1b. Foster air circulation and sunlight penetration around new buildings. Buildings may be designed with open space, as allowed under existing DK zoning; or buildings may be 'stepped back' on upper floors with lower floors meeting the sidewalk edge.

1c. Use building materials, cornice lines, signs, and awnings of a human scale in order to reduce the mass of buildings as experienced at the street level.

1d. Divide large buildings into 'modules' that are similar in scale to traditional downtown buildings. Buildings should be designed with a recognizable base, middle, and top on all exposed elevations.

1e. Avoid blank walls along street-facing elevations.

##### 2. Building Location

It is important to establish a strong relationship among buildings, sidewalks, and streets. This is typically accomplished through consistent setbacks that locate buildings on the same line.

2a. Set buildings back five feet in order to provide wider sidewalk space when new construction in non-historic areas is to be more than half the length of the block.

2b. Consider using landscape elements to define the sidewalk edge where a building is to be set back from the

sidewalk.

2c. Maintain sight lines to historic buildings that were originally located in an open setting, providing setbacks for new buildings next to historic structures in order to preserve views.

2d. Limit grade separations above or below the sidewalk, generally no more than 3 feet. Allow for clear sightlines into and out of buildings and plazas.

### 3. Building Materials

New building materials should relate to the scale, durability, color, and texture of the predominate building materials in the area.

3a. Use complimentary materials and elements, especially next to historic buildings.

### 4. Architectural Character

Buildings should be visually interesting to invite exploration by pedestrians. A building should express human scale through materials and forms that were seen traditionally. This is important because buildings are experienced at close proximity by the pedestrian.

4a. Encourage first floor uses that draw walk-in traffic; businesses that do not require pedestrian traffic should be located on other floors.

4b. Enhance pedestrian interest in commercial and office buildings by creating a largely transparent and consistent rhythm of entrances and windows.

4c. Scale first floor signs to pedestrians.

4d. Differentiate the architectural features of ground floors from upper floors with traditional considerations such as show-windows, transoms, friezes, and sign boards.

4e. Design top floors to enhance the skyline of the block through cornices and details that are harmonious with adjacent architecture.

4f. Encourage the use of “green roofs” and other sustainable practices, while minimizing the visual impact from the street.

### 5. Ground Floor Doors and Windows

Entrances and ground floor windows should foster pedestrian comfort, safety, and orientation. Not every building downtown needs to have the same window or entry designs; however, repeating the pattern of historic openings helps to reinforce the character of downtown, differentiating it from suburban areas.

5a. Use consistent rhythm of openings, windows, doorways, and entries.

5b. Orient primary front entrances to the main street; secondary entrances should be clearly defined and oriented to streets or alleys, as appropriate.

5c. Design entrances according to the proportions of the building’s height and width.

5f. Recess ground floor window frames and doors from the exterior building face to provide depth to the façade.

### 6. Residential Buildings

Solely residential buildings, such as townhouses and apartment buildings, are rare in downtown Knoxville. Privacy and safety are concerns with residential units that meet the sidewalk. Mixed use buildings, with apartments above shops or offices, can avoid these challenges and add to downtown vitality.

6a. Elevate the first floor of townhouses and apartment buildings so that pedestrians cannot look directly into the residence from the street level.

6b. Design entrances to residential buildings so that access is separated from pedestrian flow on the sidewalk.

6c. Encourage the development of mixed-use buildings with apartments over lower-story commercial uses.

### 7. Mechanical Equipment and Service Utilities

7a. Minimize the visual impact of mechanical equipment through screens or recessed/low-profile equipment.

7b. Do not locate units on a primary façade.

7c. Screen rooftop vents, heating/cooling units, and related utilities with parapet walls or other screens. Consider sound-buffering as part of the design.

7d. Locate utility connections and service boxes on secondary walls.

7f. Screen dumpsters from view.

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## Comments

1. The property occupies a unique site in the Downtown Grid subdistrict. The surrounding area is characterized by smaller-scale, historic development patterns to the northwest along Gay Street and Jackson Avenue, intermittent new or modern construction fronting Vine Avenue, and the historic Catholic church building. The site sits at the top of a steep hill which slopes down to Jackson Avenue.
2. The parking lot incorporates two separate access points to each parking level. City Engineering has provided comments on the parking layout and access points; these can be addressed in permitting. Final site plan and parking layout should meet City Engineering standards. From a DRB perspective, the proposed parking garage access points meet the intent of the design guidelines, as they will not create safety issues for pedestrians. Guidelines do encourage providing "for retail, residential, or office uses that line the garage," which may not be feasible on this property.
3. Guidelines note that new parking facilities should be designed to be "attractive, compatible additions to downtown" and incorporate fencing or screening where parking facilities abut public sidewalks. The applicant has incorporated a "living wall" to mitigate the two levels of painted concrete garage structure which will be significantly visible on the south and east elevations (Vine Avenue). The two levels of parking will be significantly visible from points north of the building. The Board should discuss the living wall detail and whether that sufficiently screens the parking garage and meets the intent of the guidelines.
4. The design incorporates alternating vertical bands of materials (stucco, patterned fiber cement panels, and brick veneer), projecting balconies, and recessed full-light windows. There is a sufficient amount of upper-level transparency on all elevations; the proposal avoids large swaths of siding with no windows. The guidelines recommend dividing large buildings into "'modules' that are similar in scale to traditional downtown buildings" with a "recognizable base, middle, and top on all exposed elevations." There is not a consistent building pattern along this block (compared to existing blocks of Gay Street, for example). The Board should discuss the overall mass and scale of the building, and the tactic of vertical bands to break up the massing.
5. Due to the overall design of five residential stories and two stories of parking, the proposed building does not include any commercial or retail uses on the first story. Many guidelines encourage incorporating first floor uses that are open to pedestrians and draw walk-in traffic. Related to that goal are additional guidelines to create a "largely transparent and consistent rhythm of entrances and windows" on the ground floor. This application does not meet those guidelines; pedestrians on Vine Avenue will experience painted concrete parking garage walls, two small private entrances to apartment stairwells, and a recessed, fenced pool deck.
6. Guidelines recommend the use of building materials that "relate to the scale, durability, color, and texture of the predominate building materials in the area." The area does not demonstrate much continuity in materials. The applicant has provided two color schemes. In the opinion of staff, the "wood tone" fiber cement siding on the second color option does not complement the character of downtown Knoxville, as unfinished wood siding would not have been applied to multi-story downtown buildings.
7. Guidelines encourage maintaining sight lines to historic buildings that were originally located in an open setting. The application incorporates a pool deck area on the west end of the property (above the parking garage) to reduce visual intrusions to the historic church building.
8. The application only includes a few new street trees shown along Vine Avenue. A complete landscaping plan will be required for permitting; the plan should "use landscape elements to define the sidewalk edge" per the guidelines and meet City zoning standards.

9. The application does not include details on lighting or mechanical equipment and service utilities. Any exterior mechanical equipment or service utilities should be located on secondary elevations and receive screening as necessary to meet design guidelines. Lighting should meet City standards for exterior lighting (10.2).

10. The signs depicted on the elevation drawings do not contain sufficient information for the DRB's review at this time. Moreover, the proposed signs are large in size to be located on all elevations of a solely residential building. A separate signage application should be submitted to the DRB for further review.

11. The applicant is seeking several variances from the Board of Zoning Appeals at the April 19, 2022 meeting (4-A-22-VA): increasing the maximum permitted build-to-zone distance from 5 feet to 28'-5", reducing the minimum required ground floor transparency percentage from 30% to 22.98%; and increasing the maximum distance permitted between building entries from 50' to 148'.

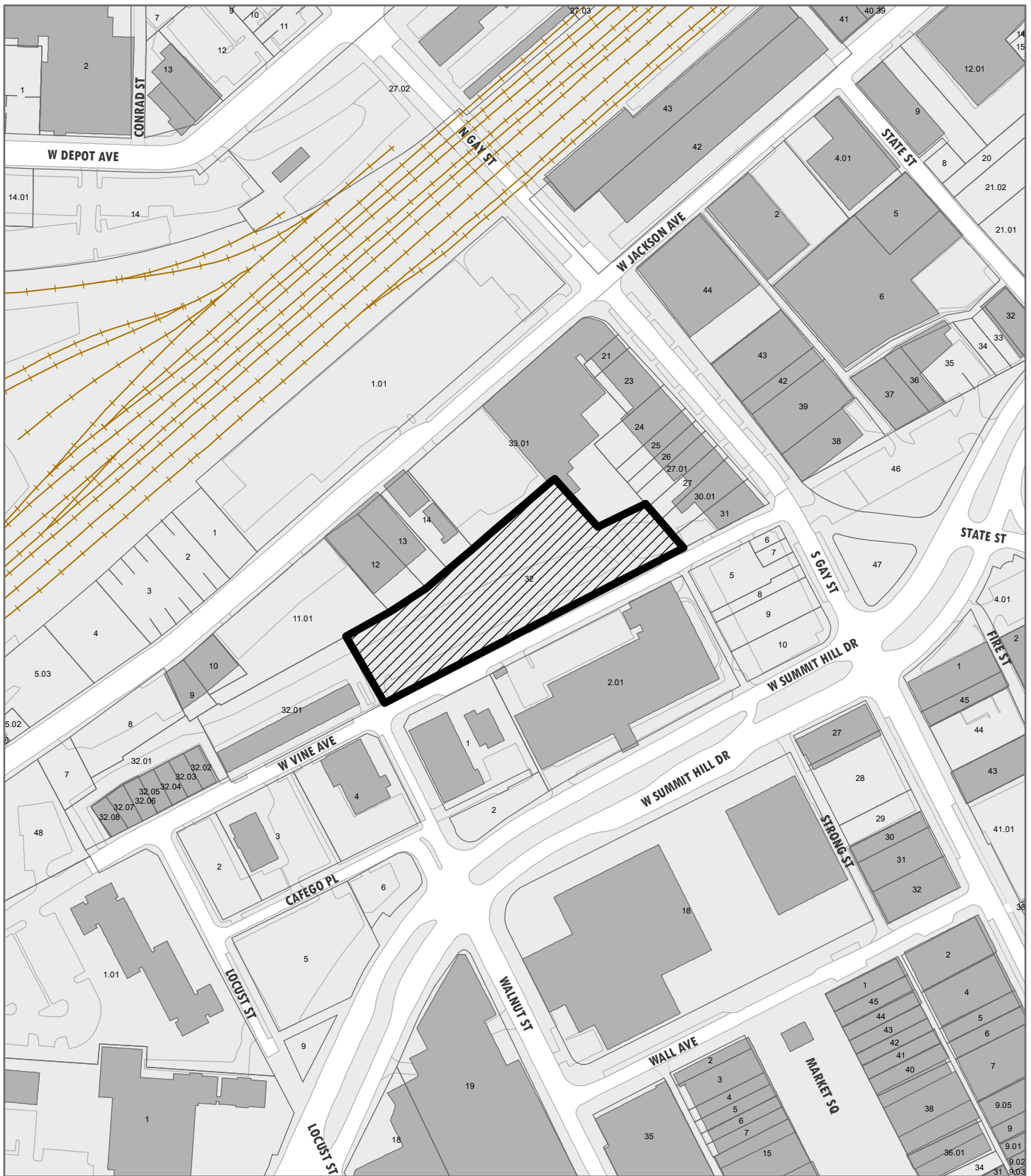
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## Recommendation

Staff recommends approval of Certificate 3-A-22-DT, subject to the following conditions:

- 1) Final site plan and parking garage to meet City Engineering standards;
- 2) Landscaping plan to be provided at permitting, meeting standards of City zoning code (12.2) and design guidelines;
- 3) Any mechanical equipment or service utilities incorporated in construction drawings should be placed in secondary elevations and receive screening as necessary;
- 4) Signage to return to Design Review Board as a separate application;
- 5) Receiving the necessary variances at the 4/19/2022 BZA meeting;
- 6) Final project to comply with PILOT and/or all other applicable redevelopment agreements with the City of Knoxville;

And providing for discussion among the Board related to the overall proposed building mass, scale, and architectural detail.



**3-A-22-DT**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

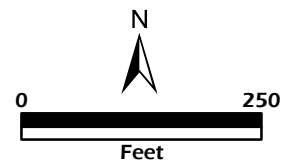
**DOWNTOWN  
DESIGN  
REVIEW  
BOARD**



**305 W. Vine Ave.**  
**Level 3: Construction of new  
building/structure**

**Petitioner: Leigh Burch, Terminus Real  
Estate**

Original Print Date: 3/7/2022  
Revised:  
Knoxville/Knox County Planning · Downtown Design Review Board





# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Capitol Lofts LLC

Applicant			
2/24/22	3/16/22		3-A-22-DT
Date Filed	Meeting Date (if applicable)		File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Leigh Burch	Terminus Real Estate		
Name	Company		
122 S. Gay St.	Knoxville	TN	37902
Address	City	State	Zip
865-242-0237	lindsey@terminusrealestate.com		
Phone	Email		

## CURRENT PROPERTY INFO

Burch Vine LLC		865-384-3426
Owner Name (if different from applicant)	Owner Address	Owner Phone
305 W. Vine Avenue	094EJ032	
Property Address	Parcel ID	
Downtown CBID	D-1	
Neighborhood	Zoning	

## AUTHORIZATION

	Lindsay Crockett	2.25.22
Staff Signature	Please Print	Date
	Capitol Lofts LLC	2/24/22
Applicant Signature	Please Print	Date

# REQUEST

## DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

*See required Downtown Design attachment for more details.*

- Brief description of work: This project proposes the construction of a 7 story building containing 2 floors of garage parking and 5 floors of residential apartment units (122-125).

## HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

*See required Historic Zoning attachment for more details.*

- Brief description of work: \_\_\_\_\_

## INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

*See required Infill Housing attachment for more details.*

- Brief description of work: \_\_\_\_\_

## STAFF USE ONLY

**ATTACHMENTS**

- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

**Level 1:** \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

<b>FEE 1:</b>	<b>\$250.00</b>	<b>TOTAL:</b>  <b>\$250.00</b>
<b>FEE 2:</b>		
<b>FEE 3:</b>		





PROJECT LOCATION

KNOXVILLE, TENNESSEE



GRAPHIC SCALE

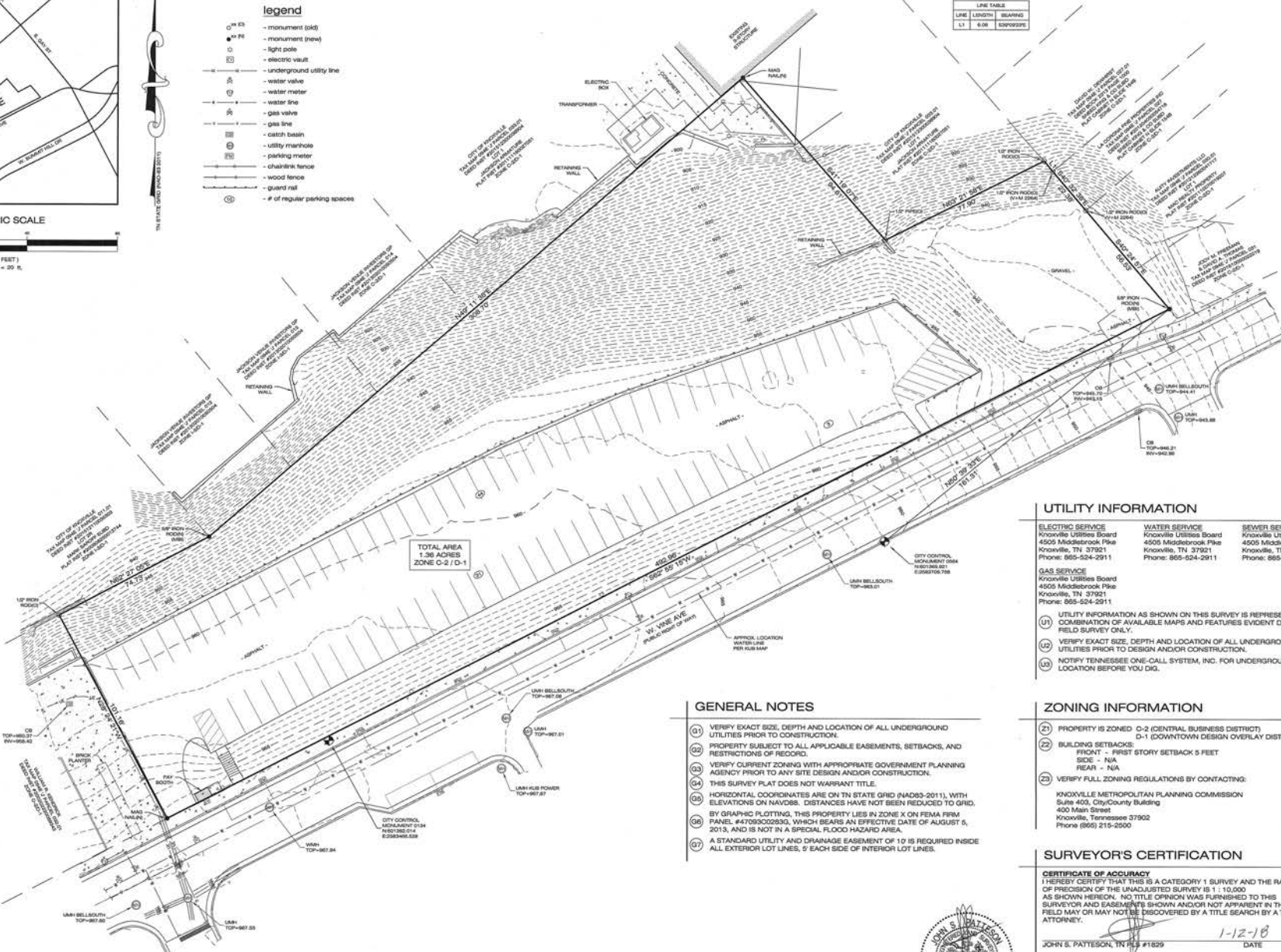


**legend**

- 12 IN - monument (old)
- 12 IN - monument (new)
- - light pole
- - electric vault
- - underground utility line
- - water valve
- - water meter
- - water line
- - gas valve
- - gas line
- - catch basin
- - utility manhole
- - parking meter
- - chainlink fence
- - wood fence
- - guard rail
- - # of regular parking spaces



LINE TABLE		
LINE	LENGTH	BEARING
L1	6.00	S29W52P2



**UTILITY INFORMATION**

- ELECTRIC SERVICE**  
 Knoxville Utilities Board  
 4505 Middlebrook Pike  
 Knoxville, TN 37921  
 Phone: 865-524-2911
- WATER SERVICE**  
 Knoxville Utilities Board  
 4505 Middlebrook Pike  
 Knoxville, TN 37921  
 Phone: 865-524-2911
- SEWER SERVICE**  
 Knoxville Utilities Board  
 4505 Middlebrook Pike  
 Knoxville, TN 37921  
 Phone: 865-524-2911
- GAS SERVICE**  
 Knoxville Utilities Board  
 4505 Middlebrook Pike  
 Knoxville, TN 37921  
 Phone: 865-524-2911

- (U1) UTILITY INFORMATION AS SHOWN ON THIS SURVEY IS REPRESENTED BY A COMBINATION OF AVAILABLE MAPS AND FEATURES EVIDENT DURING THE FIELD SURVEY ONLY.
- (U2) VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DESIGN AND/OR CONSTRUCTION.
- (U3) NOTIFY TENNESSEE ONE-CALL SYSTEM, INC. FOR UNDERGROUND UTILITY LOCATION BEFORE YOU DIG.

**ZONING INFORMATION**

- (Z1) PROPERTY IS ZONED C-2 (CENTRAL BUSINESS DISTRICT)
- (Z2) D-1 (DOWNTOWN DESIGN OVERLAY DISTRICT)
- (Z3) BUILDING SETBACKS:  
 FRONT - FIRST STORY SETBACK 5 FEET  
 SIDE - N/A  
 REAR - N/A
- (Z4) VERIFY FULL ZONING REGULATIONS BY CONTACTING:  
 KNOXVILLE METROPOLITAN PLANNING COMMISSION  
 Suite 403, City/County Building  
 400 Main Street  
 Knoxville, Tennessee 37902  
 Phone (865) 215-2500

**GENERAL NOTES**

- (G1) VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- (G2) PROPERTY SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS, AND RESTRICTIONS OF RECORD.
- (G3) VERIFY CURRENT ZONING WITH APPROPRIATE GOVERNMENT PLANNING AGENCY PRIOR TO ANY SITE DESIGN AND/OR CONSTRUCTION.
- (G4) THIS SURVEY PLAT DOES NOT WARRANT TITLE.
- (G5) HORIZONTAL COORDINATES ARE ON TN STATE GRID (NAD83-2011), WITH ELEVATIONS ON NAVD83. DISTANCES HAVE NOT BEEN REDUCED TO GRID.
- (G6) BY GRAPHIC PLOTTING, THIS PROPERTY LIES IN ZONE X ON FEMA FIRM PANEL #47093C02893, WHICH BEARS AN EFFECTIVE DATE OF AUGUST 5, 2013, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
- (G7) A STANDARD UTILITY AND DRAINAGE EASEMENT OF 10 IS REQUIRED INSIDE ALL EXTERIOR LOT LINES, 5' EACH SIDE OF INTERIOR LOT LINES.

**SURVEYOR'S CERTIFICATION**

**CERTIFICATE OF ACCURACY**  
 I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1 : 10,000 AS SHOWN HEREON. NO TITLE OPINION WAS FURNISHED TO THIS SURVEYOR AND EASEMENTS SHOWN AND/OR NOT APPARENT IN THE FIELD MAY OR MAY NOT BE DISCOVERED BY A TITLE SEARCH BY A TITLE ATTORNEY.

JOHN S. PATTERSON, TN REG #1829      DATE 1-12-18

I HEREBY CERTIFY THAT 90% OF THE CONTOURS/SPOT ELEVATIONS SHOWN HEREON ARE WITHIN (ONE-HALF) OF THE CONTOUR INTERVAL AS SHOWN HEREON.

JOHN S. PATTERSON, PLS      DATE 1-12-18  
 TN REG NO. 1829



**MBI**  
 michael brady inc.  
 299 N. WEISGARDER RD.  
 KNOXVILLE, TENNESSEE  
 37919  
 PHONE: 865 594 0999  
 PHONE: 865 594 8273  
 FAX: 865 594 8273  
 WWW: MICHAELBRADYINC.COM  
 A PROFESSIONAL SURVEYING AND ENGINEERING FIRM

**811**  
 Know what's below.  
 Call before you dig.  
 In Tennessee call 811 or 1-888-381-1111

OWNER:  
 Knoxville Community  
 Development Corp.  
 400 Main Ave  
 Knoxville, TN 37902

BOUNDARY & TOPOGRAPHIC SURVEY OF:  
**305 W. VINE AVENUE**  
 KNOXVILLE, TENNESSEE

Knox County, TN  
 City of Knoxville, TN  
 City Ward: 6  
 City Block: 06060  
 Tax Parcel Id:  
 Map 094E of Parcel 032  
 Deed Ref(s):  
 Book 1944 Page 450  
 Plat Ref(s):  
 Cabinet F Slide 27A

Crew Chief: Z. Beason  
 Drawn By: M. Blankenship  
 Appvd. By: J. Patterson

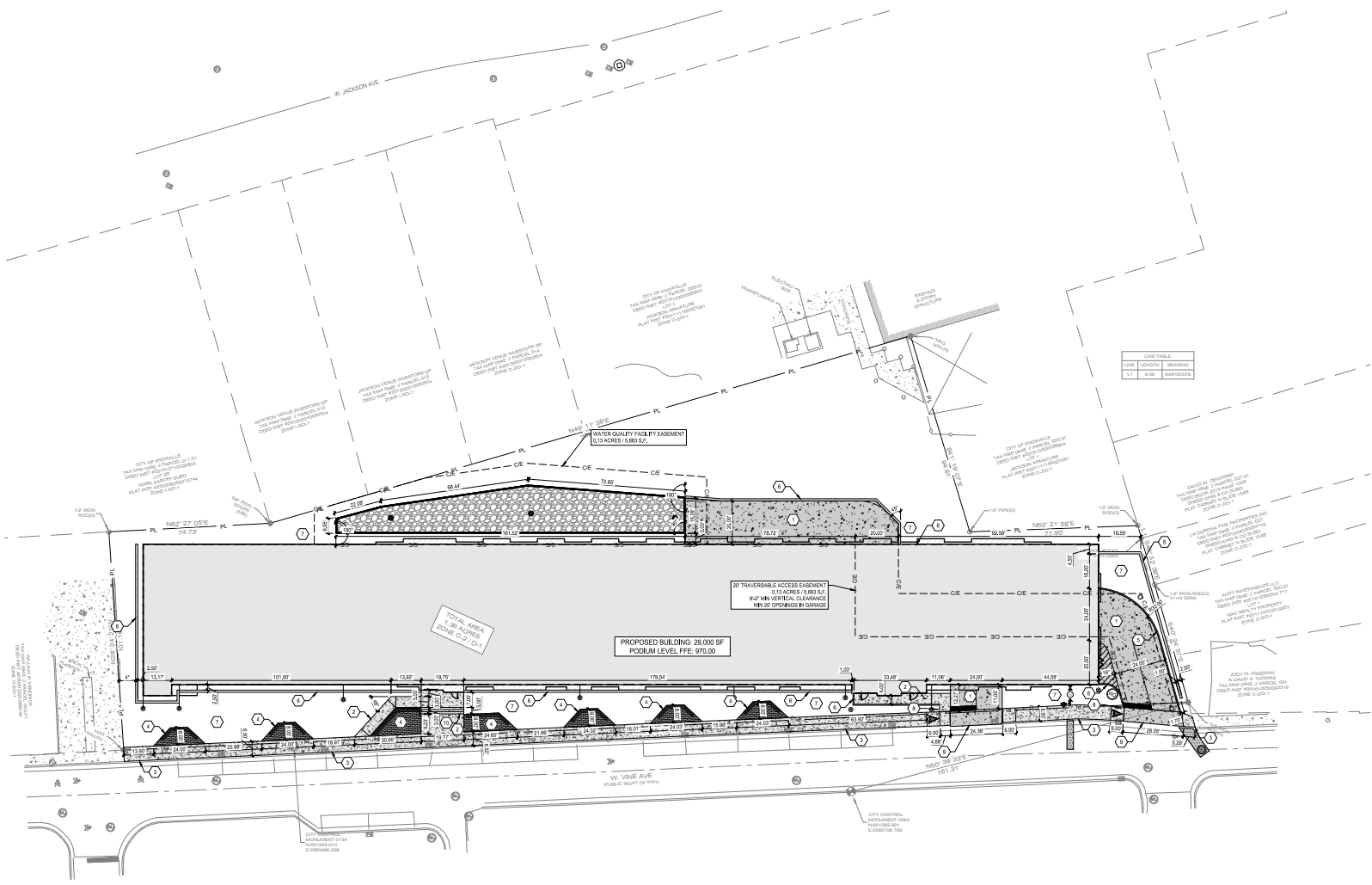
Field date: 12-7-17  
 Drawing date: 1-12-18  
 Last Revision: \_\_\_\_\_

Scale: 1" = 20'

Job No. 170775

Sheet: 1 OF 1

SITE LAYOUT PLAN



**GENERAL SHEET NOTES:**

- SEE SHEET 0001 FOR C&M NOTES AND LEGENDS
- ALL NEW CURBING WHEN IN CONTOUR TO MEET REQUIREMENTS OF OF TDDOT DETAIL RHW-10; SEE DETAIL 1-CB04

**AREAS & CALCULATIONS**

IMPERVIOUS AREA		
EXISTING	PROPOSED	TOTAL INCREASE
0.01 Acres 25,372 sqft	1.81 Acres 39,284 sqft	1.80 Acres 8,712 sqft

DISTURBED AREA	
TOTAL SITE AREA	DISTURBED AREA
1.38 Acres 29,263 sqft	1.19 Acres 27,095 sqft

**SITE LEGEND**

2" WIDE PAINTED STOP BAR, COLOR TO BE WHITE

- SITE KEYED NOTES**
- CONCRETE FINISH, SEE DETAIL 1-CB01
  - CONCRETE SIDEWALK, SEE DETAIL 1-CB01
  - CONCRETE SIDEWALK WITH IN-ROLL, SEE DETAIL 1-CB04
  - PAVERS, SEE LANDSCAPE PLANS FOR DETAILS
  - CONCRETE CURB, SEE DETAIL 1-CB01
  - RETAINING WALL, SEE STRUCTURAL PLANS & BUILDING PLANS FOR DETAILS
  - AREAS DISTURBED BY CONSTRUCTION OR PAVING TO BE SEEDED, SOCCED OR LANDSCAPED
  - POLE MOUNTED STOP SIGN, SEE DETAIL 1-CB01
  - T.O.D.T. RNS-16 ENTRANCE, SEE DETAIL 1-CB01
  - EXTERIOR STAIRS, SEE DETAIL 1-CB01

**MBI**

PREPARED BY: MBI ENGINEERING, INC.  
299 N. WILSON ROAD  
NORFOLK, VA 23504  
PHONE: (804) 646-2000  
FAX: (804) 646-2011  
WEB: [www.mbieng.com](http://www.mbieng.com)

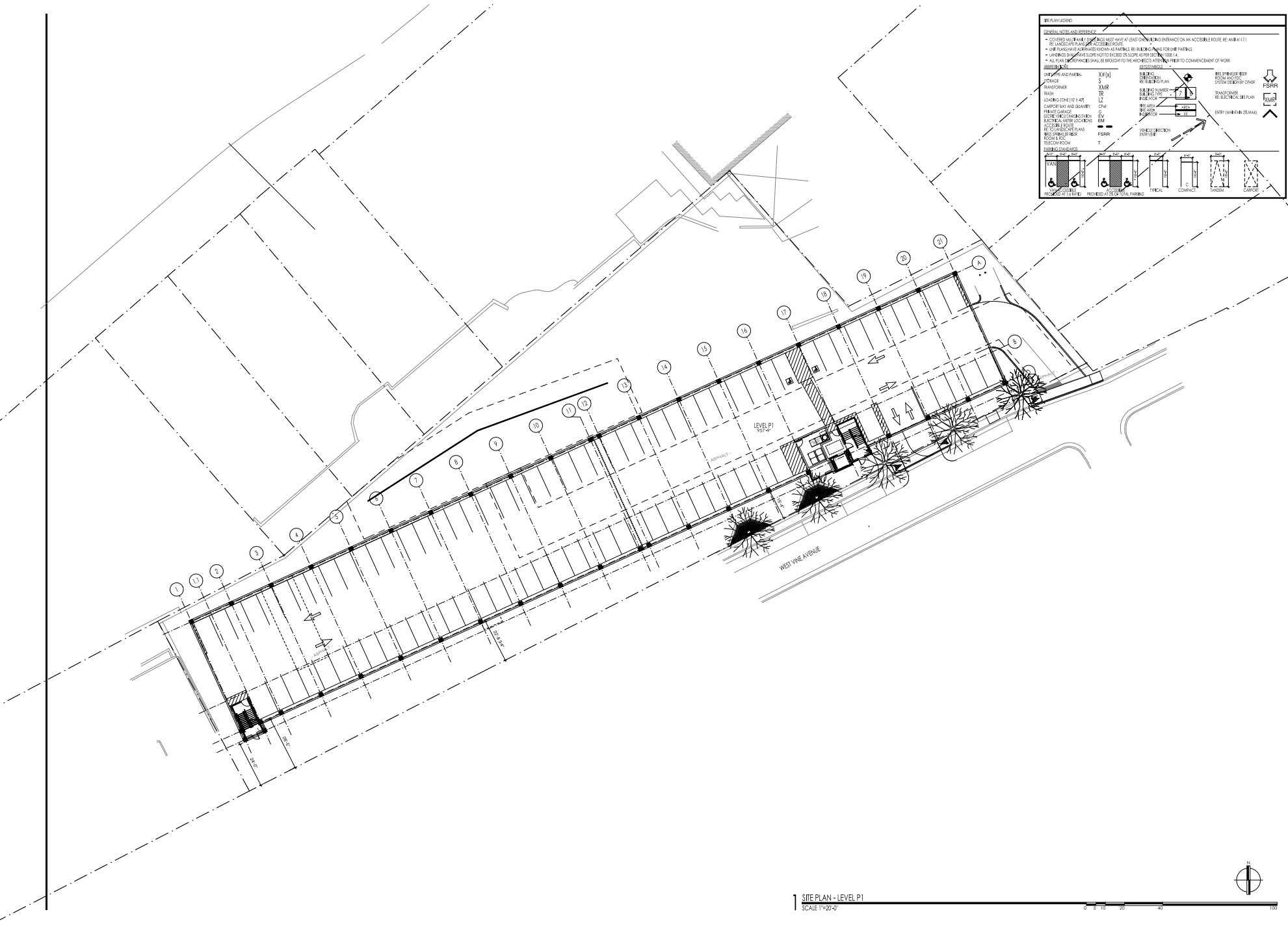
PROJECT: CAPITOL LOFTS APARTMENTS  
PROJECT ADDRESS: 300 WEST AVENUE, NORFOLK, VA 23510  
PROJECT NO.: 2024  
DATE: 08/20/24

**811** Know what's below. Call before you dig. In Tennessee call 811 or 1-800-351-1111

GRAPHIC SCALE: 1 INCH = 20'

SITE LAYOUT PLAN  
SHEET NO. C300





**SITE PLAN LEGEND**

**GENERAL NOTE AND REFERENCE**

- COVERED MULTIPLE LEVELS MUST HAVE AT LEAST ONE EXIT ENTRANCE ON AN ACCESSIBLE ROUTE, RE. ANSI 117.1
- ALL HANDICAP PARKING IS ACCESSIBLE ROUTE
- UNIFORM AND PARKING AREAS MUST BE BUILT TO MEET THE REQUIREMENTS FOR UNIFORM AND PARKING
- UNIFORM AND PARKING AREAS TO BE BUILT TO MEET THE REQUIREMENTS FOR UNIFORM AND PARKING
- ALL PLANNING SPACES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO COMMENCEMENT OF WORK

**UNIFORM AND PARKING**

UNIFORM AND PARKING	XEM	UNIFORM AND PARKING	UNIFORM AND PARKING
SPACE	S	TRANSFORMER	TRANSFORMER
TRANSFORMER	XMR	TRASH	TRASH
TRASH	T	LOADING ZONE (20' X 40')	LOADING ZONE (20' X 40')
LOADING ZONE (20' X 40')	LZ	CAMPUS AND DRIVEWAY	CAMPUS AND DRIVEWAY
CAMPUS AND DRIVEWAY	CD	PRIVATE GARAGE	PRIVATE GARAGE
PRIVATE GARAGE	PG	RECREATION OCCUPANCY	RECREATION OCCUPANCY
RECREATION OCCUPANCY	RO	ACCESSIBLE ROUTE	ACCESSIBLE ROUTE
ACCESSIBLE ROUTE	AR	BIOSPELTER REAR	BIOSPELTER REAR
BIOSPELTER REAR	BR	RECREATION ROOM	RECREATION ROOM
RECREATION ROOM	R		

**UNIFORM AND PARKING**

UNIFORM AND PARKING	UNIFORM AND PARKING	UNIFORM AND PARKING	UNIFORM AND PARKING
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**UNIFORM AND PARKING**

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**CAPITOL LOFTS**  
KNOXVILLE, TENNESSEE  
TERMINUS REAL ESTATE

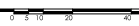
REVISIONS

PROJECT #  
21011

DATE  
01-19-2022

SHEET #  
A.102  
P1 LEVEL  
SITE PLAN

SITE PLAN - LEVEL P1  
SCALE 1"=20'-0"



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**SITE PLAN LEGEND**

**GENERAL NOTES AND REFERENCES:**

- COVERED AREA SHALL BE CONSTRUCTED WITH A MINIMUM FINISH FINISH ON AN ACCESSIBLE SURFACE, BE ASH OR T&G
- ALL AREAS SHALL BE FINISHED WITH A FINISH FINISH ON AN ACCESSIBLE SURFACE, BE ASH OR T&G
- ALL FINISH FINISHES SHALL BE FINISHED TO BE ARCHITECTS AT THE TIME OF COMMENCEMENT OF WORK

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	INTERIOR FINISH	[Symbol]	ROOM	[Symbol]	TRANSFORMER ROOM
[Symbol]	TRANSFORMER	[Symbol]	ROOM NUMBER	[Symbol]	TRANSFORMER ROOM ELECTRICAL SEE PLAN
[Symbol]	TRAIL	[Symbol]	ROOM TYPE	[Symbol]	TRANSFORMER ROOM ELECTRICAL SEE PLAN
[Symbol]	LOADING DOOR (FOR EX)	[Symbol]	MECHANICAL	[Symbol]	ENTRY SHANTEN (SEE MARK)
[Symbol]	CARPENTRY AND GLASSWORK	[Symbol]	MECHANICAL	[Symbol]	ENTRY SHANTEN (SEE MARK)
[Symbol]	REAR GARDEN	[Symbol]	MECHANICAL	[Symbol]	ENTRY SHANTEN (SEE MARK)
[Symbol]	REAR GARDEN	[Symbol]	MECHANICAL	[Symbol]	ENTRY SHANTEN (SEE MARK)
[Symbol]	REAR GARDEN	[Symbol]	MECHANICAL	[Symbol]	ENTRY SHANTEN (SEE MARK)
[Symbol]	REAR GARDEN	[Symbol]	MECHANICAL	[Symbol]	ENTRY SHANTEN (SEE MARK)
[Symbol]	REAR GARDEN	[Symbol]	MECHANICAL	[Symbol]	ENTRY SHANTEN (SEE MARK)
[Symbol]	REAR GARDEN	[Symbol]	MECHANICAL	[Symbol]	ENTRY SHANTEN (SEE MARK)
[Symbol]	REAR GARDEN	[Symbol]	MECHANICAL	[Symbol]	ENTRY SHANTEN (SEE MARK)
[Symbol]	REAR GARDEN	[Symbol]	MECHANICAL	[Symbol]	ENTRY SHANTEN (SEE MARK)



**CAPITOL LOFTS**  
 KNOXVILLE, TENNESSEE  
 TERMINUS REAL ESTATE

REVISIONS

PROJECT # 21011  
 DATE 01-09-2022

SHEET # A.103  
 FIRST FLOOR SITE PLAN

1 SITE PLAN - FIRST FLOOR  
 SCALE 1"=20'-0"



0 5 10 20 40

**SITE PLAN LEGEND**

**GENERAL NOTE AND REFERENCE:**

- DIMENSIONS MUST FULLY TAKE INTO ACCOUNT EXISTING OBSTACLES ON AN ACCESSIBLE ROUTE, BE ANS A117.1
- SEE ARCHITECT PLAN FOR ALL UTILITY LOCATIONS
- SEE PLANS FOR ALL UTILITIES KNOWN AT TIME OF THIS SITE PLAN FOR ALL UTILITIES
- ALL UTILITIES SHOWN ARE NOT TO BE DELETED OR CHANGED WITHOUT THE ARCHITECT'S REVIEW AND APPROVAL
- ALL UTILITIES SHOWN SHALL BE SUBJECT TO THE ARCHITECT'S REVIEW AND APPROVAL TO COMMENCEMENT OF WORK

ITEM	DESCRIPTION	NOTES
1	PARKING LOT	SEE ARCHITECT PLAN FOR ALL UTILITIES
2	CROWN PLAZA KNXVILLE DOWNTOWN	SEE ARCHITECT PLAN FOR ALL UTILITIES
3	IMMACULATE CONCEPTION CHURCH	SEE ARCHITECT PLAN FOR ALL UTILITIES
4	THIS STANDARD	SEE ARCHITECT PLAN FOR ALL UTILITIES
5	SWEET P'S BARBECUE	SEE ARCHITECT PLAN FOR ALL UTILITIES
6	SHELFISH KNOXVILLE	SEE ARCHITECT PLAN FOR ALL UTILITIES
7	145 S GAY STREET	SEE ARCHITECT PLAN FOR ALL UTILITIES
8	WICKED CHICKEN	SEE ARCHITECT PLAN FOR ALL UTILITIES
9	RYAN ROAD	SEE ARCHITECT PLAN FOR ALL UTILITIES



**CAPITOL LOFTS**  
KNOXVILLE, TENNESSEE  
TERMINUS REAL ESTATE

- 1 PARKING LOT
- 2 CROWN PLAZA KNXVILLE DOWNTOWN
- 3 IMMACULATE CONCEPTION CHURCH
- 4 THIS STANDARD
- 5 SWEET P'S BARBECUE
- 6 SHELFISH KNOXVILLE
- 7 145 S GAY STREET
- 8 WICKED CHICKEN
- 9 RYAN ROAD

SITE PLAN - FIRST FLOOR  
SCALE 1"=20'

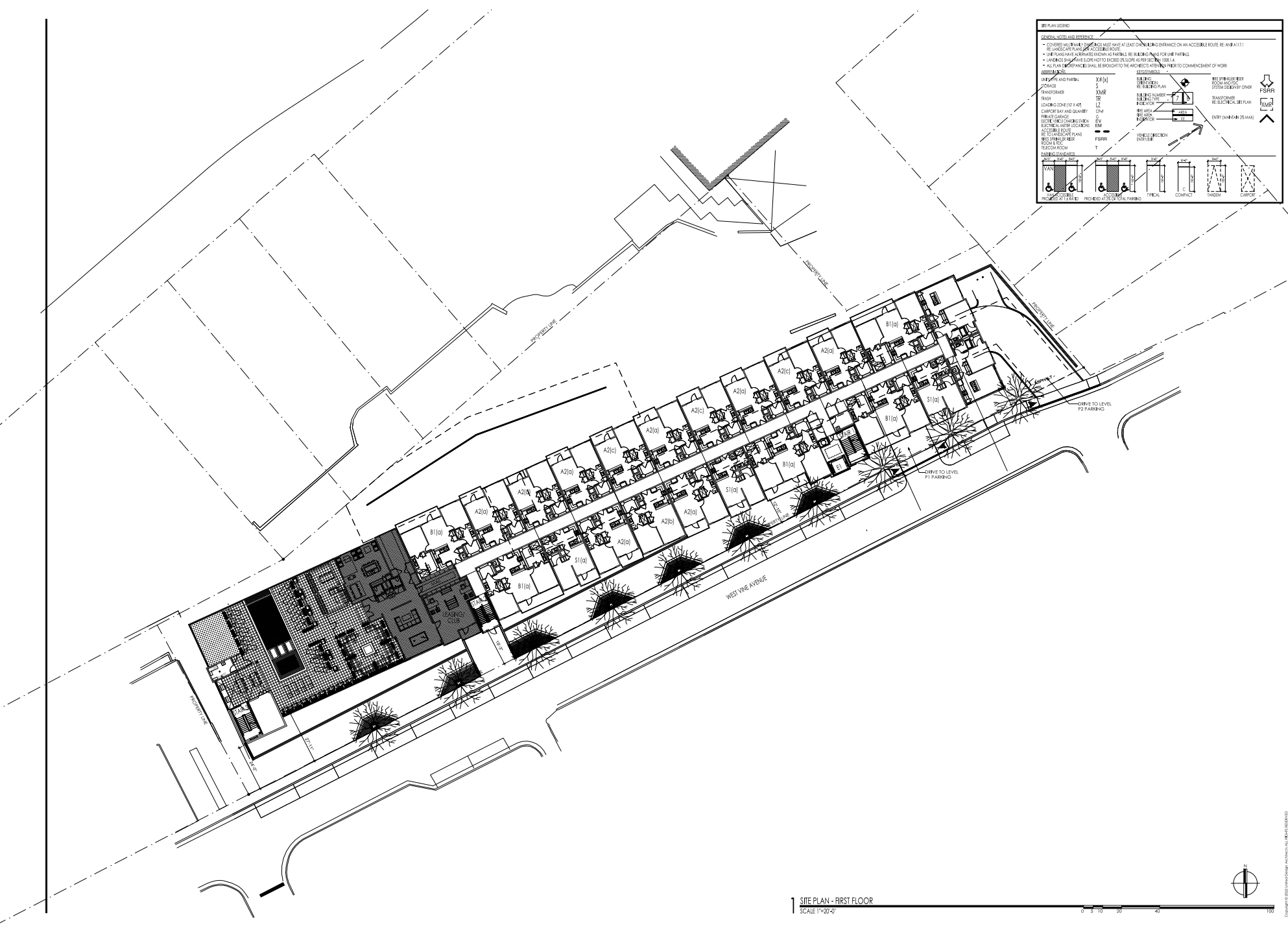
PROJECT #  
21011

DATE  
01-09-2022

SHEET #  
A.103

FIRST FLOOR  
SITE PLAN





**IFB PLAN LEGEND**

**GENERAL NOTE AND REFERENCE**

- COVERED MULTIBAY DRIVEWAYS MUST HAVE AT LEAST ONE DRIVING ENTRANCE ON AN ACCESSIBLE ROUTE, RE: ADA 117.1
- SEE LANDSCAPE PLAN FOR ACCESSIBLE ROUTE
- UNITS AND VEHICLES PARKED AT PARTIALS RE: BUILDING PLAN FOR UNIT PARKING
- UNITS AND VEHICLES PARKED TO EXCEED 90 DEGREES TURN TO R
- ALL FINAL DIMENSIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO COMMENCEMENT OF WORK

**ABBREVIATIONS**

UNITS AND PARKING	XEM (X)	BUILDING ENTRY	SEE FLOOR PLAN	SEE FLOOR PLAN
STORAGE	S	BUILDING PLAN	SEE FLOOR PLAN	SEE FLOOR PLAN
TRANSFORMER	XMR	TRASH	TR	SEE ELECTRICAL PLAN
TRASH	TR	LOADING ZONE (D) HAZ	LZ	SEE ELECTRICAL PLAN
		CAMPUS AND DRIVEWAY	CD	
		PRIVATE GARAGE	EV	
		ELEVATOR	EV	
		ELEVATOR SHAFT	EV	
		ACCESSIBLE ROUTE	AR	
		BIOSUPPLIER REAR	FSBR	
		REAR BIOPRODUCT	FSBR	
		TELECOM ROOM	T	

**PARKING DIMENSIONS**

LANE	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
PROCESSED AT FLOOR																		
PROCESSED AT LEVEL OF TOTAL PARKING																		
	TYPICAL	COMPACT	WALLED	CHARTER														

REVISIONS

PROJECT # 21011

DATE 01-19-2022

SHEET # A.103  
 FIRST FLOOR  
 SITE PLAN

**1 SITE PLAN - FIRST FLOOR**  
 SCALE 1"=20'-0"







1 BLDG ELEVATION - SOUTH  
SCALE 1/16"=1'-0"

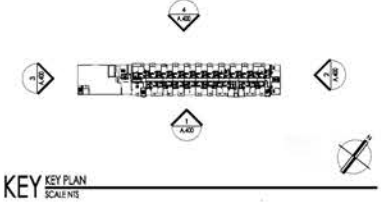


2 BLDG ELEVATION - EAST  
SCALE 1/16"=1'-0"



3 BLDG ELEVATION - WEST  
SCALE 1/16"=1'-0"

B1 MERIDIAN BRICK KING SIZE V255  MORTAR GREY	P1 SHERWIN WILLIAMS URBAN BRONZE SW 7048  METAL, HARDIE REVEAL PANEL BAL-	P2 SHERWIN WILLIAMS ANNONYMOUS SW 7046 FIBER CEMENT PANEL, BALCONY FACIA, GARAGE	P3 SHERWIN WILLIAMS AGREEABLE GRAY SW 7029 FIBER CEMENT PANEL, FIBER CEMENT SIDING	W1 WOODTONE RUSTIC SERIES CASCADE SLATE



ISSUED FOR  
SCHEMATIC DESIGN  
03-30-2022  
NOT TO BE USED FOR  
REGULATORY APPROVAL,  
PERMITTING, OR  
CONSTRUCTION  
REVISIONS



4 BLDG ELEVATION - NORTH  
SCALE 1/16"=1'-0"

PROJECT #  
21011  
DATE  
03-30-2022  
SHEET #  
A.400  
BLDG ELEVATIONS







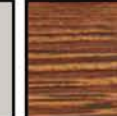
**1 BLDG ELEVATION - SOUTH**  
 SCALE 1/16"=1'-0"



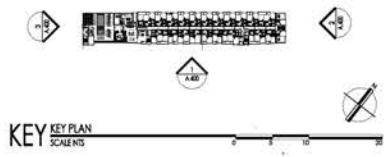
**2 BLDG ELEVATION - EAST**  
 SCALE 1/16"=1'-0"



**3 BLDG ELEVATION - WEST**  
 SCALE 1/16"=1'-0"

				
<b>B1</b> MERIDIAN BRICK KING SIZE ANCHOR  MORTAR DARK GREY	<b>P1</b> SHERWIN WILLIAMS URBAN BRONZE SW 7048  METAL, HARDIE REVEAL PANEL BAL-	<b>P2</b> SHERWIN WILLIAMS NETWORK GRAY SW 7073 FIBER CEMENT PANEL	<b>P3</b> SHERWIN WILLIAMS AGREEABLE GRAY SW 7029 FIBER CEMENT PANEL, FIBER CEMENT SIDING	<b>W1</b> WOODTONE RUSTIC SERIES OLD CHERRY

**KEY KEY PLAN**  
 SCALES



**CAPITOL LOFTS**  
 KNOXVILLE, TENNESSEE  
 TERMINUS REAL ESTATE

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**4 BLDG ELEVATION - NORTH**  
 SCALE 1/16"=1'-0"

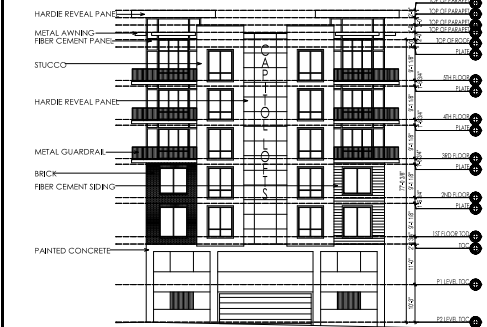
PROJECT #  
 21011  
 DATE  
 01-09-2022  
 SHEET #  
**A.400**  
 BLDG ELEVATIONS



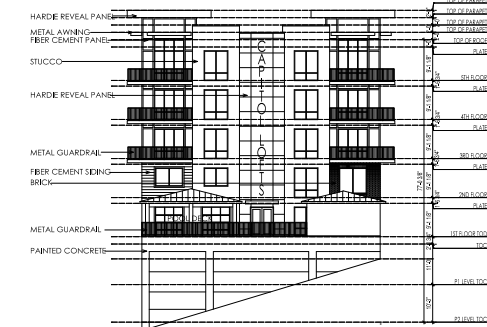
1 BLDG ELEVATION - SOUTH  
SCALE 1/16"=1'-0"

SOUTH ELEVATION - VINE AVENUE

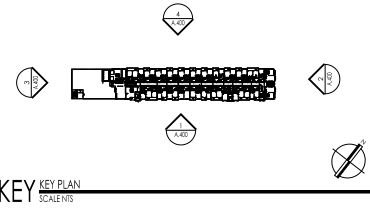
FLOOR	OPENING AREA	WALL AREA	TRANSPARENT %
P2	57 SF	248 SF	22.98%
P1	798 SF	2,015 SF	39.60%
1	1,685 SF	3,851 SF	43.75%
2	1,685 SF	3,851 SF	43.75%
3	1,737 SF	3,851 SF	45.51%
4	1,737 SF	3,851 SF	45.51%
5	2,014 SF	5,366 SF	37.53%



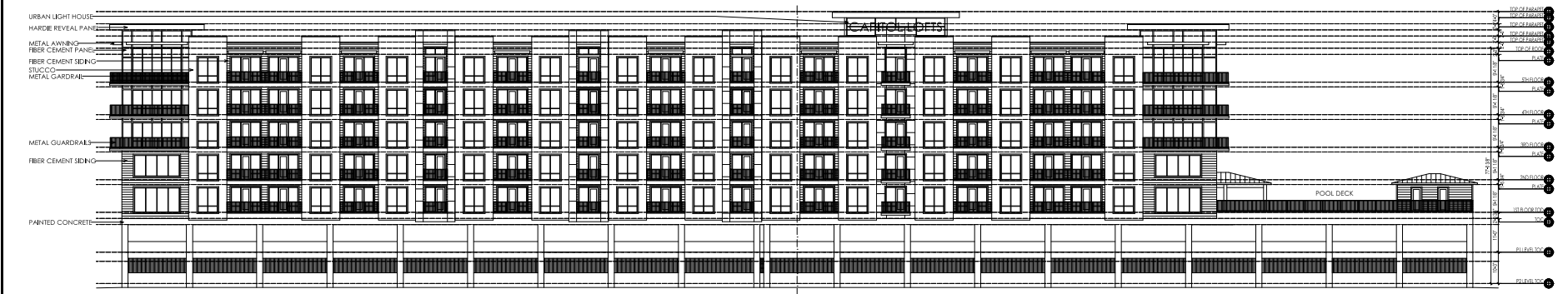
2 BLDG ELEVATION - EAST  
SCALE 1/16"=1'-0"



3 BLDG ELEVATION - WEST  
SCALE 1/16"=1'-0"



KEY PLAN  
SCALE 1/8"=1'-0"



4 BLDG ELEVATION - NORTH  
SCALE 1/16"=1'-0"

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21011

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A.400  
BLDG ELEVATIONS



URBAN LIGHT HOUSE  
OPAQUE FILL ON INTERIOR SIDE OF GLAZING  
BACKLITE WITH MULTI-COLORED LED LIGHTING

UNDER SOFFIT LIGHTING

LIVING WALL WITH T5 LED LIGHTS



<b>B1</b> MERIDIAN BRICK KING SIZE V255  MORTAR GREY	<b>P1</b> SHERWIN WILLIAMS URBAN BRONZE SW 7048  METAL, HARDIE REVEAL PANEL BAL-	<b>P2</b> SHERWIN WILLIAMS ANNONYMOUS SW 7046  FIBER CEMENT PANEL, BALCONY FACIA, GARAGE	<b>P3</b> SHERWIN WILLIAMS AGREEABLE GRAY SW 7029  FIBER CEMENT PANEL, FIBER CEMENT SIDING	<b>W1</b> WOODTONE RUSTIC SERIES CASCADE SLATE
--	--	---	---	---

- 1 BRICK
- 2 STUCCO
- 3 FIBER CEMENT PANEL
- 4 FIBER CEMENT SIDING
- 5 WOODTONE FIBER CEMENT SIDING
- 6 HARDIE REVEAL PANEL WITH REGLETS
- 7 PAINTED CONCRETE

BLDG ELEVATION - SOUTH  
SCALE 1/16"=1'-0"



United Design Architects  
ARCHITECTS  
1000 N. CENTRAL AVENUE  
SUITE 1000  
KNOXVILLE, TN 37917

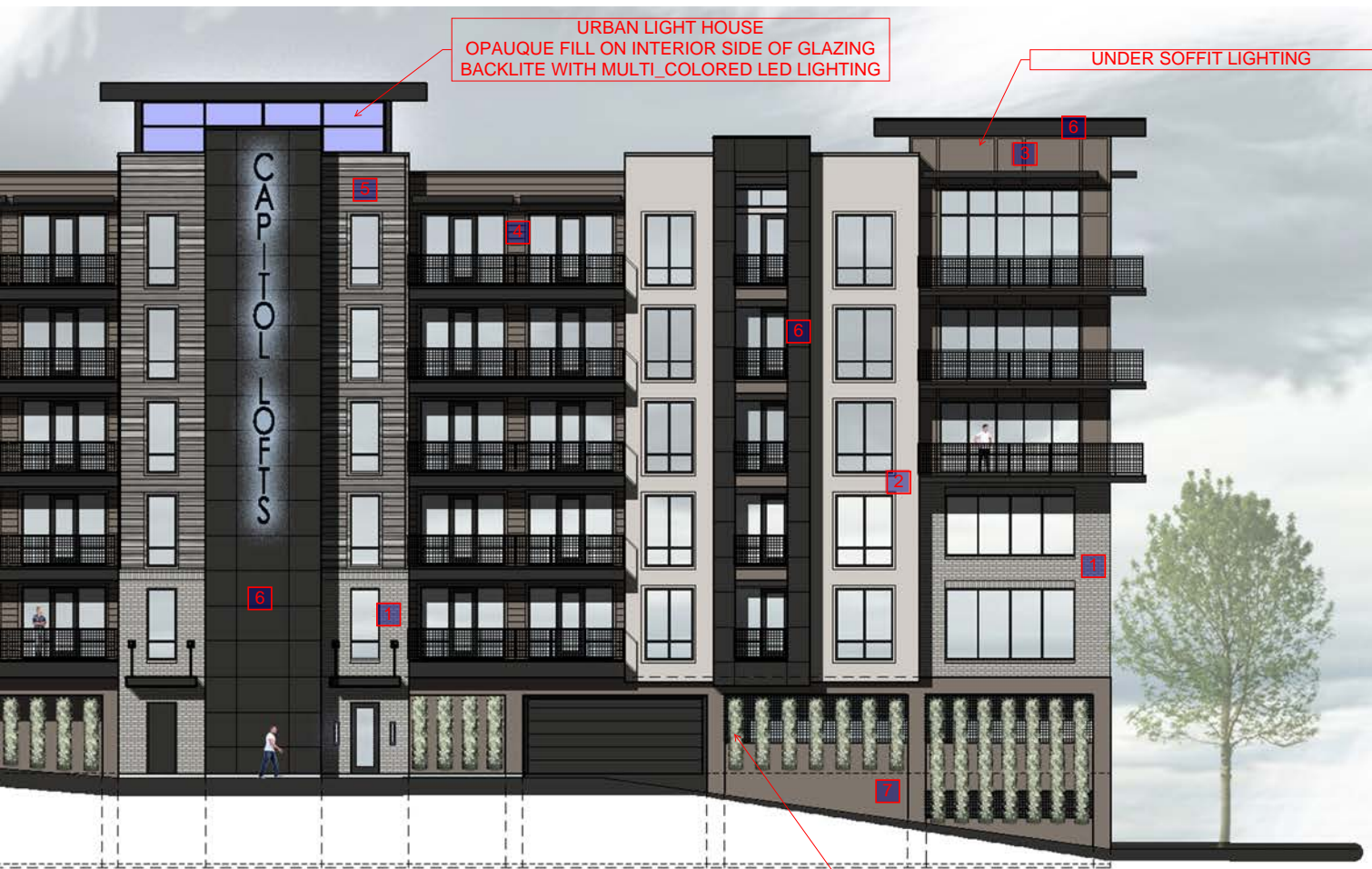
**CAPITOL LOFTS**  
KNOXVILLE, TENNESSEE  
TERMINUS REAL ESTATE

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DATE  
01-09-2022

SHEET #  
A.400  
BLDG ELEVATIONS



URBAN LIGHT HOUSE  
OPAQUE FILL ON INTERIOR SIDE OF GLAZING  
BACKLITE WITH MULTI-COLORED LED LIGHTING

UNDER SOFFIT LIGHTING

LIVING WALL WITH T5 LED LIGHTS



<b>B1</b> MERIDIAN BRICK KING SIZE V255	<b>P1</b> SHERWIN WILLIAMS URBAN BRONZE SW 7048	<b>P2</b> SHERWIN WILLIAMS ANNONYMOUS SW 7046	<b>P3</b> SHERWIN WILLIAMS AGREEABLE GRAY SW 7029	<b>W1</b> WOODTONE RUSTIC SERIES CASCADE SLATE
MORTAR GREY	METAL, HARDIE REVEAL PANEL BAL-	FIBER CEMENT PANEL, BALCONY FACIA, GARAGE	FIBER CEMENT PANEL, FIBER CEMENT SIDING	

- 1 BRICK
- 2 STUCCO
- 3 FIBER CEMENT PANEL
- 4 FIBER CEMENT SIDING
- 5 WOODTONE FIBER CEMENT SIDING
- 6 HARDIE REVEAL PANEL WITH REGLETS
- 7 PAINTED CONCRETE

BLDG ELEVATION - SOUTH  
SCALE 1/16"=1'-0"



United Design Architects  
ARCHITECTS  
1000 BENTLEY BLVD  
KNOXVILLE, TN 37912

**CAPITOL LOFTS**  
KNOXVILLE, TENNESSEE  
TERMINUS REAL ESTATE

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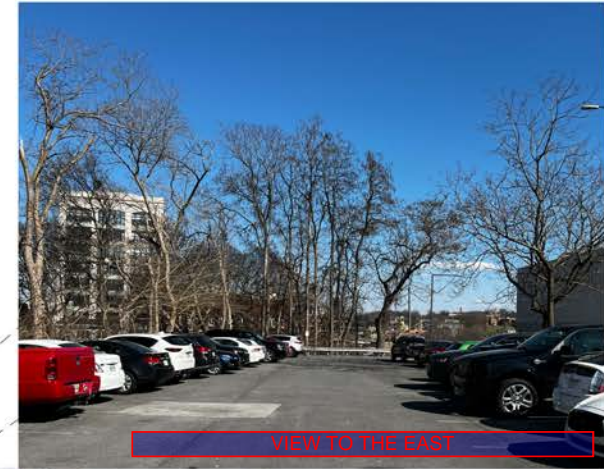


- 1 LEASING/CLUB
- 2 INFINITY EDGE POOL
- 3 POOL SEATING AREA
- 4 POOL EQUIPMENT ROOM
- 5 TANNING
- 6 COVERED SEATING
- 7 FIRE PIT AND SEATING
- 8 DOG WASH
- 9 DOG PARK
- 10 BENCH SEATING AREA WITH PAVERS AND TREE WELL
- 11 PICNIC AND GRILL AREA

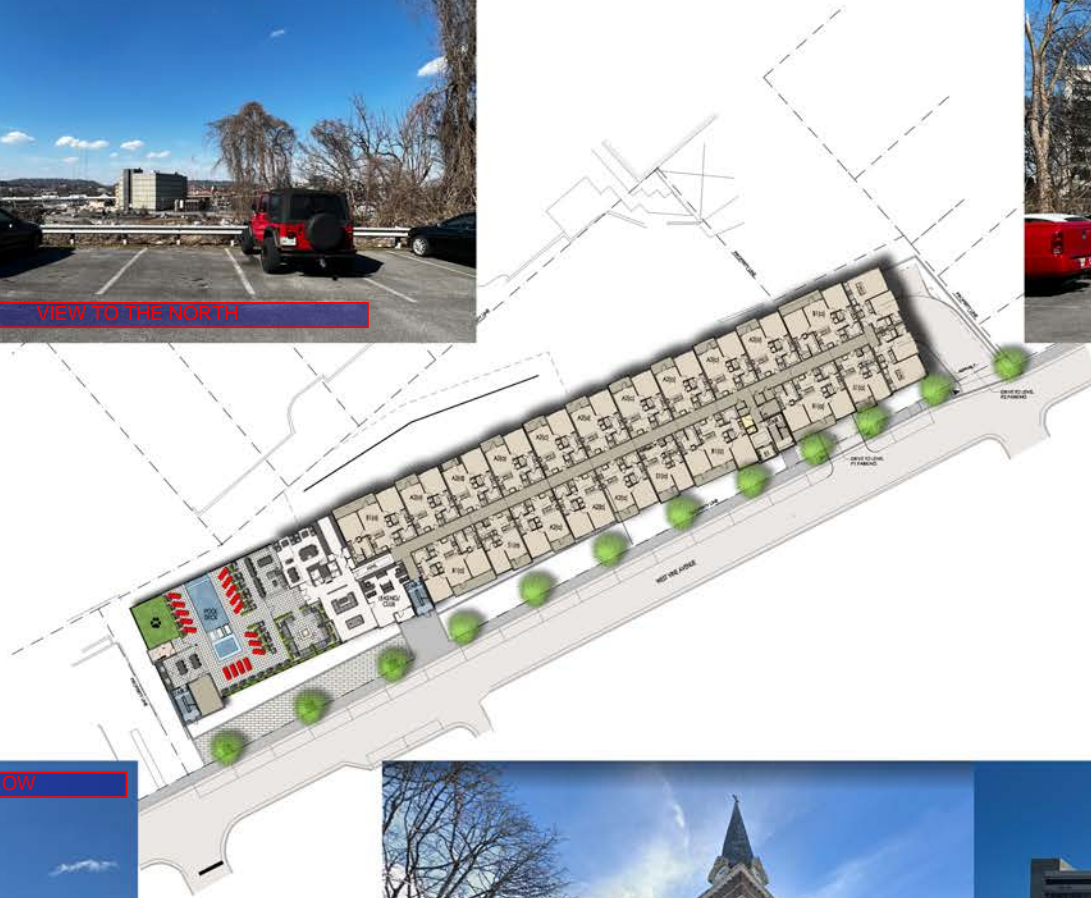




VIEW TO THE NORTH



VIEW TO THE EAST



VIEW TO WEST, RYAN'S ROW



VIEW TO SOUTH, IMMACULATE CONCEPTION CHURCH



VIEW TO THE SOUTH, CROWN PLAZA



VIEW FROM VINE AVENUE, WEST SIDE OF SITE



VIEW FROM VINE AVENUE, MID SITE



AERIAL VIEW FROM SOUTHEAST



AERIAL VIEW FROM NORTHWEST



VIEW FROM VINE AVENUE, EAST SIDE OF SITE



VIEW FROM VINE AVENUE, LOWER EAST SIDE OF SITE



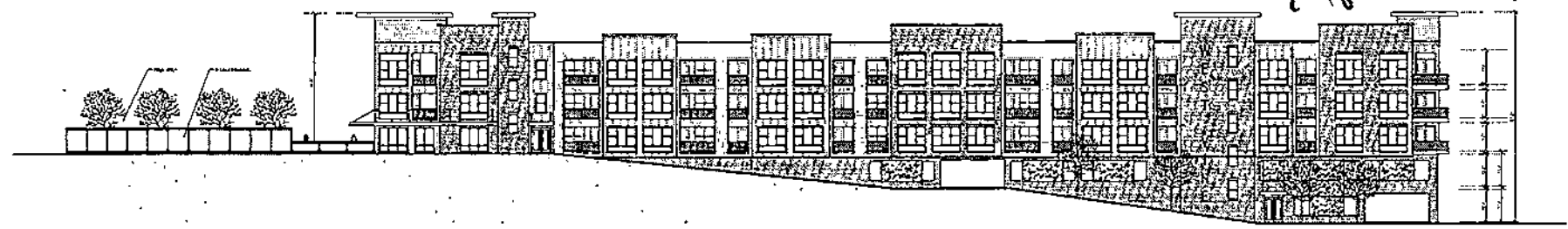


EAST

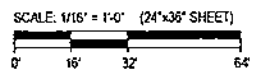
NORTH ELEVATION

WEST

CITY MOVES EAST of POINT A = VISIBILITY of FACADE SOME.



SOUTH ELEVATION



church only takes up 80' of our 92' (C)

(B)

WEST VINE STREET				TERMINUS REAL ESTATE		2017588	
UNIT TABULATION - 3 STORY BUILDING OVER 2 STORY POORUM						8/12/20	
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL AREA	% BREAKDOWN	
S1	Studio/1ba	576	6	8%	3,456	6%	
A1	1br/1ba	639	27	36%	17,253	73%	
A1-ALT	1br/1ba	639	6	8%	3,834		
A2	1br/1ba	802	21	28%	16,842		
B1	2br/2ba	1,094	9	12%	9,846	19%	
B2	2br/2ba	1,272	5	7%	6,360		
<b>TOTALS</b>			<b>74</b>	<b>100%</b>	<b>57,591</b>		

UNIT AVERAGE NET SF: 776

\* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A.C. SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/COMMON STORAGE.

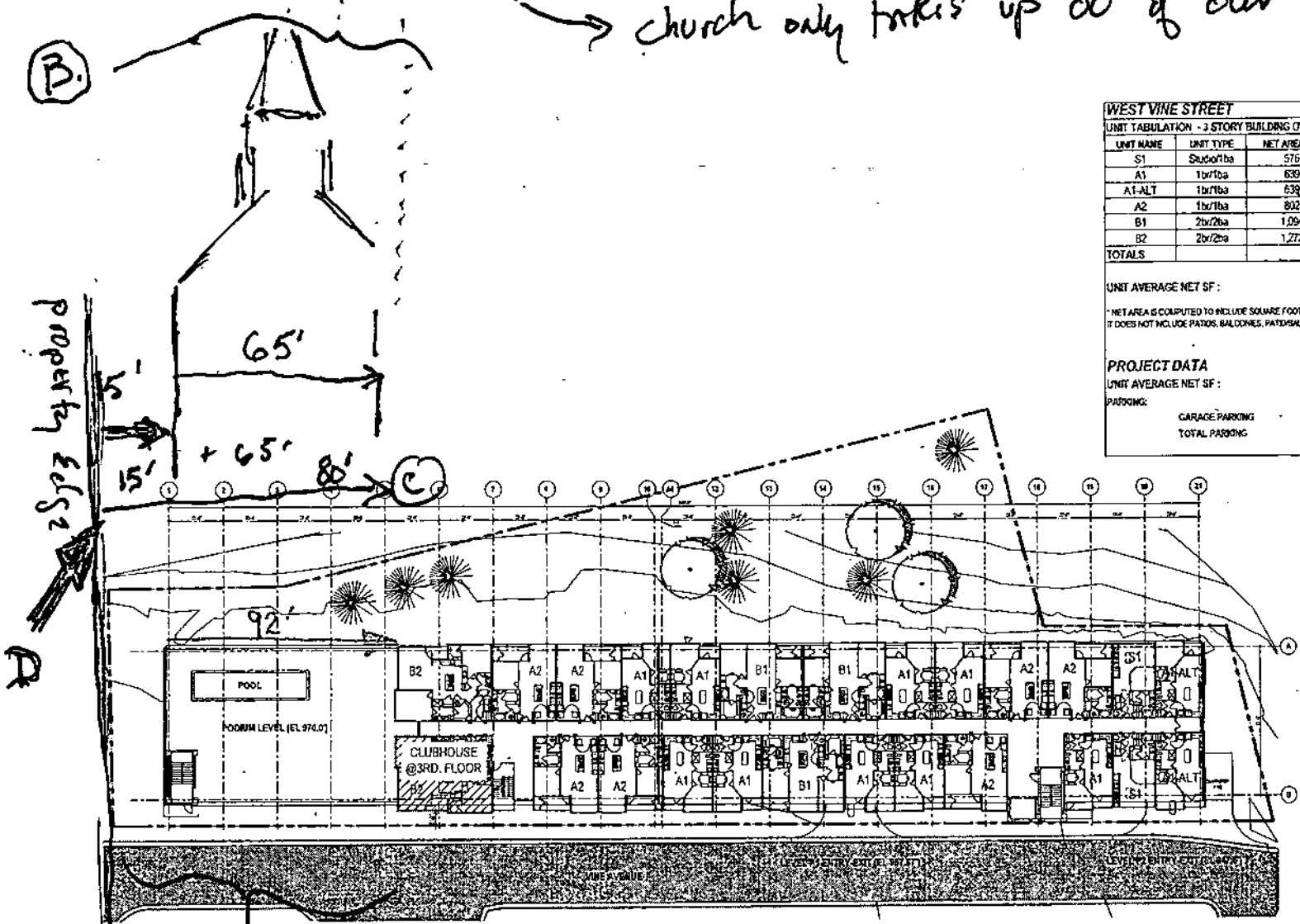
**PROJECT DATA**

UNIT AVERAGE NET SF: 776 SF.

PARKING:

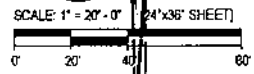
- GARAGE PARKING: 175 SPACES
- TOTAL PARKING: 178 SPACES
- 2.4 SPACES/UNIT

Property Edge



(A)

WE HAVE approximately 92' of opening.



D. NOTE: if A CNR moves east of point D on the interstate then we no longer preserve church facade.

**DESIGNED BY:**  
 MBI  
 299 N. WILSON AVENUE  
 SUITE 100  
 CHICAGO, IL 60610  
 PHONE: 312.329.5500  
 FAX: 312.329.5505  
 WWW: WWW.MBI.COM  
**PROJECT NAME:**  
 CAPITOL LOFTS APARTMENTS  
**PROJECT ADDRESS:**  
 500 N. WILSON AVENUE  
 CHICAGO, IL 60610  
**DATE:**  
 08/25/2022  
**SCALE:**  
 1/8" = 1'-0"

**PROJECT:** RIVERBANK  
**DATE:** 08/25/2022  
**SCALE:** 1/8" = 1'-0"

**PROJECT:** RIVERBANK  
**DATE:** 08/25/2022  
**SCALE:** 1/8" = 1'-0"

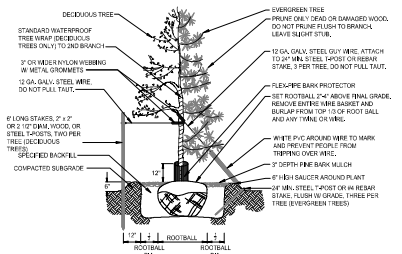
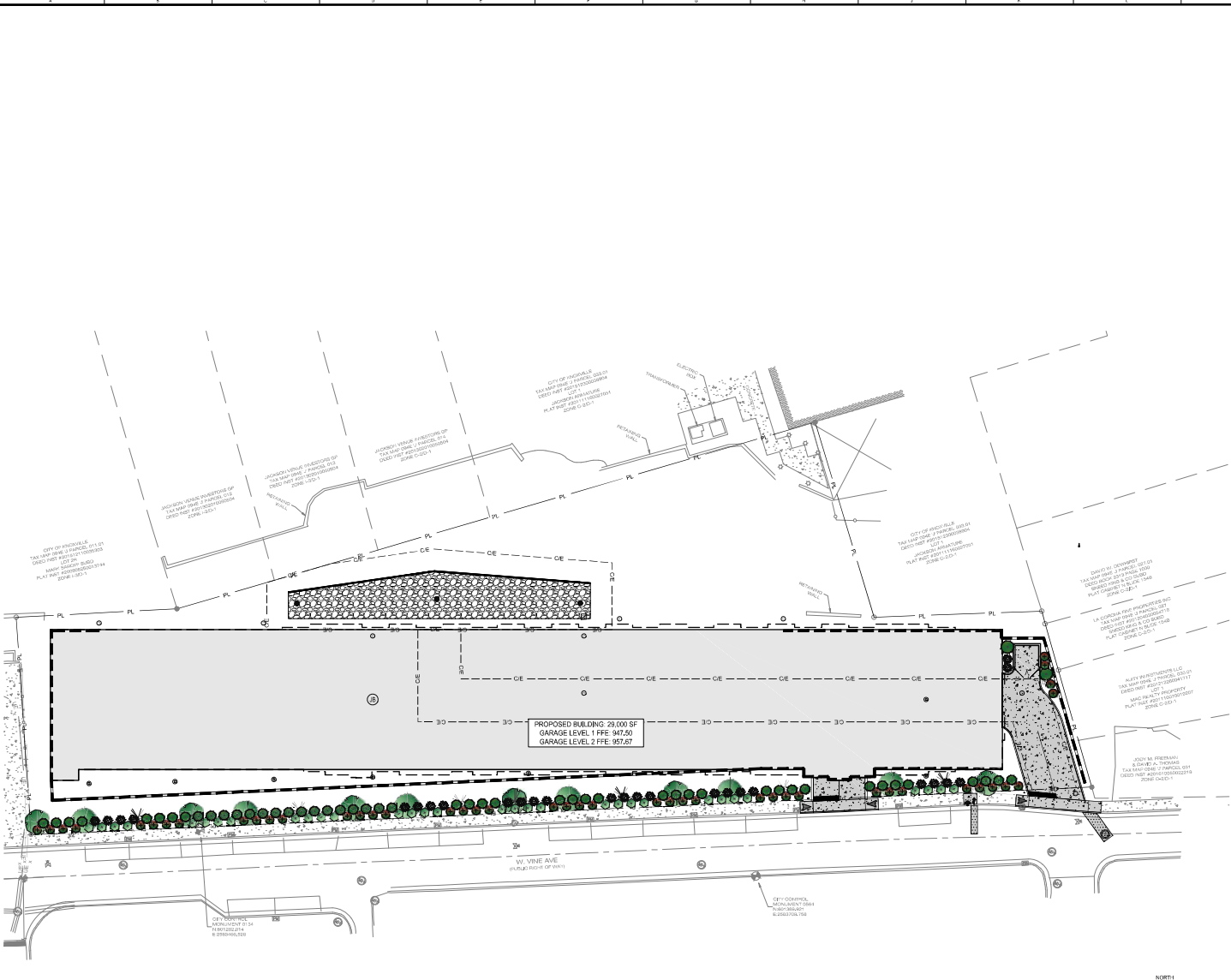
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**DATE:** 08/25/2022  
**SCALE:** 1/8" = 1'-0"

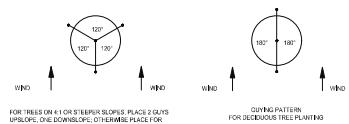
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**SCALE:** 1/8" = 1'-0"

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**DATE:** 08/25/2022  
**SCALE:** 1/8" = 1'-0"

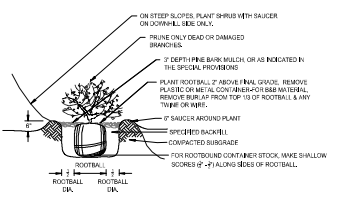
**PROJECT:** RIVERBANK  
**DATE:** 08/25/2022  
**SCALE:** 1/8" = 1'-0"



**TREE PLANTING & GUYING** 3



**GUYING PATTERN** 3



**SHRUB PLANTING DETAIL** 4

**LANDSCAPE PLANTING PLAN**

GENERAL LANDSCAPE NOTES		RIVERBANK SCHEDULE - HYDRO-SEEDING		LANDSCAPE REQUIREMENTS		PLANT SCHEDULE																												
1. CARE TO BE TAKEN TO PROTECT ALL UNDERGROUND UTILITIES. THE GENERAL CONTRACTOR(S) TO VERIFY AND MARK THE EXACT LOCATION OF ALL EXISTING UTILITIES (WATER, SEWER, GAS, ELECTRIC, SERVICE TANKS, ETC.) SOIL USED IN THE BACKFILL OF PLANTING PIT(S) AND LANDSCAPE BEDS SHALL BE CLEAN AND WEED FREE, AND SHALL BE MIXED WITH 20% PEARL MOSS/BARK BY VOLUME. 2. USE FORMATION MATERIALS FOR BEDS OR GRADE, SHALL BE USED IN ALL PLANTING PIT(S). 3. WHEREVER TYPICAL OR EQUAL TO BE APPLIED TO PLANTING BEDS FOR HODIOUS WEED CONTROL. 4. ALL PLANTING BEDS TO MAINTAIN A MINIMUM 7\"/>		<b>ORGANISMS</b> Dried grass seed - Big Bluestem 1,000 Dried grass seed - Orchard Grass 1,000 Dried grass seed - Kentucky Bluegrass 1,000 Fescue mix - Creeping Red Fescue 8,000 Fescue mix - Annual Ryegrass 8,000 Ryegrass mix - Perennial Ryegrass 2,000 Ryegrass mix - Fescue Ryegrass 4,000 <b>FIBRES</b> 40% Fibre (Fibre) New England Asher 3,200 Larkspur Fibre (Fibre) 3,200 Meadow Fescue Fibre (Fibre) 3,200 Perennial Ryegrass Fibre (Fibre) 3,200 Ryegrass Fibre (Fibre) 3,200 Ryegrass Fibre (Fibre) 3,200		<b>PLANTING AREA REQUIRED ALONG 80% OF THE LINEAR FACADE AREA</b> <b>RIVERBANK FACADE = 442'</b> <b>442' x 5.60' = 2462.72'</b> <b>REQUIREMENTS:</b> <b>ONE (1) SHRUB EVERY THREE (3) FEET</b> <b>295.27' x 7' = 2066.89' - 89 SHRUBS REQUIRED</b> <b>158 SHRUBS PROVIDED</b> <b>ONE (1) SHADE TREE EVERY FIFTY (50) FEET</b> <b>OR TWO (2) ORNAMENTAL TREES MAY BE SUBSTITUTED FOR ONE (1) SHADE TREE</b> <b>295.27' x 5.0' = 1476.35' - 8 SHADE TREES OR 12 ORNAMENTAL TREES REQUIRED</b> <b>18 ORNAMENTAL TREES PROVIDED</b>		<table border="1"> <thead> <tr> <th>FLOWERING TREES</th> <th>QTY</th> <th>COMMON NAME / BOTANICAL NAME</th> <th>SIZE</th> <th>CAL</th> <th>COUNT</th> </tr> </thead> <tbody> <tr> <td>6</td> <td>REDBUD / Cercis canadensis</td> <td>16-18\"/&gt; </td></tr></tbody> </table> <table border="1"> <thead> <tr> <th>DECIDUOUS SHRUBS</th> <th>QTY</th> <th>COMMON NAME / BOTANICAL NAME</th> <th>SIZE</th> <th>CAL</th> <th>COUNT</th> </tr> </thead> <tbody> <tr> <td>42</td> <td>SPIREA / Spirea x Little Princess</td> <td>16-24\"/&gt; </td></tr></tbody> </table> <table border="1"> <thead> <tr> <th>EVERGREEN SHRUBS</th> <th>QTY</th> <th>COMMON NAME / BOTANICAL NAME</th> <th>SIZE</th> <th>CAL</th> <th>COUNT</th> </tr> </thead> <tbody> <tr> <td>50</td> <td>BLUE POINT JUMPYR / Juniperus chinensis 'Blue Point'</td> <td>3-4\"/&gt; </td></tr></tbody> </table>		FLOWERING TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	CAL	COUNT	6	REDBUD / Cercis canadensis	16-18\"/>	DECIDUOUS SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	CAL	COUNT	42	SPIREA / Spirea x Little Princess	16-24\"/>	EVERGREEN SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	CAL	COUNT	50	BLUE POINT JUMPYR / Juniperus chinensis 'Blue Point'	3-4\"/>
FLOWERING TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	CAL	COUNT																													
6	REDBUD / Cercis canadensis	16-18\"/>																																
DECIDUOUS SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	CAL	COUNT																													
42	SPIREA / Spirea x Little Princess	16-24\"/>																																
EVERGREEN SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	CAL	COUNT																													
50	BLUE POINT JUMPYR / Juniperus chinensis 'Blue Point'	3-4\"/>																																

Know what's below.  
 Call before you dig.  
 1-800-485-4311

