



# Staff Report

Infill Housing Design Review Committee

File Number: 10-C-21-IH

**Meeting:** 10/20/2021  
**Applicant:** Jim Swink ETHDC  
**Owner:** KCDC

---

## Property Information

**Location:** 1540 Minnesota Ave. **Parcel ID** 81 P F 001  
**Zoning:** RN-2 (Single-Family Residential Neighborhood)  
**District:** Lonsdale Infill Housing Overlay District

---

## Description of Work

Level III New Primary Structure

Proposed new residence fronting Minnesota Avenue. One-story residence features a front-gable roof (7/12 pitch, clad in asphalt shingles), an exterior of vinyl lap siding, and a split-face CMU foundation. The house is proposed to be set 20' from the façade to the front property line. Parking is a 20' wide by 24' deep concrete pad accessible from the alley, to the rear of the property line, with a 36" wide concrete sidewalk connecting the rear access and the parking.

The façade (north) features a smaller front-gable roof massing projecting from the left half, adjacent to a recessed corner porch on the right half. The porch is supported by an 8" square vinyl column and a picket railing, and accessible by concrete steps. Paired six-over-six, double-hung windows flank a half-light door on the façade. A wood deck extends from a secondary entryway on the rear, accessible by a pressure-treated wood ramp.

---

## Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

### 1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- When several infill houses, porches and the habitable portion of each house should be about the same distance from the street as the original houses.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

### 2. House Orientation and Side Yards

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

### 3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations.
- On streets without alleys, garages or parking pads should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- Alley oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.

### 4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to the other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- If extensions or bays were typically part of the neighborhood's historic house design, such elements should be incorporated into infill housing.
- New foundations should be about the same height as the original houses in the neighborhood.

### 5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12' toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development.

### 6. Windows and Doors

- When constructing new houses, the windows and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

### 7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Infill neighborhoods.

### 8. Siding Materials

- Clapboard-like materials should be used in constructing new housing where painted wood siding was traditionally used.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

### 11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house

---

## Comments

1. The new house is proposed to be set 20' from the front property line at the closest point. The average front

setback of the block is 30'; however, that average does not incorporate the adjacent, newly-built infill houses at 1534 and 1536 Minnesota Ave. 1534 and 1536 Minnesota are set 25' from the front property line, with 8' deep front porches encroaching (19' to the front property line). The proposed house will be in line with the front setback pattern of the street. The site plan includes a walkway from the front door to the street.

2. The block is characterized by modified Queen Anne cottages and contemporary infill construction adjacent and across the street. The proposed house is proportionate to the narrow dimensions of the block and the other houses on the street. The house is set to the left side of the lot, with a proposed 10' left side setback and a 26' right side setback. The house should be moved slightly towards the center of the lot to create a consistent side setback pattern and meet the 12' corner side setback requirement of the RN-2 zoning.

3. Parking meets Infill Housing design guidelines and City Engineering standards. Any modifications to the site plan in permitting should reflect City Engineering standards.

4. The one-story, three-bay façade is similar in scale and width to the block. The proposed foundation height, at 8", is lower than the historic context or the adjacent infill houses, and should be elevated. The design incorporates a projecting bay on the façade for additional complexity.

5. The design incorporates a 10' deep front porch, with a column and railing appropriate for the design.

6. Windows and doors are compatible with the neighborhood context, and side elevations feature a sufficient number of windows.

7. The roof pitch is sufficiently steep for the neighborhood context. The projecting bay adds complexity and differentiates the new house from the adjacent infill construction.

8. Roof cladding, siding, and foundation materials meet the design guidelines. The proposed vinyl siding should use an overlap instead of Dutch lap or flush panels.

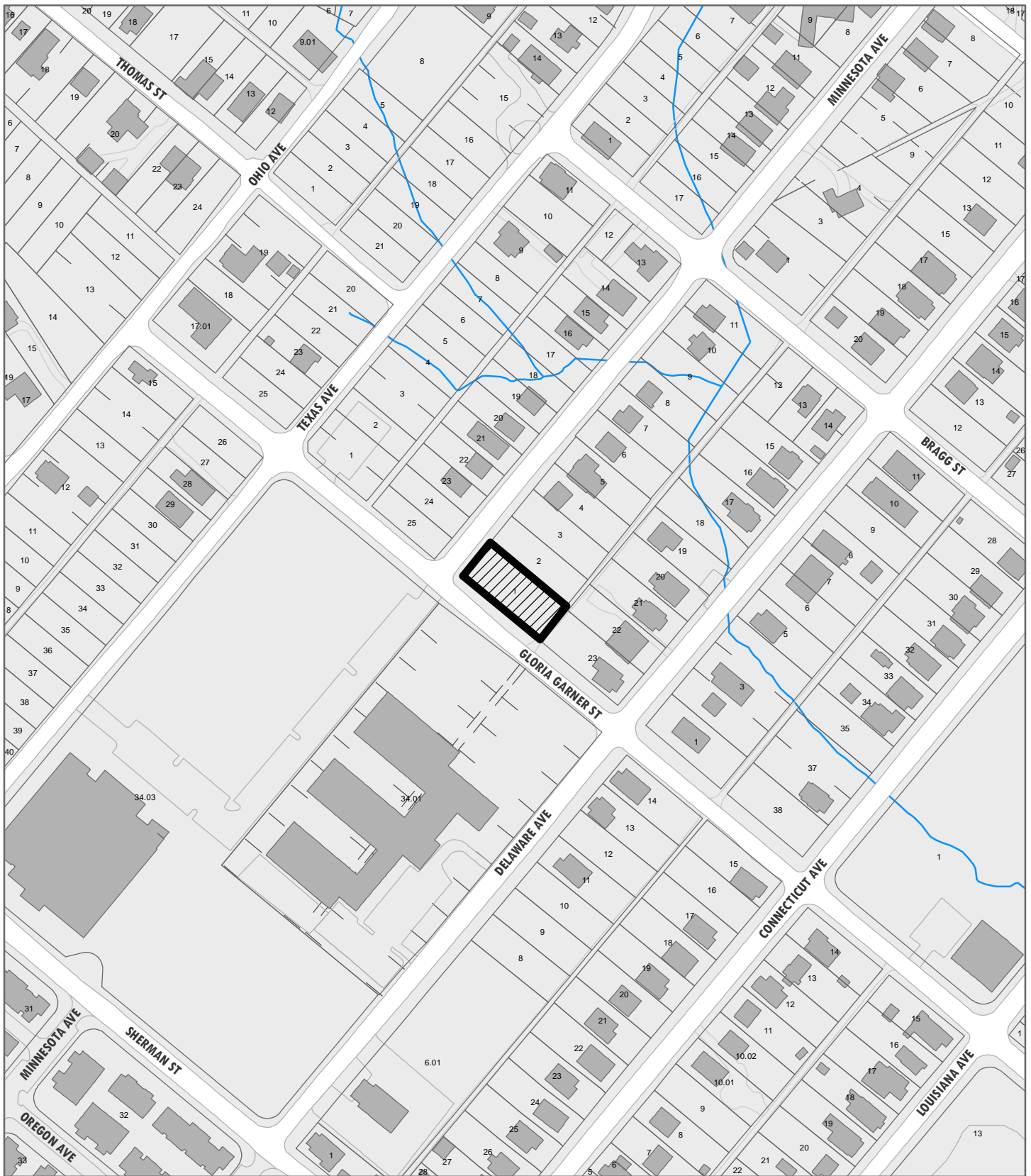
9. The site plan incorporates a new tree in the front yard and notes that mature trees not impacted by construction will remain.

---

## Recommendation

Staff recommends approval of Certificate 10-C-21-IH, with the following conditions:

- 1) Parking to meet City Engineering standards;
- 2) Modify side setbacks, with final site plan approval by staff;
- 3) Elevate foundation height to between 1' and 18";
- 4) Use a lap siding with an overlap, instead of Dutch lap or flush panels.



**10-C-21-IH**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

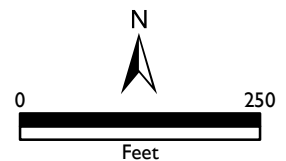
Applicant: Jim Swink ETHDC

**INFILL  
HOUSING  
REVIEW  
BOARD**



1540 Minnesota Ave.  
Lonsdale Infill Housing Overlay District

Original Print Date: 10/8/2021  
Revised:  
Knoxville/Knox County Planning - Infill Housing Design Review Committee





# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Applicant EAST TENNESSEE HOUSING DEVELOPMENT CORP.

Date Filed 9/28/21

Meeting Date (if applicable) OCTOBER 20, 2021

File Number(s) 10-C-21-IH

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Name JIM SWINK

Company ETHDC

Address 10414 JACKSON OAKS WAY #202

City KNOXVILLE

State TN

Zip 37922

Phone (865) 918-2544

Email JIMSWINK7C@GMAIL.COM

## CURRENT PROPERTY INFO

PURCHASING FROM THE CITY OF KNOXVILLE HOME MAKERS PROGRAM

KATHY ELLIS  
400 W. MAIN ST.  
#532 KNOXVILLE TN  
37902

(865) 215-2120

Owner Name (if different from applicant)

Owner Address

Owner Phone

Property Address 1540 MINNESOTA AVE.

Parcel ID 081 PF 001

Neighborhood LONSDALE

Zoning RN-2 (IH)

## AUTHORIZATION

Staff Signature Lindsay Crockett

Please Print Lindsay Crockett

Date 9/28/21

Date

Applicant Signature Jim Swink

Please Print JIM SWINK  
ETHDC Project  
Director

Date 09/28/21

Date

# REQUEST

DOWNTOWN DESIGN

**Level 1:**

- Signs     Alteration of an existing building/structure

**Level 2:**

- Addition to an existing building/structure

**Level 3:**

- Construction of new building/structure     Site design, parking, plazas, landscape

*See required Downtown Design attachment for more details.*

- Brief description of work: \_\_\_\_\_

HISTORIC ZONING

**Level 1:**

- Signs     Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

**Level 2:**

- Major repair, removal, or replacement of architectural elements or materials     Additions and accessory structures

**Level 3:**

- Construction of a new primary building

**Level 4:**

- Relocation of a contributing structure     Demolition of a contributing structure

*See required Historic Zoning attachment for more details.*

- Brief description of work: \_\_\_\_\_

INFILL HOUSING

**Level 1:**

- Driveways, parking pads, access point, garages or similar facilities     Subdivisions

**Level 2:**

- Additions visible from the primary street     Changes to porches visible from the primary street

**Level 3:**

- New primary structure  
 Site built     Modular     Multi-Sectional

*See required Infill Housing attachment for more details.*

- Brief description of work: CONSTRUCTION OF A NEW 3BR/2BA, 1,176 SQ.FT. SINGLE-FAMILY DWELLING. TO BE SOLD AS AN AFFORDABLE HOME.

STAFF USE ONLY

**ATTACHMENTS**

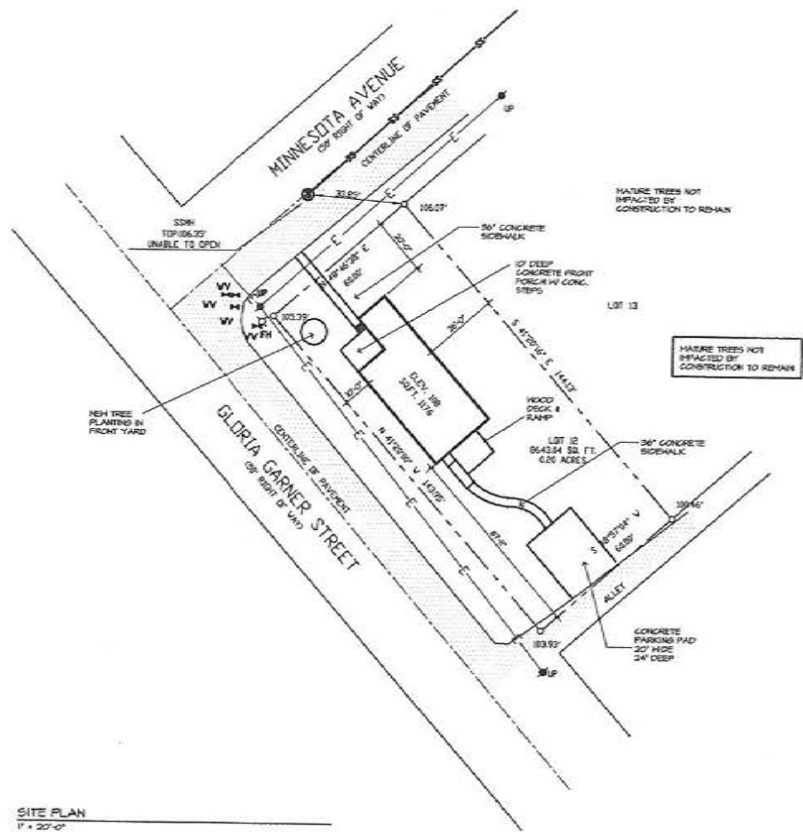
- Downtown Design Checklist  
 Historic Zoning Design Checklist  
 Infill Housing Design Checklist

**ADDITIONAL REQUIREMENTS**

- Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	250.00	TOTAL: 250.00
FEE 2:		
FEE 3:		



SITE PLAN  
1" = 20'-0"

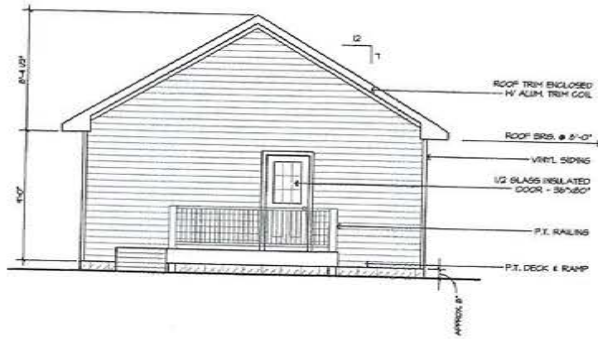
EAST TENNESSEE  
DEVELOPMENT CORP.  
1540 MINNESOTA AVE.  
KNOXVILLE, TN 37921

THIS DRAWING HAS BEEN ISSUED:  
 FOR PREVIEW  
 FOR RECORDING  
 FOR PROGRAMMING  
 FOR CONSTRUCTION  
 ISSUED DATE: 9/21/02

DATE:	BY:	CHECKED BY:

SITE PLAN

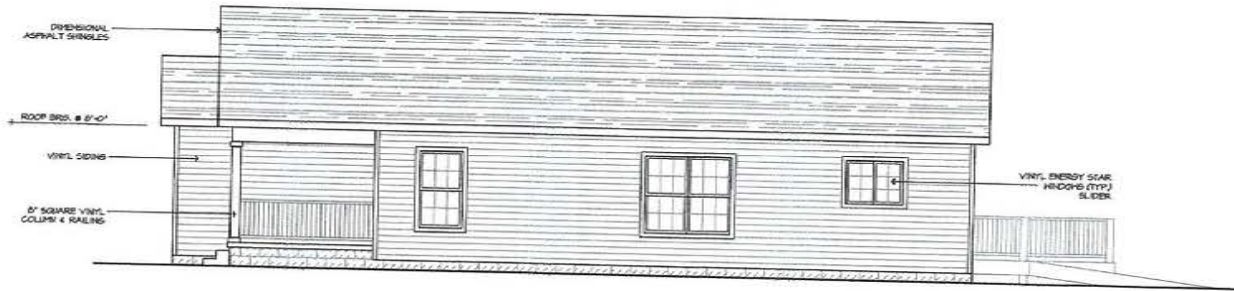
A.I.O.



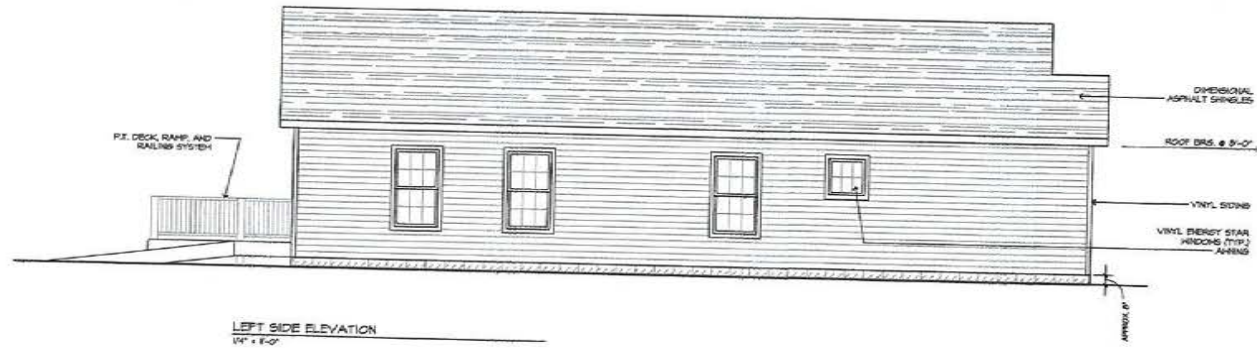
REAR ELEVATION  
1/4" = 1'-0"



FRONT ELEVATION  
1/4" = 1'-0"



RIGHT SIDE ELEVATION  
1/4" = 1'-0"



LEFT SIDE ELEVATION  
1/4" = 1'-0"

EAST TENNESSEE  
DEVELOPMENT CORP.  
1540 MINNESOTA AVE.  
KNOXVILLE, TN 37912

THIS DRAWING HAS BEEN ISSUED:  
 FOR INFORMATION  
 FOR PERMITTING  
 FOR PROCEEDINGS  
 FOR CONSTRUCTION  
 ISSUED DATE: 9/27/21  
 DRAWN BY: [ ] CHECKED BY: [ ]  
 DATE: [ ] FILE NO: [ ]  
 REV. NO. OF CHG. DESCRIPTION

EXTERIOR ELEVATIONS

A1.2