

Meeting: 10/20/2021
Project: Alliant sign
Applicant: Amy Shelby/Sycamore Sign Service

Property Information

Location: 520 W. Summit Hill Ave. **Parcel ID** 94 L C 018
Zoning: DK (Downtown Knoxville)
Description:
C. 1980, irregularly-shaped, multi-story commercial building.

Description of Work

Level I Sign

Proposed new illuminated wall sign. Sign will be located on the left side, uppermost level of the W. Summit Hill Drive elevation of the Langley Building. Sign measures 24' - 2-3/8" wide by 5'-2" tall (102 sq. ft.) and features illuminated, face lit, aluminum channel letters. Individual letters of the sign will be mounted to the building.

Applicable Design Guidelines

Downtown Design Guidelines

A. The Boulevard District

Signs within downtown Knoxville are regulated by Article 13 of the Zoning Ordinance for Knoxville, Tennessee. These guidelines for the Boulevard district recognize that certain types of signs are more appropriate to specific areas and should be encouraged within these areas.

3. Recommended Signs

3a. Wall signs, mounted flush to the building façade or on the building's sign board

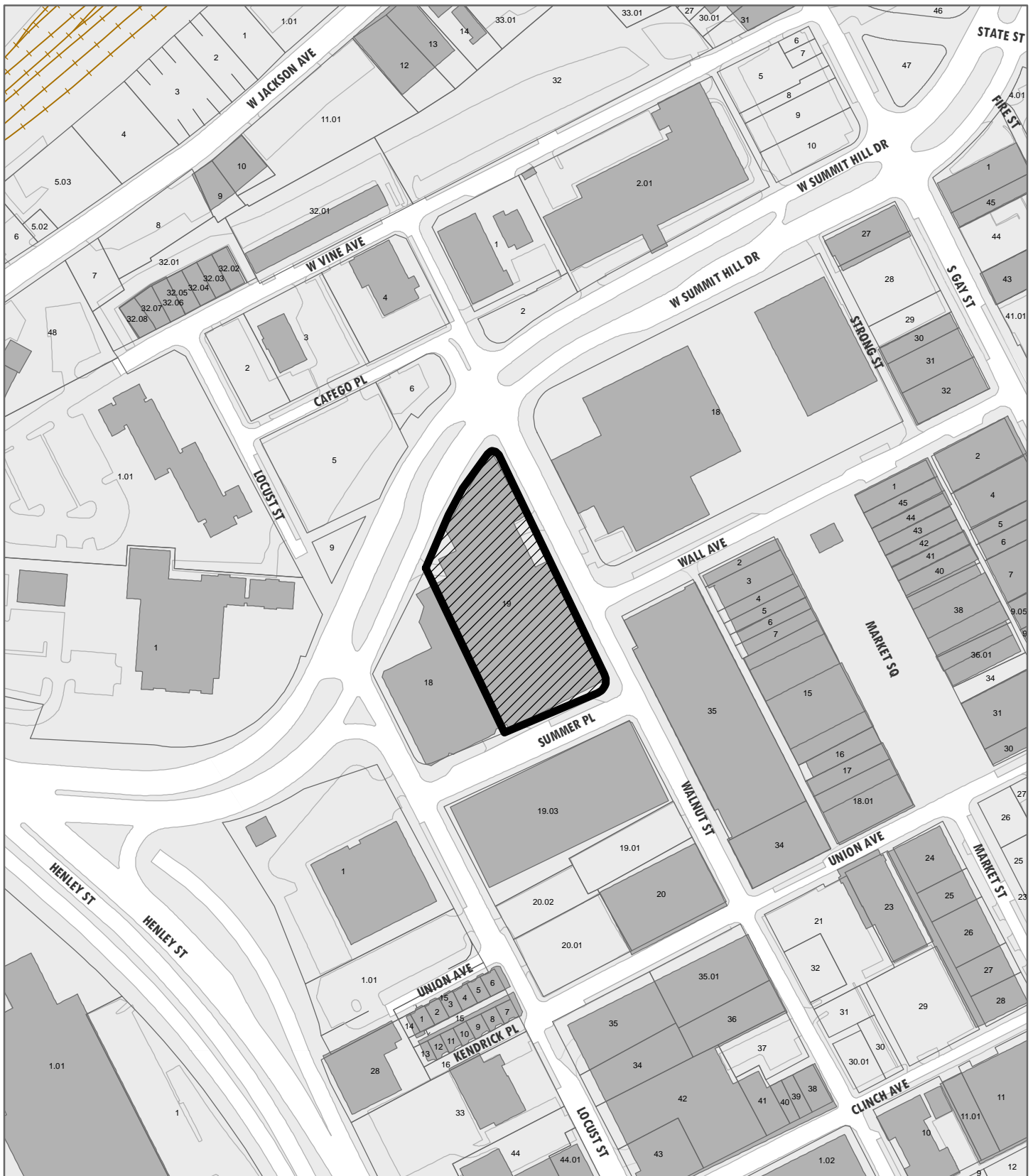
3b. Monument sign

Comments

The proposed sign meets the signage guidelines for the DK-B (Boulevard District) as a wall sign mounted flush to the building façade. While the sign is large in size, it is proportionate to the multi-story building and the wall section on which it will be placed. It will contribute visual interest to the W. Summit Hill elevation. The proposed signage will be required to meet the provisions of the City Sign Code, with a total area (including additional signage, such as the FirstBank sign on the Locust Street elevation) equal to 10% or less of the wall area of the primary building elevation.

Recommendation

Staff recommends approval of Certificate 10-B-21-DT, subject to meeting all relevant provisions of the City Sign Code.



10-B-21-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

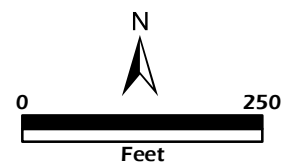
**DOWNTOWN
DESIGN
REVIEW
BOARD**



520 W. Summit Hill Ave.
Level 1: Sign

Original Print Date: 10/8/2021
Revised:
Knoxville/Knox County Planning · Downtown Design Review Board

Petitioner: Amy Shelby/Sycamore Sign Service



(1) Download and fill out this form at your convenience. (2) Sign the application digitally (or print, sign, and scan). (3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices or email it to applications@knoxplanning.org.

Reset Form



DESIGN REVIEW REQUEST

- ☐ DOWNTOWN DESIGN (DK)
☐ HISTORIC ZONING (H)
☐ INFILL HOUSING (IH)

Alliant

Applicant
4Oct21

October 20, 2021

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Owner ☒ Contractor ☐ Engineer ☐ Architect/Landscape Architect

Amy Shelby

Sycamore Sign Service

Name

3315 Riverside Drive

Company

Knoxville

TN

37914

Address

865-247-0466

City

amys@sycamoreess.com

State

Zip

Phone

Email

CURRENT PROPERTY INFO

FL Summit Hill LLC

520 W Summit Hill Dr #STE 1201

Owner Name (if different from applicant)

520 W Summit Hill Dr Knoxville TN 37902

Owner Address

094LC018

Owner Phone

Property Address

Parcel ID

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

10.4.21

Staff Signature

Please Print

Date

Amy Shelby

AMY SHELBY

04 OCT 21

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- ☒ Signs ☐ Alteration of an existing building/structure

Level 2:

- ☐ Addition to an existing building/structure

Level 3:

- ☐ Construction of new building/structure ☐ Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

- ☐ Brief description of work:

HISTORIC ZONING

Level 1:

- ☐ Signs ☐ Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- ☐ Major repair, removal, or replacement of architectural elements or materials ☐ Additions and accessory structures

Level 3:

- ☐ Construction of a new primary building

Level 4:

- ☐ Relocation of a contributing structure ☐ Demolition of a contributing structure

See required Historic Zoning attachment for more details.

- ☐ Brief description of work:

INFILL HOUSING

Level 1:

- ☐ Driveways, parking pads, access point, garages or similar facilities ☐ Subdivisions

Level 2:

- ☐ Additions visible from the primary street ☐ Changes to porches visible from the primary street

Level 3:

- ☐ New primary structure
☐ Site built ☐ Modular ☐ Multi-Sectional

See required Infill Housing attachment for more details.

- ☐ Brief description of work:

STAFF USE ONLY

ATTACHMENTS

- ☐ Downtown Design Checklist
☐ Historic Zoning Design Checklist
☐ Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- ☐ Property Owners / Option Holders

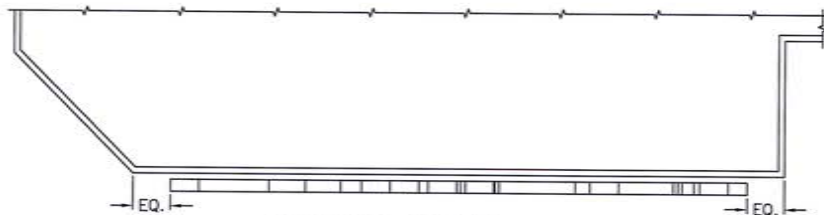
Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

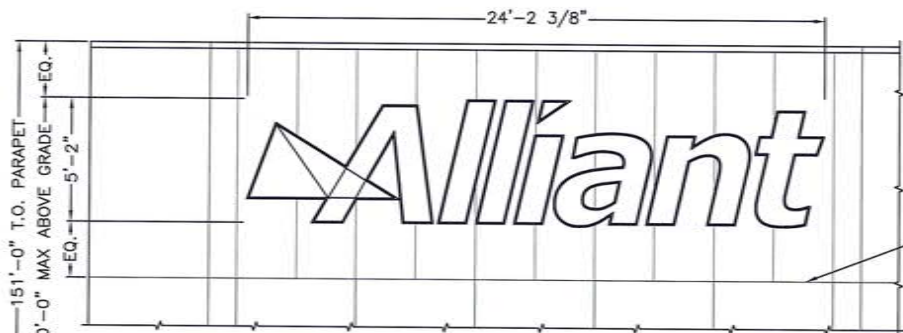
TOTAL:

FEE 2:

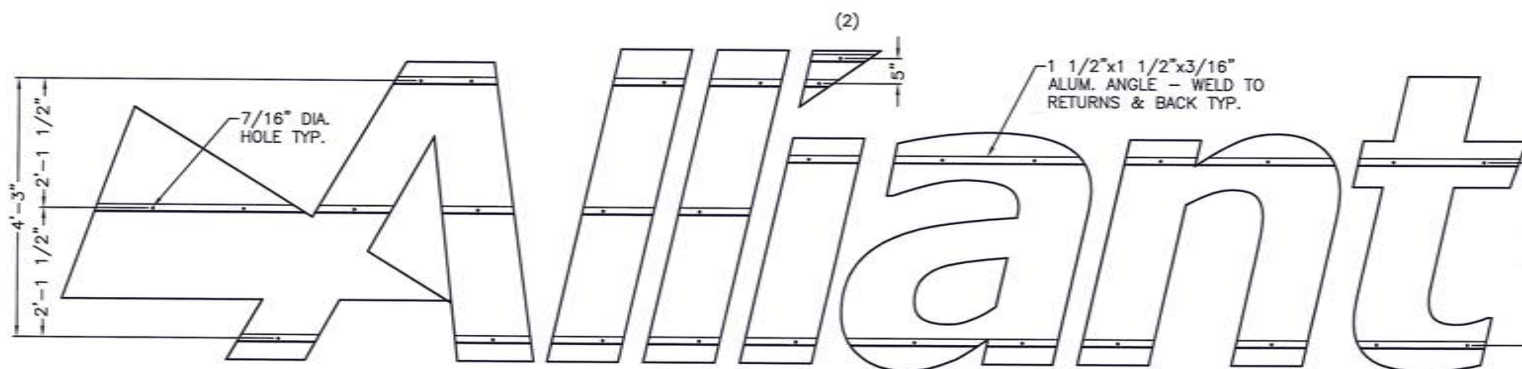
FEE 3:



PARTIAL BLDG. PLAN VIEW



PARTIAL BLDG. ELEVATION



LETTER MOUNTING LOCATION LAYOUT

General Notes:

1. Design is based on a 105 mph, 3 second gust wind design per IBC 2018, Category II, Exposure C, Components and Cladding, Zone 5. Seismic Design Category D. 10 psf Ground Snow Load.
2. No additional wind catching surfaces are added to the building structure. The customer's building engineer is to determine the adequacy of the supporting structure.
3. All fasteners shall be zinc coated to prevent corrosion.
4. All wall penetrations shall be sealed to prevent water penetration.
5. The scope of this engineer does not include onsite observations.
6. LINK Engineering will not be responsible for the safety on this job site before, during or after installation of this structure. It is the responsibility of the owners, contractors and installers to ensure that the installation and erection of this structure is performed using methods that are in full compliance with OSHA regulations.
7. Any deviation from this design or from any part of this drawing, including the General Notes, without prior written consent from LINK Engineering voids this drawing in its entirety.
8. The structure designed on this drawing are intended to be installed at the address shown and should not be used at any other location.

INSTALLATION ADDRESS:

ALLIANT INSURANCE
520 W. SUMMIT HILL DRIVE
SUITE 1201
KNOXVILLE, TN 37902

CLIENT:

Pattison Sign Group
Powering Your Brand
520 WEST SUMMIT HILL DR, SUITE 102 - KNOXVILLE, TN 37902
Tel (865) 693-1105 - Fax (865) 693-1106 - Toll Free (866) 218-1878

DATE	DESCRIPTION
-/-/-	-----
-/-/-	-----
-/-/-	-----

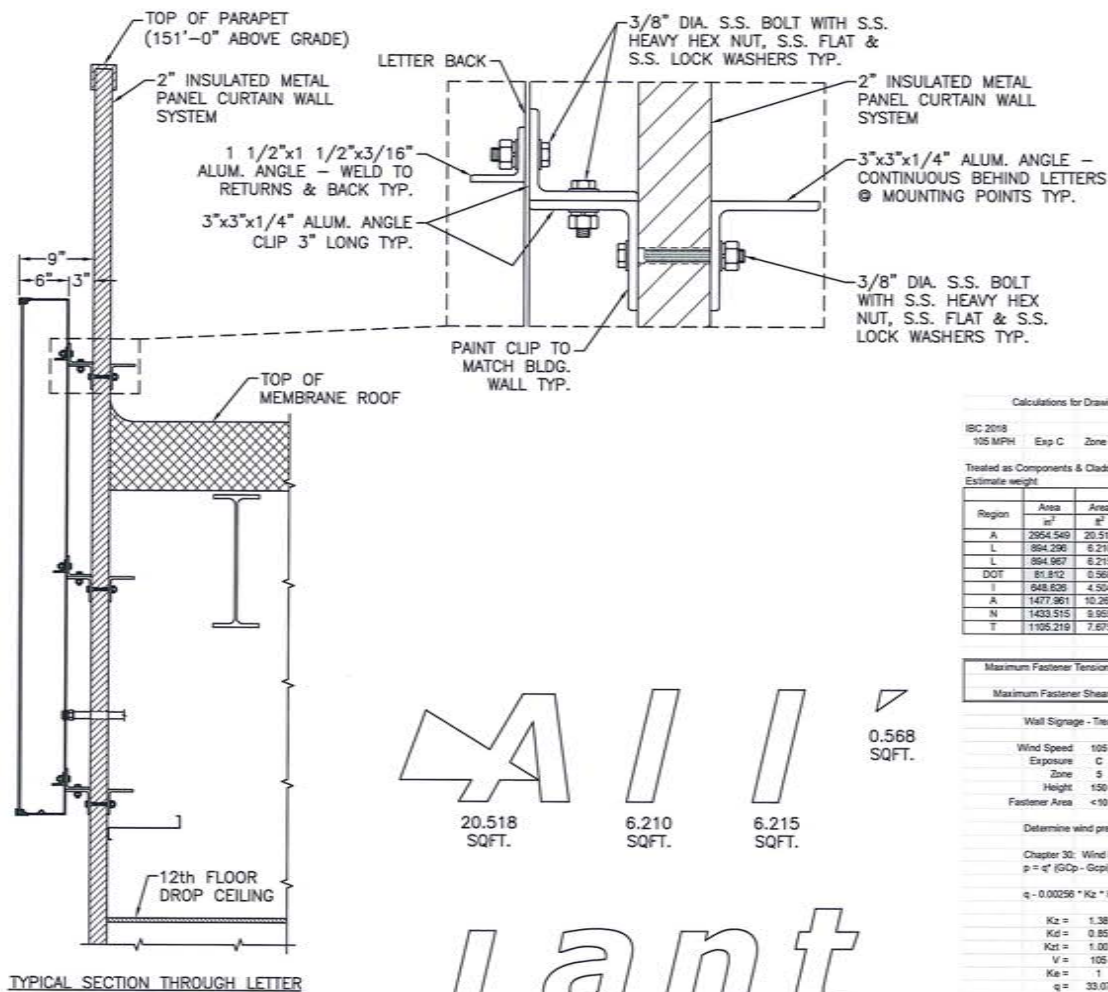
All designs and plans indicated on this drawing are created specifically for the project and are the sole property of LINK Engineering, L.L.C. Use of these designs or plans for any purpose other than the intended application and be prohibited without the written consent of LINK Engineering, L.L.C. Violation of any of the information indicated herein, without consent of the owner, is a violation of intellectual property and shall not be tolerated.

SEAL & SIGNATURE:



LINK Engineering, L.L.C.
138 South David Lane • Knoxville, Tennessee 37902
Phone: (865) 538-4001 • www.linkengr.com

Project Number:	21-0723	Drawing Number:	B2582790
SHT.	OF	DATE:	BY:
1	2	9/3/21	TR



TYPICAL SECTION THROUGH LETTER

0.568
SQFT.

20.518
SQFT.

6.210
SQFT.

6.215
SQFT.

4.504
SQFT.

10.264
SQFT.

9.955
SQFT.

7.675
SQFT.

A COATING TYPE BARRIER
SHALL BE APPLIED BETWEEN
ALL DISSIMILAR METALS TO
PREVENT CORROSIVE ACTION

WALL CONSTRUCTION IS DEPICTED AS REPORTED.
SHOULD ACTUAL FIELD CONDITIONS VARY FROM
WHAT IS SHOWN, CONTRACTOR SHALL CONTACT
PATTISON SIGN GROUP FOR DIRECTION.

Calculations for Drawing B2582790

62' ALLUANT LETTERSET

21-0723

IBC 2018

Cat II

9/2/2021

105 MPH

Exp C Zone 5 150'-0" maximum above grade

TR

Treated as Components & Cladding

P = -35.71 psf

19.0 psf Ground Snow Load

Estimate weight

6.000 psf

Region	Area sq ft	Area sq ft	Est Wt lb	Wind Load lb	Fastener Qty	Top Row Fastener Qty	Fastener Row Spacing in	Depth in	Max Tension lb	Average Shear lb	Avg Ten lb
A	2554.549	20.518	181.799	-732.785	8	2	31.000	9.000	99.616	22.725	91.596
L	954.296	6.210	55.259	-221.787	3	1	31.000	9.000	78.908	18.420	73.932
L	954.957	6.215	55.301	-221.983	3	1	31.000	9.000	78.967	18.434	73.988
DOT	81.812	0.568	13.907	-20.290	2	1	5.000	9.000	22.681	6.953	10.145
I	848.626	4.504	42.554	-160.867	2	1	36.000	9.000	85.754	21.282	80.434
A	1477.961	10.264	92.515	-366.593	4	2	36.000	9.000	97.420	23.129	91.638
N	1433.515	9.955	92.414	-355.530	4	2	36.000	9.000	94.858	23.103	88.862
T	1155.219	7.675	67.885	-274.108	3	2	36.000	9.000	95.612	22.628	91.369

Clip Attachment

Clip Thickness = 0.250 in

Moment Arm = 1.500 in

Moment Clip = 149.424 in-lbs

Allowable Stress = 19500 psi

6061-T6 (UNWELDED)

Minimum Width = 0.736 in

Wall Signage - Treated as Components & Cladding

Wind Speed 105 mph

Exposure C

Zone 5

Height 150 Ft

Fastener Area < 10 Ft²

From ASCE 7-16, Figure 26.5-1b

Zp = 800

Alpha = 9.5

Determine wind pressure from ASCE 7-16 Chapter 30

Chapter 30: Wind Loads - Components & Cladding

p = q (GCP - Gopp) (eq. 30.3-1 or 30.5-1)

q = 0.00256 * Kz * Kzt * Kd * Ke * V² (eq. 26.10-1)

Kz = 1.38 (Table 26.10-1)

Kdt = 0.85 (Table 26.6-1)

Kdt = 1.00 (Section 26.8)

V = 105 mph

Ke = 1

q = 33.07 psf

GCP = -1.8 (From Figure 30.3-1 for h<= 60 ft and from Figure 30.5-1 for h> 60 ft)

GCP = 1.0

p = -59.52 psf

Load Combination: D + 0.6W (Section 2.4.1)

Design Wind Pressure = 0.6W = -35.71 psf

Design Wind Pressure = 0.6W = 19.84 psf

INSTALLATION ADDRESS:

ALLIANT INSURANCE
520 W. SUMMIT HILL DRIVE
SUITE 1201
KNOXVILLE, TN 37902

CLIENT:

Pattison Sign Group
Powering Your Brand

530 WEST SUMMIT HILL DR, SUITE 702 - KNOXVILLE, TN 37902
Tel (865) 955-1105 - Fax (865) 955-1106 - Toll Free (865) 218-1578

DATE	DESCRIPTION
-/-/-	
-/-/-	
-/-/-	

All designs and plans indicated on this drawing are created specifically for the
project and are the sole property of LINK Engineering, L.L.C. Use of
these designs or plans for any purpose other than the intended application
and be prohibited without the written consent of LINK Engineering, L.L.C.
The design of any of the information indicated herein, without consent of the
owner, is a violation of intellectual property and shall not be tolerated.

SEAL & SIGNATURE:

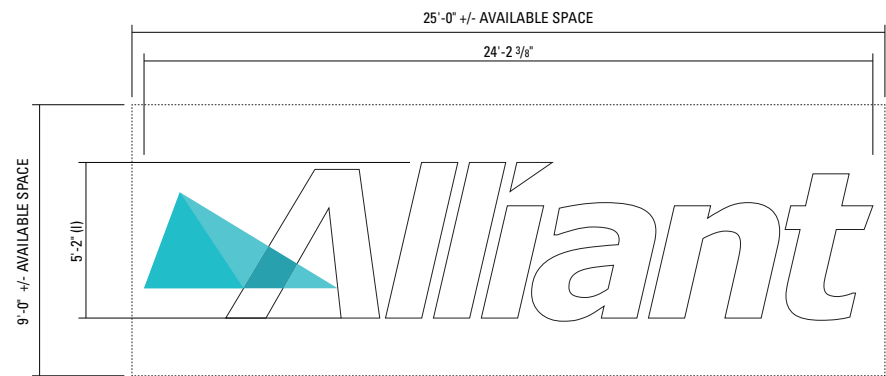


LINK Engineering, L.L.C.
135 South David Lane • Knoxville, Tennessee 37922
Phone: (865) 538-4301 • www.linkengr.com

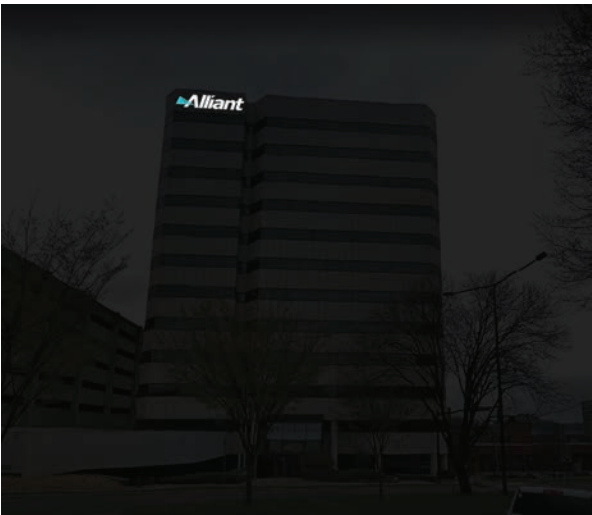
Project Number: 21-0723		Drawing Number: B2582790	
SHT. 2	OF 2	DATE: 9/3/21	BY: TR

N01

Illuminated Channel Letters



102 SqFt
Illuminated, Face lit Channel Letters
Pyramid: Digital Print
"Alliant": White, Face lit, Agilight LEDs



Project ID

R2 - RH2-40470

Date: 08-06-2021

Scale: 1/4"=1'-0"

Sales: R. Harmon

Designer: B McMurray

Rev. #: R2 B McMurray

Date: 27AUG21

Revision Note:

N01: Revise to white channel letters with blue logo. Face lit LED letterset.

Missing Information

Required:

Electrical

☒ 120V ☒ 347V

☒ Other

Customer Approval

Signature

MM/DD/YYYY

It is the Customer's responsibility to ensure that the structure of the building is designed and constructed to accept the installation of the signs being ordered. Please ask PSG to provide further details if required.

All rights reserved. The artwork depicted herein are copyright and are the exclusive property of Pattison Sign Group and as such cannot be reproduced in whole or in part without written permission by Pattison Sign Group.

Alliant Insurance

520 W. Summit Hill,

Suite 1201

Knoxville, TN 37902

Sign Item

N01

JOHN H. SUMME
 & ASSOCIATES
 ARCHITECTS
 1000 CREDIT
 SUITE 1500
 ATLANTA, GEORGIA 30303

Drawn by: _____
 Checked: _____
 Approved: _____

PARAPET 1085'-4"
 ROOF 1084'-4"
 MACH. RM. 1085'-10"
 FLR.
 PARAPET 1086'-4"
 ROOF 1078'-4"

12 1089'-4"

11 1081'-4"

10 1039'-4"

9 1027'-4"

8 1015'-4"

7 1003'-4"

6 991'-4"

5 979'-4"

4 967'-4"

3 955'-4"

2 943'-4"

1 931'-4"

PLAZA 919'-4"

STORAGE 917'-4"

SUMMIT HILL DRIVE ELEVATION

SCALE 1/8" = 1'-0"

FRANKLIN L. H.
 COMPAN
 DEVELOPE

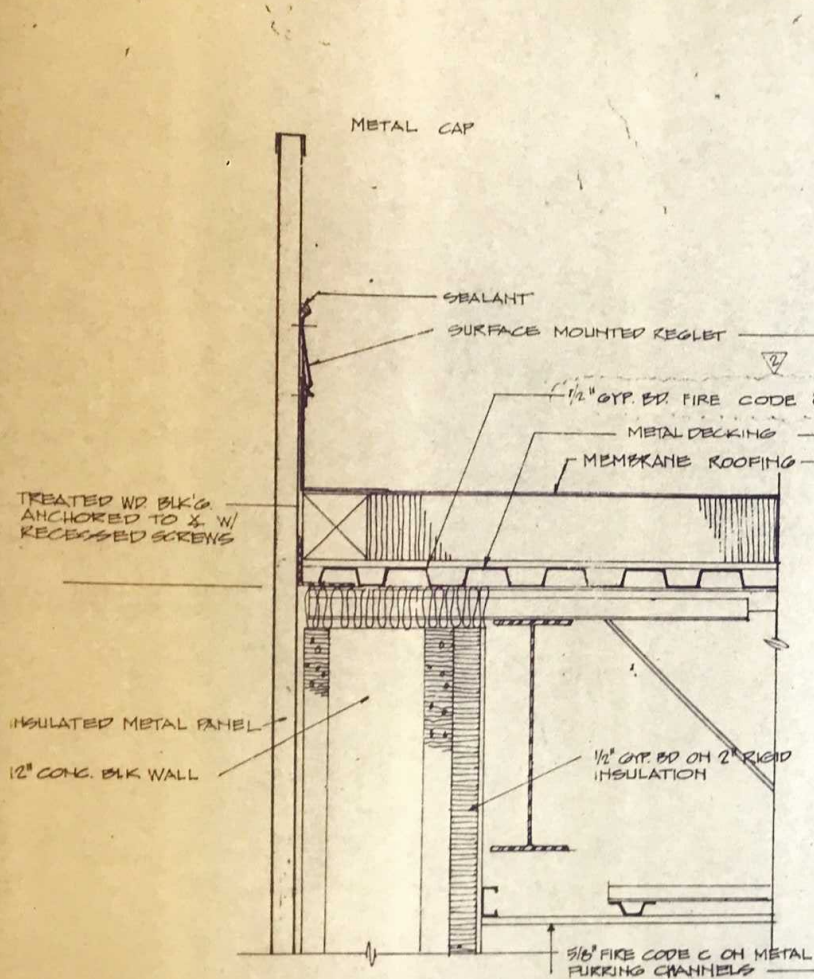
SUMMIT PROP
 OFFICE BUI
 KNOTVILLE, TEN

ELEVATION

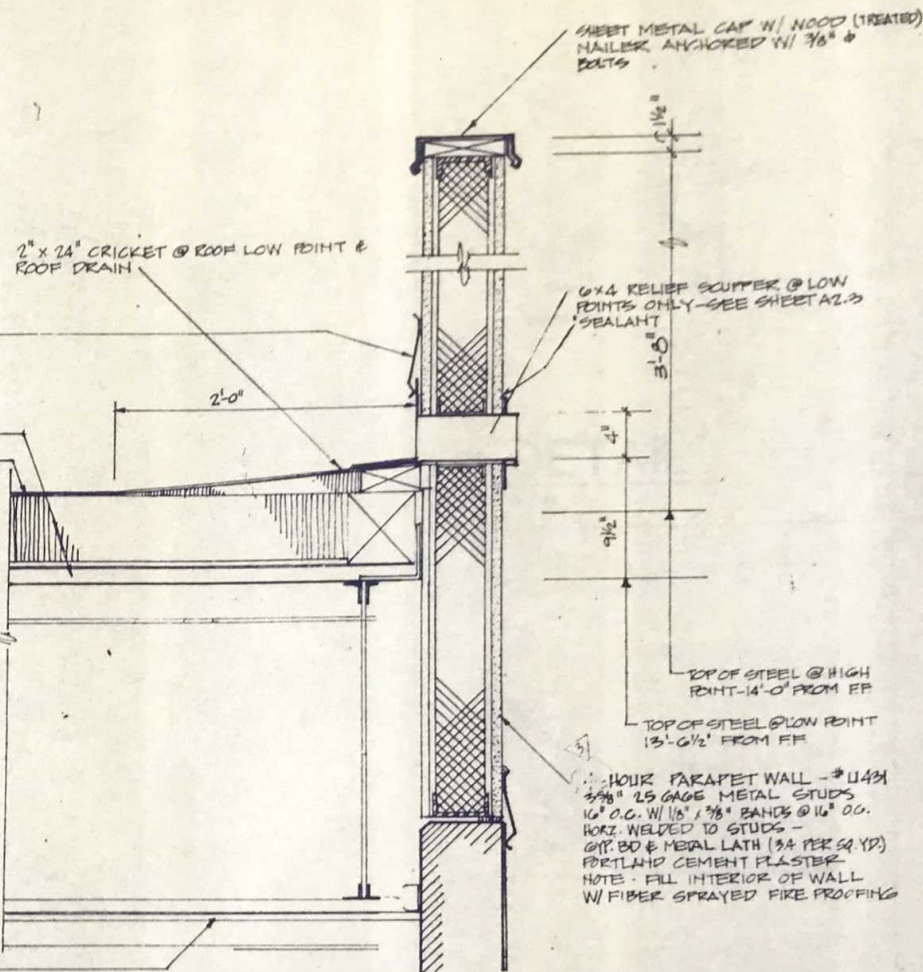
REVISIONS

No.	Description
1	REVISION: REVISION OF ELEVATION
2	REVISION: REVISION OF ELEVATION

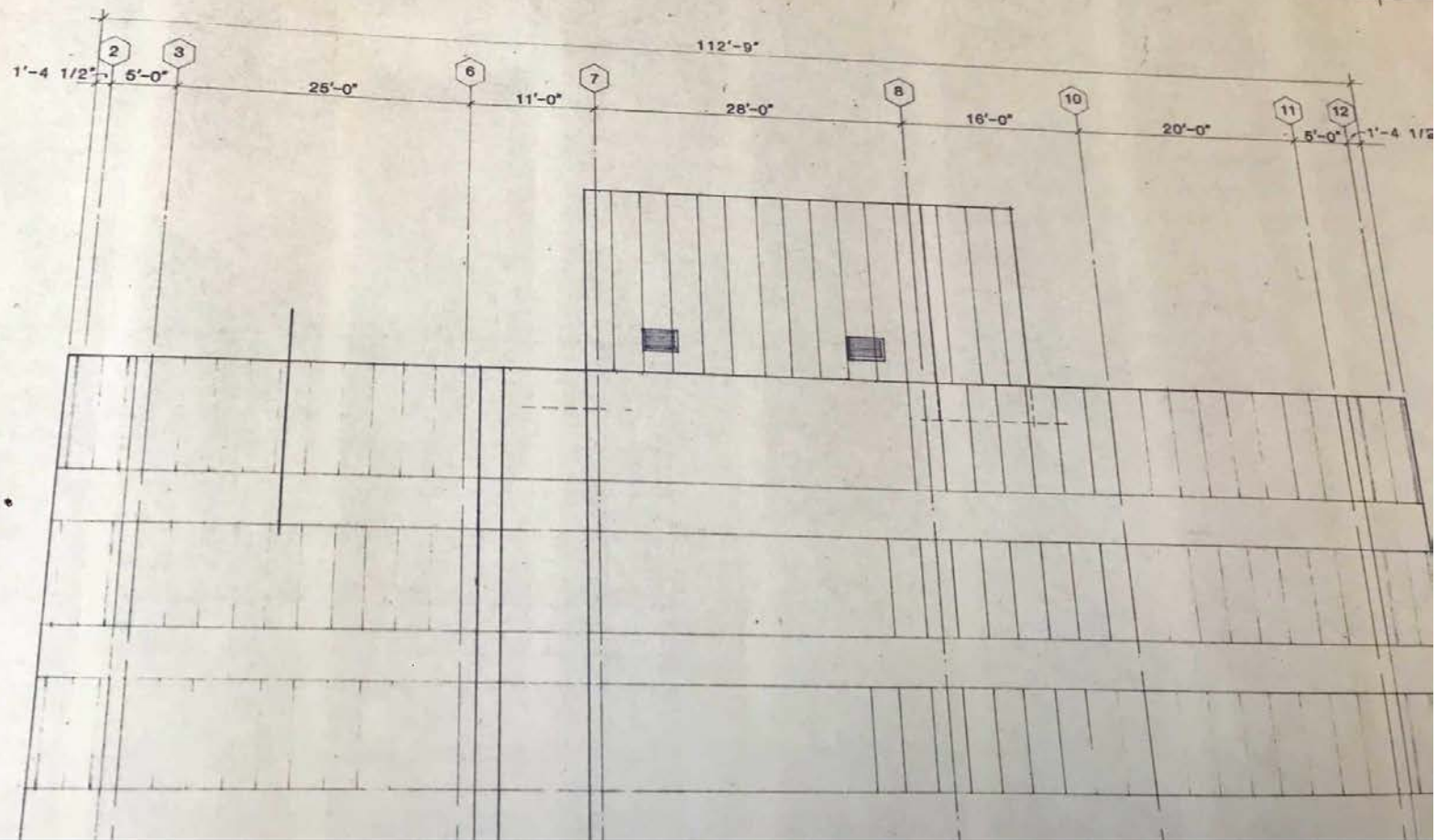
DATE: 1/20/04



6
AG.2
DETAIL



7
AG.2
DETAIL



1'-4 1/2"

PARAPET	1085'-3"
ROOF	1094'-6"

MACH. RM.	1085'-10"
FLR.	
PARAPET	1080'-4"
ROOF	1076'-4"

12	1063'-4"
----	----------

11	1051'-4"
----	----------

10	1039'-4"
----	----------

9	1027'-4"
---	----------



JOHN H. SUMMEI
& ASSOCIATES
ARCHITECTS
1800 Century Boulevard
Suite 1260
Atlanta, Georgia 3034

Drawn by:

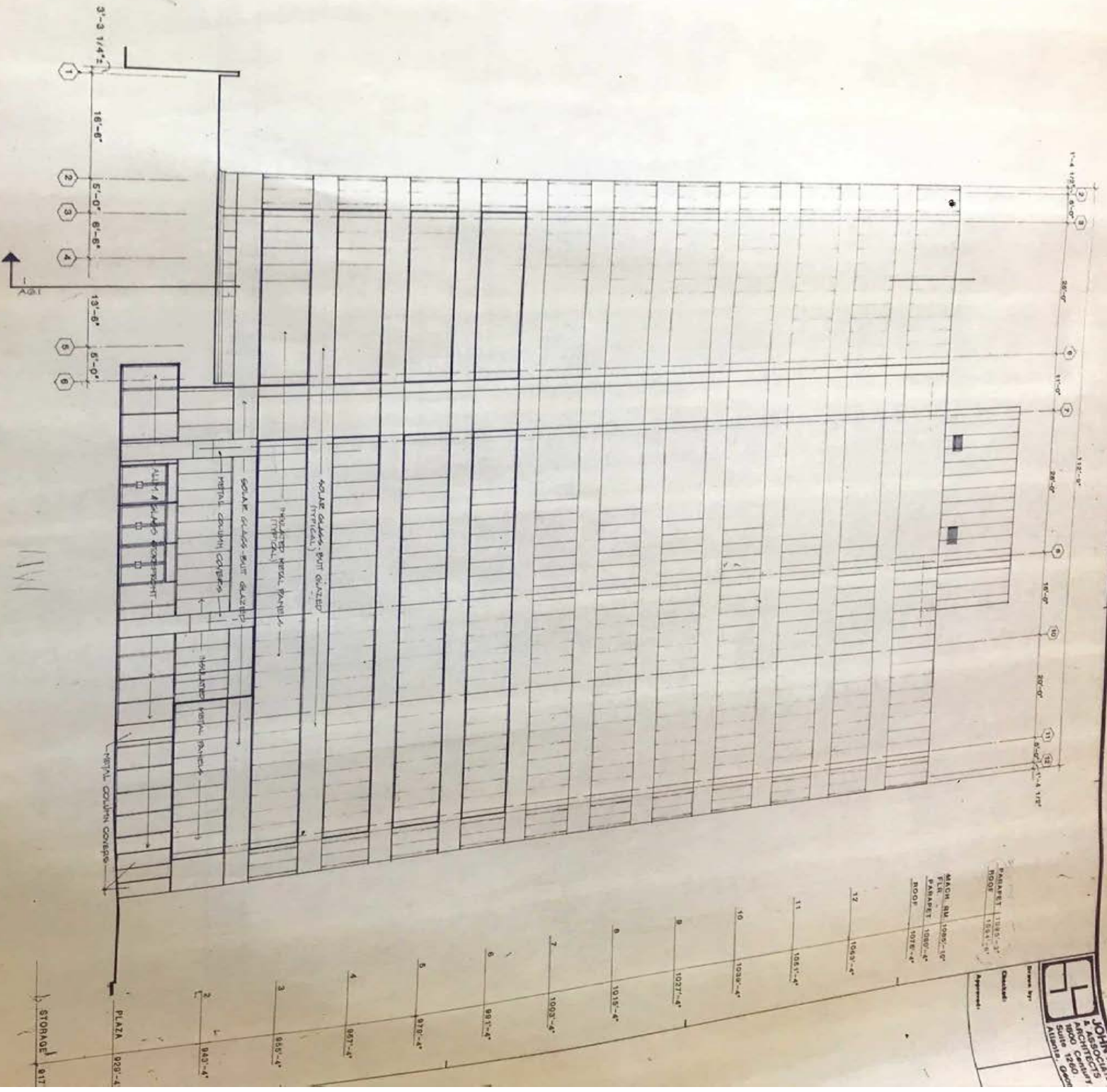
Checked:

Approved:

JOHN H. SU
 ARCHITECTS & ASSOCIATES
 1000 15th St NW
 Suite 1200
 Atlanta, GA 30335

Drawn by: _____
 Checked: _____
 Approved: _____

MACH. RM. 1090'-10"
 FLR. 1080'-4"
 PARADEY 1060'-4"
 ROOF 1018'-4"



SUMMIT HILL DRIVE ELEVATION

SCALE 1/8" = 1'-0"

ELECTRICAL Permit Application

DATE: 10/1/21

BLDG PERMIT #:

Work site address: 520 W Summit Hill Dr. Knoxville, TN 37902
(STREET ADDRESS WITH SUITE NUMBER)

- ☐ CAC/KEEM
☐ CAC Weatherization

☐ TEMPORARY METER CENTER* \$30.00

Continue to Total Fee Due.

RESIDENTIAL

Complete this section for Residential work associated with a Building Permit.

- ☐ NEW CONSTRUCTION
☐ REMODEL / ADDITION*
☐ ONE OR TWO FAMILY
☐ MULTI-FAMILY

QTY	SERVICE SIZE	PRICE EACH	LINE TOTAL
	0 - 150 AMPS	\$75.00 / UNIT	
	151 - 200 AMPS	\$80.00 / UNIT	
	201 - 400 AMPS	\$100.00 / UNIT	

Residential Construction - No charge for outlets, switches, fixtures, sub-panels, etc. Continue to sub-total.

COMMERCIAL or RESIDENTIAL

Complete this section for all Commercial work, or Residential work that is NOT associated with a Building Permit.

- ☐ NEW CONSTRUCTION
☐ SERVICE UPGRADE
☒ MAINTENANCE & REPAIR

Description of Upgrade or Maintenance/Repair Work:

Electrical for (1) Alliant sign

QTY	ITEM	LINE TOTAL
	LUMINAIRE (EA) @ \$.50	
	SWITCH (EA) @ \$.50	
	RECEPTACLE (EA) @ \$.50	
ELECTRIC HEATERS / SOLAR KW		
	0 - 3.5kW @ \$2.00	
	4kW - 10kW @ \$4.00	
	10.5kW - 25kW * @ \$10.00	
	* Additional kW over 25 (EA) @ \$0.10	
ELECTRIC APPLIANCES		
	ELECTRIC WATER HEATER (EA) @ \$3.00	
	DRYER OUTLET (EA) @ \$3.00	
	ELECTRIC STOVE OUTLET (EA) @ \$3.00	
	GASOLINE DISPENSING PUMPS @ \$10.00	
TRANSFORMERS / BANKS OF TRANSFORMERS		
	0 - 100 kVA @ \$10.00	
	100.1 kVA or more @ \$20.00	
OTHER EQUIPMENT		
	WELDER, UPS, TRANSFER SWITCH OR OTHER EQUIPMENT (EA) @ \$10.00	

QTY	ITEM	LINE TOTAL
ELECTRIC MOTORS		
	Less than 1 hp @ \$2.00	
	1 hp - 10 hp @ \$4.00	
	10.1 hp - 20 hp @ \$5.00	
	20.1 hp - 50 hp @ \$5.50	
	Greater than 50 hp @ \$6.00	
METER CENTERS & GENERATORS		
	0 - 200 Amps @ \$15.00	
	201 Amps - 800 Amps @ \$50.00	
	801 Amps - 3000 Amps @ \$100.00	
	3001 Amps - 6000 Amps* @ \$200.00	
	DISCONNECT (EA) @ \$5.00	
	LOAD CENTER (EA) UP TO 100A* @ \$5.00	
	*Additional 100A or fraction thereof (EA) @ \$3.00	
ELECTRIC SIGNS		
\$ 1	0 - 2000 VA @ \$5.00	\$ 5.00
	Greater than 2000 VA @ \$10.00	

*Temporary Meter Center and Remodel/Addition of 1 & 2 Family excluded from BASE PERMIT FEE

Return this completed application to the City of Knoxville Development Services, 400 W Main Street, Suite 475, Knoxville, TN 37902, or email as an attachment to bldginspections@knoxvilletn.gov.

This is not a permit to proceed with any of the work indicated above and no Electrical work shall be performed in the City of Knoxville until a permit is issued.

SUB-TOTAL	\$ 5.00
BASE PERMIT FEE	\$ 35.00*
DOUBLE FEE? Y/N	
TOTAL FEE DUE	\$ 40.00

Inspections of electrical installations are conducted with all applicable codes adopted by the City of Knoxville. The 2017 National Electrical Code, City of Knoxville Ordinance 0-176-2018 for Electrical Installations, 2017 State of Tennessee Electrical Code - Chapter 0-780-02-01, & The City of Knoxville Code of Ordinances.

The required and first re-inspection of work are covered in the cost of the issued permit. The second re-inspection is subject to a charge of \$25. The third and all subsequent re-inspections are subject to a charge of \$50 per inspection. Payment is required before the inspection will be performed.

Ace Electric Service Co. LLC

Don Ogle

Don A. Ogle Sr.

Company Name (print)

License Holder's Name (print)

Authorized Signature

865-688-3003

mogle@aceelec.service.com
cshoffner@aceelec.service.com

000256

Phone Number

Email

City Contractor's License Number