



Staff Report

Infill Housing Design Review Committee

File Number: 11-C-21-IH

Meeting: 11/17/2021
Applicant: Bill Terry Knoxville Habitat for Humanity
Owner: Bill Terry Knoxville Habitat for Humanity

Property Information

Location: 3119 Johnston St. **Parcel ID** 81 | G 007 02
Zoning: RN-2 (Single-Family Residential Neighborhood)
District: Lonsdale Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary residence fronting Johnston Street. Front-gable roof residence measures 30' wide by 44' long, with an 8' deep porch centered on the façade. The house is proposed to be set 27' from the front property line, with the porch 19' from the front property line. Parking is on the rear of the property and accessed from the alley, extending 50' long by 12' wide.

The 5/12 pitch, front-gable roof is clad in architectural shingle, the house is clad in 4.5" straight vinyl siding, and the house rests on a stucco-clad foundation. The porch gable field is clad in vinyl shakes and features a 6/12 pitch roof, supported by 5 by 5 square posts. The façade features paired, one-over-one windows flanking a centrally located door. There are four windows on the right side elevation and three on the left. A secondary entry is centered on the rear elevation.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- When several infill houses, porches and the habitable portion of each house should be about the same distance from the street as the original houses.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. House Orientation and Side Yards

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations.
- On streets without alleys, garages or parking pads should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- Alley oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to the other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- If extensions or bays were typically part of the neighborhood's historic house design, such elements should be incorporated into infill housing.
- New foundations should be about the same height as the original houses in the neighborhood.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12' toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development.

6. Windows and Doors

- When constructing new houses, the windows and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Infill neighborhoods.

8. Siding Materials

- Clapboard-like materials should be used in constructing new housing where painted wood siding was traditionally used.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.

Comments

1. The house is proposed to be set 27' from the front property line, with the partial-width front porch at 21' from

the front property line. The average front setback of the block is 34.9', with the adjacent houses at 34.5' and 33'. The proposed new house should be moved slightly towards the rear of the property, to align with the adjacent houses (30'-34'). The site plan shows a walkway from the front porch to the street.

2. The block to receive new construction is characterized by modified Craftsman bungalows, Queen Anne cottages, and infill construction. The proposed house is proportionate to the context and the dimensions of the lot. The proposed side setbacks are consistent with the block.
3. The proposed parking and access meets Infill Housing guidelines and City Engineering standards.
4. Overall, the one-story, three-bay façade is compatible with the historic houses on the block. The foundation shown on drawings demonstrates sufficient height to be compatible with the historic context.
5. The proposed front-gable roof porch is 8' deep and 12' wide, centered over the main door. The porch columns should be increased in size instead of 5 by 5 posts.
6. The proposed window and doors are compatible with historic elements on the block. There is sufficient transparency on side elevations. The Board may choose to discuss the lack of windows on the rear elevation. The final design should incorporate window trim compatible in size and detail with historic houses on the block.
7. Generally, 6/12 is the minimum roof pitch selected to meet the design guidelines for roof shapes and materials. The new roof should receive a steeper pitch (6/12 or more) to be compatible with original housing on the block.
8. Overall materials are appropriate within the design guidelines. The vinyl siding should be lap siding with an overlap instead of Dutch lap or flush panel siding.
9. The site plan incorporates one tree each in rear and front yards.

Recommendation

Staff recommends approval of Certificate 11-C-21-IH, subject to the following conditions:

- 1) Modify front setback to be consistent with adjacent historic houses on the block;
- 2) Modify porch supports to be larger than proposed 5 by 5 posts;
- 3) Incorporate window trim on front and side elevations;
- 4) Select a steeper pitch for front-gable roof (6/12 or more);
- 5) Use lap siding with an overlap instead of Dutch lap or flush panel siding.



11-C-21-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

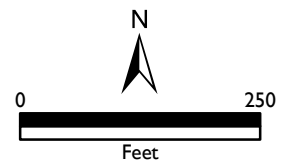


3119 Johnston St.
Lonsdale Infill Housing Overlay District

Original Print Date: 11/8/2021
Revised:
Knoxville/Knox County Planning - Infill Housing Design Review Committee

Applicant: Bill Terry Knoxville Habitat for Humanity

**INFILL
HOUSING
REVIEW
BOARD**





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Knoxville Habitat for Humanity

Applicant

10.29.2021

November 17, 2021

11-C-21-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Bill Terry

Knoxville Habitat for Humanity

Name

Company

1501 Washington Ave

Knoxville

TN

37917

Address

City

State

Zip

865-523-3539

bterry@khfh.com

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

3119 Johnston St

0811G00702

Property Address

Parcel ID

Lonsdale

RN-2

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

10.29.2021

Staff Signature

Please Print

Date

Amanda Thomas

Amanda Thomas

10/29/2021

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: 4 bedroom, 2 bath home built on slab. Will have vinyl siding, and concrete driveway.

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL:
FEE 2:		
FEE 3:		

NOTE:
 1.) THE UNDERGROUND UTILITIES SHOWN, IF ANY, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
 THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES. VERIFY EXACT SIZE AND LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITH THE PROPER LEGAL AUTHORITIES BEFORE EXCAVATION OR CONSTRUCTION.



OWNER:
 KNOXVILLE HABITAT FOR HUMANITY
 1501 WASHINGTON AVE
 KNOXVILLE, TN 37917
 PH: (865)-523-3539

Certificate of Ownership and Dedication

(I, We), the undersigned owner(s) of the property shown herein, hereby adopt this as (my, our) plan of subdivision and dedicate the streets as shown to the public use forever and hereby certify that (I am, we are) the owner(s) in fee simple of the property, and as property owner(s) have an unrestricted right to dedicate right-of-way and/or grant easement as shown on this plat.

Owner(s) _____
 Printed Name: _____ Signature(s): _____

Date: _____

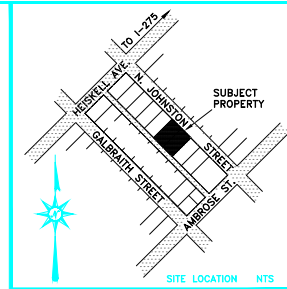
Natary Certification

State of _____ County of _____
 On this _____ day of _____ 20____

Before me personally appeared _____ to me known to be the person described in, and who executed the foregoing instrument, and acknowledged that he executed the same as his free act and deed.

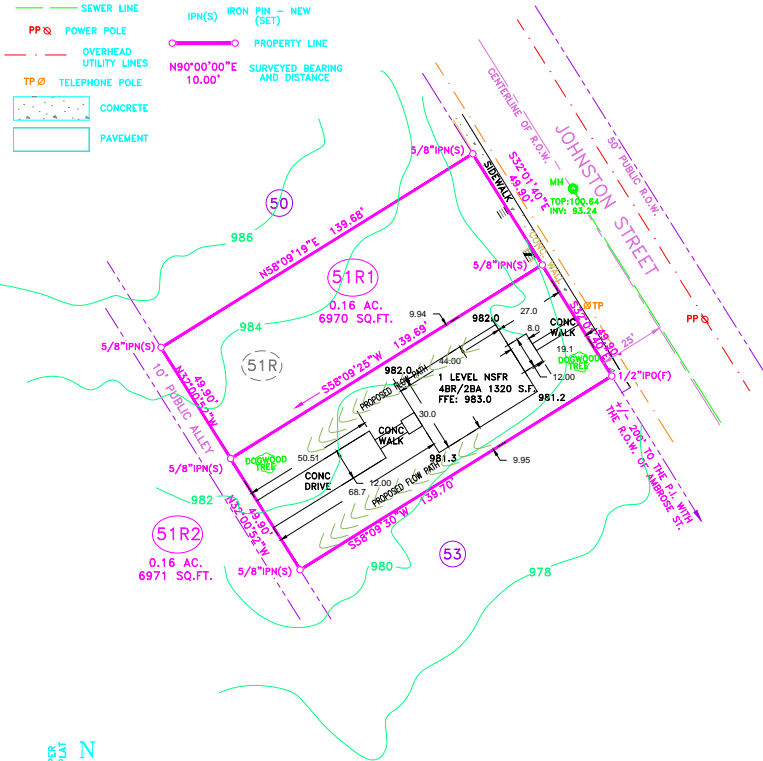
Witness my hand and notarial seal, this the day and year above.

Written _____ Notary
 My Commission expires _____ 'Seal'



LEGEND OF SYMBOLS

MH	SANITARY MANHOLE	IP(O)F	IRON PIN - OLD (FOUND)
---	SEWER LINE	IP(N)S	IRON PIN - NEW (SET)
PP	POWER POLE	---	PROPERTY LINE
---	OVERHEAD UTILITY LINES	N90°00'00"E	SURVEYED BEARING AND DISTANCE
TP	TELEPHONE POLE	10.00'	
CONCRETE	CONCRETE		
PAVEMENT	PAVEMENT		



NOTES:
 1.) 2 LOTS CONTAINING 0.32 ACRES (13941 SQ.FT.) TOTAL.
 2.) UTILITY AND DRAINAGE EASEMENTS OF 5 FEET ON EACH SIDE OF ALL INTERIOR LOT LINES, AND 5 FEET ALONG EXTERIOR BOUNDARY LINES, AND 10 FEET ALONG ALL LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAY (INCLUDING JOINT PERMANENT EASEMENTS).
 3.) PROPERTY IS ZONED "R-1A" WITH "H-1" OVERLAY. PROPERTY IS SUBJECT TO ANY AND ALL RESTRICTIONS, CONDITIONS, PLANNING COMMISSION REGULATIONS, ZONING ORDINANCES, RIGHTS-OF-WAY, EASEMENTS, AND BUILDING SETBACK REQUIREMENTS, IF ANY, AFFECTING SAID PROPERTY.
 4.) SUBJECT TO EASEMENTS OR RIGHTS-OF-WAYS, OR CLAIMS OF EASEMENTS OR RIGHT-OF-WAYS, NOT SHOWN BY THE PUBLIC RECORDS.
 5.) EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON, NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, NOR RESULTS OF TITLE SEARCHES WERE FURNISHED THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS PARCEL.

Addressing Department Certification

I, the undersigned, hereby certify that the subdivision name and all street names conform to the Knoxville/Knox County Street Naming and Addressing Ordinance, the Administrative Rules of the Planning Commission, and these regulations.

Signed: _____ Date: _____

Certificate of Approval for Recording - Administrative Plat

This is to certify that the subdivision plat shown has been found to comply with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, and the plat is hereby approved for recording in the office of the Knox County Register of Deeds.

Signed: _____ Date: _____

This is to certify that all property taxes and assessments due on this property have been paid.

Knox County Trustee: Signed: _____ Date: _____

City Tax Clerk: Signed: _____ Date: _____

City of Knoxville Department of Engineering
 The Knoxville Department of Engineering hereby approves this plat on this the _____ day of _____ 20____

Engineering Director _____

Certificate of Final Plat--All Indicated Markers, Monuments and Benchmarks

I hereby certify that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, documents, and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville/Knox County Subdivision Regulations except as has been itemized, described and justified in a report filed with the Metropolitan Planning Commission, or for variances which have been approved as identified on the final plat. The indicated permanent reference markers and monuments, benchmarks and property monuments were in place on the _____ day of _____ 20____

Registered Land Surveyor: _____ Date: _____
 Matthew J. Dawson, RLS 3050

Certificate of Category and Accuracy of Survey

I hereby certify that this is a Category _____ survey and the ratio of precision of the unadjusted survey is not less than 1:_____ as shown hereon and that said survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

Registered Land Surveyor: _____ Date: _____
 Matthew J. Dawson, RLS 3050

This is to certify that the subdivision shown hereon is approved subject to the installation of sanitary sewers and treatment facilities, and that such installation shall be in accordance with state and local regulations.

Knox County Health Department: _____ Date: _____

Zoning district(s) in which the land being subdivided is located shall be indicated as shown on the zoning map by the Planning Commission as follows:
 Zoning Shown of Official Map: _____
 By: _____ Date: _____

MPC FILE# _____

**FINAL PLAT OF RESUBDIVISION OF LOT 51R
 AMBROSE AND GALBRAITH ADDITION**

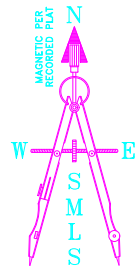
SURVEY FOR DISTRICT **5** COUNTY **KNOX** CITY **KNOXVILLE** WARD **19** STATE **TN**
 LOT NO. **51R** BLOCK **---** IN **AMBROSE AND GALBRAITH ADDITION**
 ADDRESS **3121 N. JOHNSTON STREET**
 PLAT REFERENCE **199901120000016**
 DEED REFERENCE **201712130036281**
 TAX MAP **0811** GROUP **G** PARCEL **007.02**
 CITY BLOCK NO. **19462** SCALE **1"=30'**
 DATE **09/27/18** REVISION DATE **---**
 CENSUS TRACT NO. **---** DRAWN BY **MBD/MJD/STH**
 BEARING BASE **RECORDED PLAT**

SMLS SMOKY MOUNTAIN LAND SURVEYING CO., INC.
 MATTHEW J. DAWSON
 R.L.S. #3050
 P.O. BOX 9691
 KNOXVILLE, TN 37940
 PH: (865) 579-4075
 FAX: (865) 333-5788
 WWW.SMLSURVEY.COM

SMLS DWG NO. **180095R**

THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE.

THIS IS TO CERTIFY THAT I HAVE EXAMINED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD MAP AND FOUND THE DESCRIBED NOT TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA.

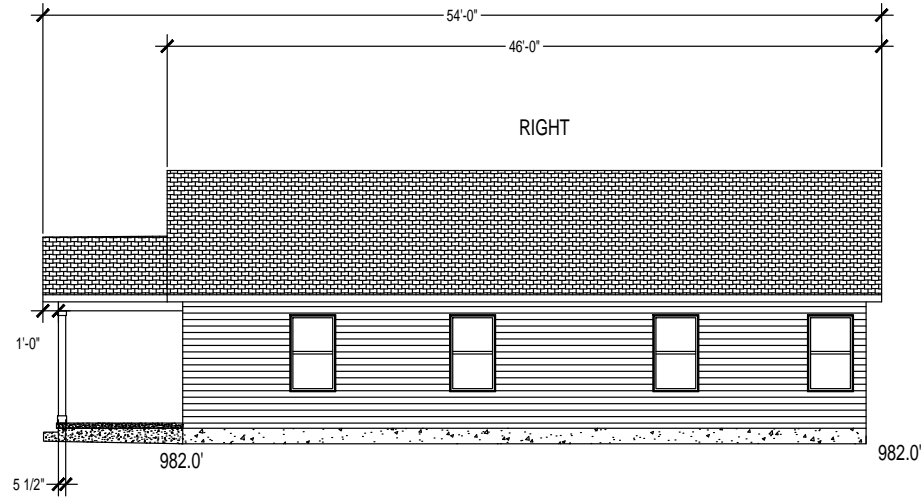
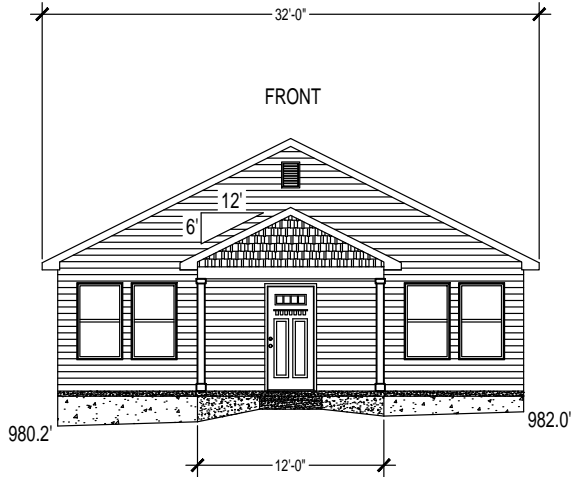


3312-3316 THOMAS STREET
KNOXVILLE, TN 37921

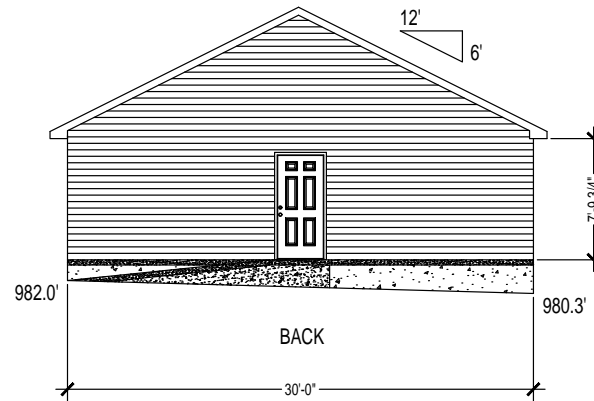
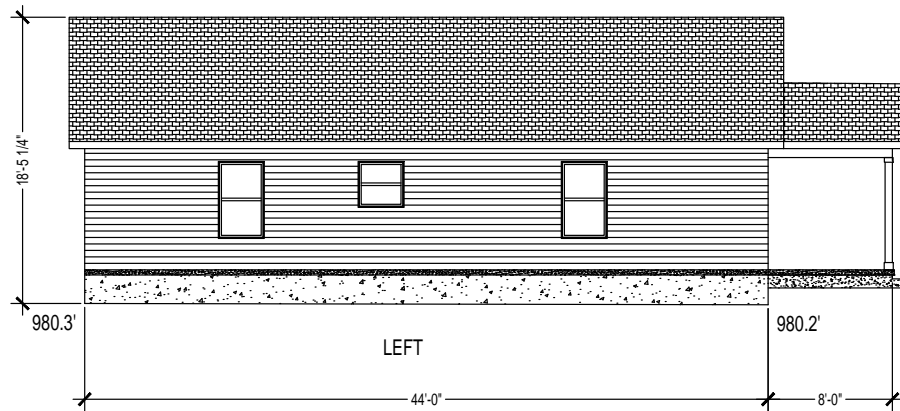
PROJECT # : -
HOUSE LDR : TONY C.
DATE : 11-09-2020
DRAWN BY : STEVE HALL
CHECKED BY : -
SCALE : 1/8" = 1'-0"
REVISION DATES:
1. - 3. -
2. - 4. -

- ELEVATION PLAN KEYNOTES
1. Weathered Wood Architectural Shingle
 2. 4.5" Straight Board Vinyl Siding
 3. 7" Staggered Shake Vinyl Siding
 4. Stucco Finish Cinder Block Foundation
 5. Window Dims 3050 & 3030
 6. -
 7. -
 8. -

ELEVATION PLAN



FFE
983.0





3119 JOHNSTON STREET

KNOXVILLE, TN 37921

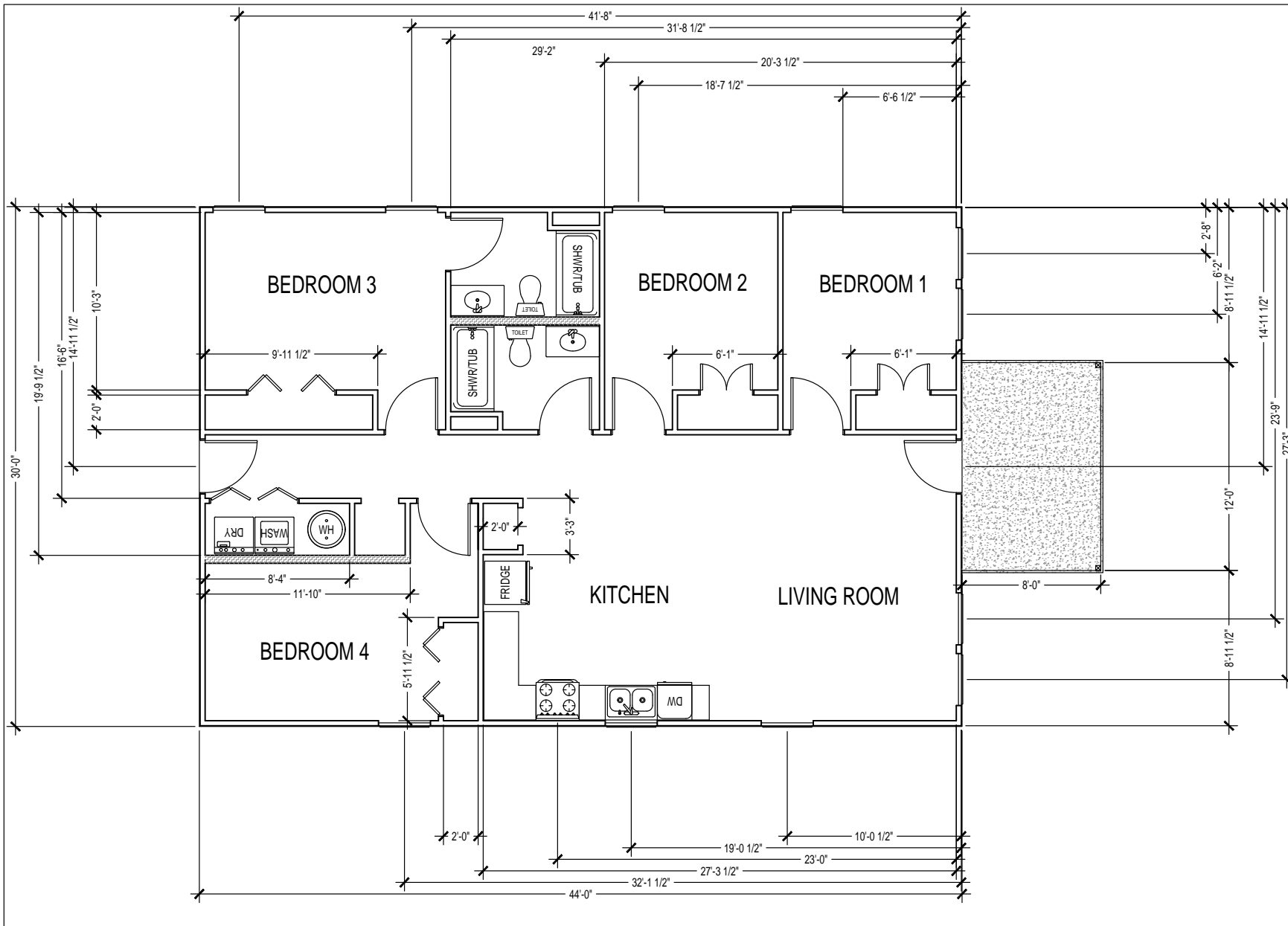
PROJECT # : -
 HOUSE LDR : -
 DATE : 10-28-2021
 DRAWN BY : STEVE HALL
 SQUARE FT: 1320
 SCALE : 3/16" = 1'-0"
 REVISION DATES:
 1. - 3. -
 2. - 4. -

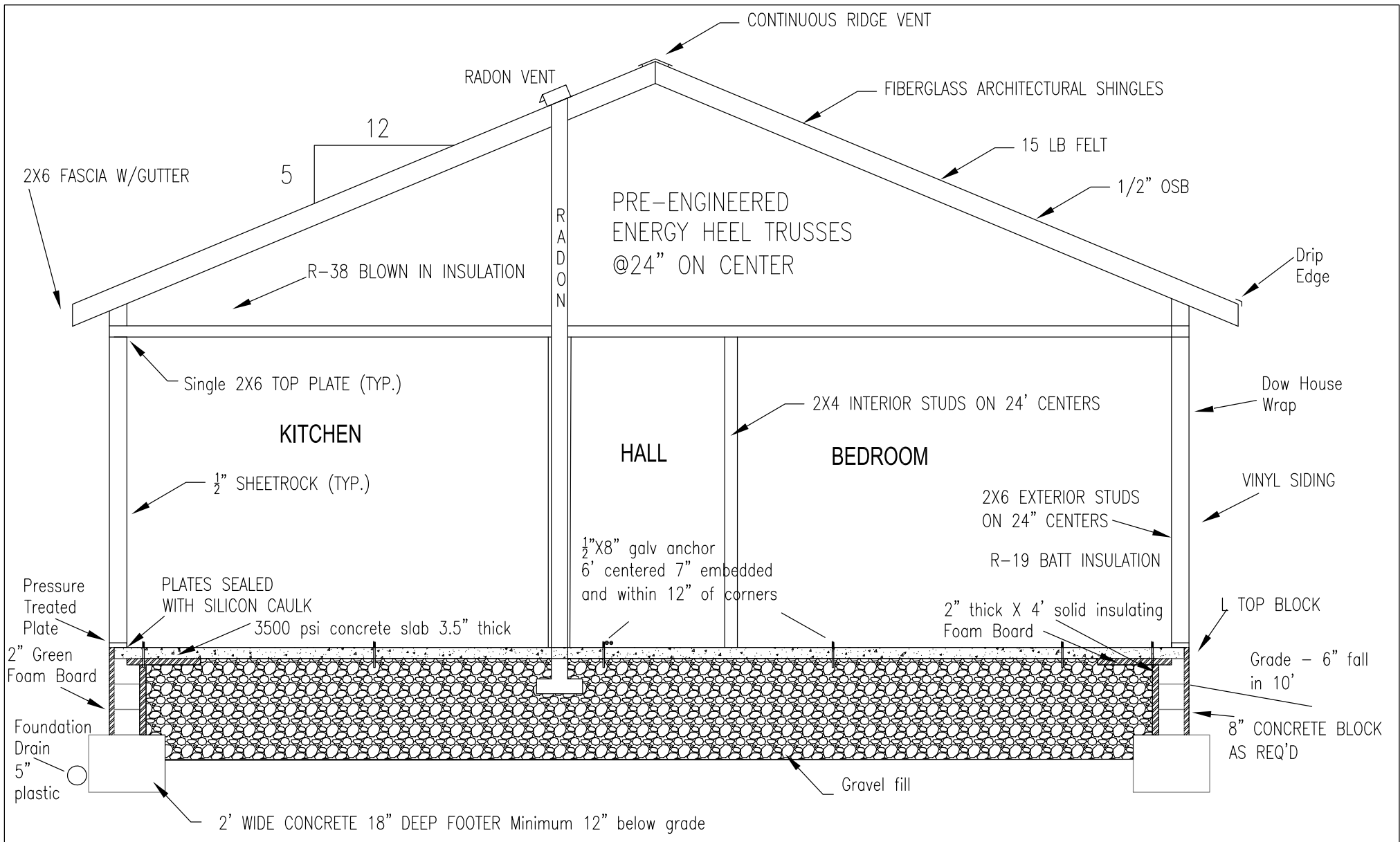
FLOOR PLAN KEYNOTES
 1. DOOR JAMBS ARE TYP. 4 1/2" UNLESS NOTED DIFFERENTLY
 2. CLOSETS DOORS ARE TYP. CENTERED ON WALL IN ROOM UNLESS NOTED DIFFERENTLY

SYMBOLS

- ① 3-0 EXT. DR ⑩ 3-0X5-0 WDW
- ② 2-0 INT. DR ⑪ 3-0X3-0 WDW
- ③ 3-0 INT. DR ⑫ 6-0X5-0 WDW
- ④ 4-0 BIHNG DR 2x6 INT. WALL
- ⑤ 5-0 BIHNG DR
- ⑥ 3-0 BIHNG DR
- ⑦ 4-0 BIFD DR
- ⑧ 5-0 BIFD DR
- ⑨ 6-0 BIFD DR

SHEET NAME
FLOOR PLAN





KNOXVILLE HABITAT FOR HUMANITY, INC

Typical Slab Foundation Knoxville Habitat for Humanity HOUSE CROSS-SECTION

Date: 4.2.2019

DPM