



Staff Report

Infill Housing Design Review Committee

File Number: 11-B-21-IH

Meeting: 11/17/2021
Applicant: Gary Koontz
Owner: Gary Koontz

Property Information

Location: 442 Hiawasse Ave. **Parcel ID** 81 B C 008 01
Zoning: RN-2 (Single-Family Residential Neighborhood)
District: Oakwood/Lincoln Park Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary residence fronting Hiawasse Avenue. Front-gable roof residence measures 30' wide by 44' long, with an 8' deep porch extending the length of the façade. The house is proposed to be set 34.7' from the front property line, with the porch at 26.7' from the front property line. The parking is proposed via an existing concrete driveway on the left side of the property.

The 7/12 pitch, front-gable roof is clad in architectural shingles, the house is clad in horizontal vinyl siding, and the house rests on a stucco-clad foundation. The gable field is clad in vinyl shake siding. The porch is supported by paired round columns on brick bases. The three-bay façade features paired double-hung windows flanking a half-light door. There are three windows on the left side elevation and two on the right. A 12' by 10' wood deck is accessed by a secondary entry on the rear elevation.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- When several infill houses, porches and the habitable portion of each house should be about the same distance from the street as the original houses.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. House Orientation and Side Yards

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations.
- On streets without alleys, garages or parking pads should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- Alley oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to the other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- If extensions or bays were typically part of the neighborhood's historic house design, such elements should be incorporated into infill housing.
- New foundations should be about the same height as the original houses in the neighborhood.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12' toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development.

6. Windows and Doors

- When constructing new houses, the windows and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Infill neighborhoods.

8. Siding Materials

- Clapboard-like materials should be used in constructing new housing where painted wood siding was traditionally used.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house

Comments

1. The house is proposed to be set 34.7' from the front property line, with the full-length front porch at 26.7' from

the front property line. The average front setback of the block is 26.2'. Along with the adjacent new house at 438 Hiawasse Ave, the new house will maintain consistent front yard space with the block. The final site plan should incorporate a walkway from the front porch to the street.

2. The block to receive new construction is characterized by Craftsman bungalows and Queen Anne cottages. The proposed house is proportionate to the context and the dimensions of the lot. The proposed side setbacks are consistent with the block. The house is sufficiently differentiated from the adjacent new construction.

3. To meet Infill Housing guidelines and City Engineering standards, the proposed parking should extend off the alley and be located to the rear of the property instead of in the front yard. City Engineering has also noted the necessity of improving the drainage swale at the street.

4. Overall, the one-story, three-bay façade is compatible with the historic houses on the block. The foundation height should be confirmed to be comparable in heights with historic houses on the block.

5. The proposed front-gable roof porch, including the Craftsman-style detailing, meets the design guidelines for size and placement. The porch serves to differentiate the two new houses.

6. The proposed window and doors are compatible with historic elements on the block. There is sufficient transparency on side elevations. The applicant should select consistent window patterns on all elevations (either all 1/1s or 3/1s) and omit non-operable shutters.

7. The proposed 7/12 pitch roof meets the design guidelines, and the cornice returns and front-gable roof porch contribute additional complexity.

8. Overall materials are appropriate within the design guidelines. The vinyl siding should be lap siding with an overlap instead of Dutch lap or flush panel siding.

9. The final site plan should incorporate one native or naturalized shade tree in the front and rear yards.

Recommendation

Staff recommends approval of Certificate 11-B-21-IH, subject to the following conditions:

- 1) Incorporate a walkway from the front porch to the sidewalk or street;
- 2) Parking to meet Infill Housing guidelines and City Engineering standards, and be located at the rear of the property off the alley;
- 3) Confirm foundation height's consistency with nearby historic houses;
- 4) Use consistent window designs on all elevations and omit non-operable shutters;
- 5) Use vinyl siding with an overlap instead of Dutch lap or flush panel siding;
- 6) Incorporate one native or naturalized shade tree in front and rear yards.



11-B-21-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

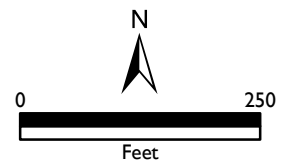
Applicant: Gary Koontz

**INFILL
HOUSING
REVIEW
BOARD**



442 Hiawasse Ave.
Oakwood/Lincoln Park Infill Housing Overlay
District

Original Print Date: 11/8/2021
Revised:
Knoxville/Knox County Planning - Infill Housing Design Review Committee





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Gary Koontz

Applicant

November 17, 2021

11-B-21-IH

10-26-21

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Gary Koontz

Name

Company

3232 Tezwell Ave

Knoxville

TN

37918

Address

City

State

Zip

865.548.1010

gary@garykoontz.com

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

442 Hiwassee Ave

08132 008.00

Property Address

Parcel ID

R02

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

10/26/21

Staff Signature

Please Print

Date

[Signature]

Gary Koontz

10-26-21

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

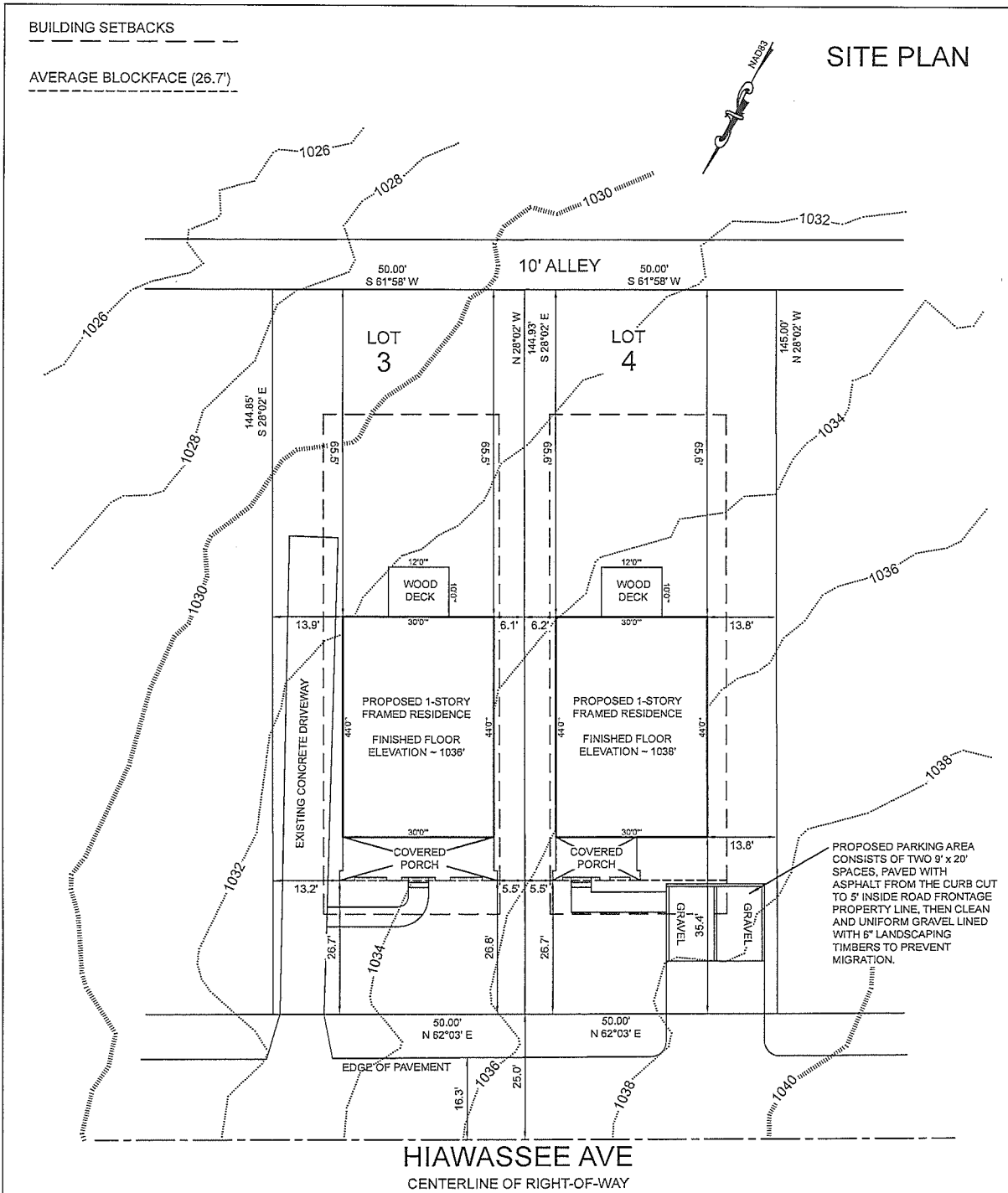
Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

| | | |
|---------------|---------------|--------------------------------|
| FEE 1: | 250.00 | TOTAL: 250.00 |
| FEE 2: | | |
| FEE 3: | | |

BUILDING SETBACKS

AVERAGE BLOCKFACE (26.7')

SITE PLAN



lots 442

NOTES:

- 1) THIS SITE PLAN DOES NOT CONSTITUTE AN OFFICIAL PLAT OR BOUNDARY SURVEY; LOT DIMENSIONS ARE PER HINDS SURVEYING JOB # 2105015.
- 2) ZONED RN-2 : SINGLE FAMILY RESIDENTIAL
 BUILDING SETBACKS
 FRONT: 20' OR AVERAGE BLOCKFACE (26.7')
 REAR: 25'
 SIDE: 5', 15' TOTAL
- 3) EXACT FINISHED FLOOR ELEVATION TO BE DETERMINED BY BUILDER BASED ON PREVAILING SITE CONDITIONS.
- 4) ELEVATIONS ARE PER KGIS.ORG TOPOGRAPHICAL INFORMATION.

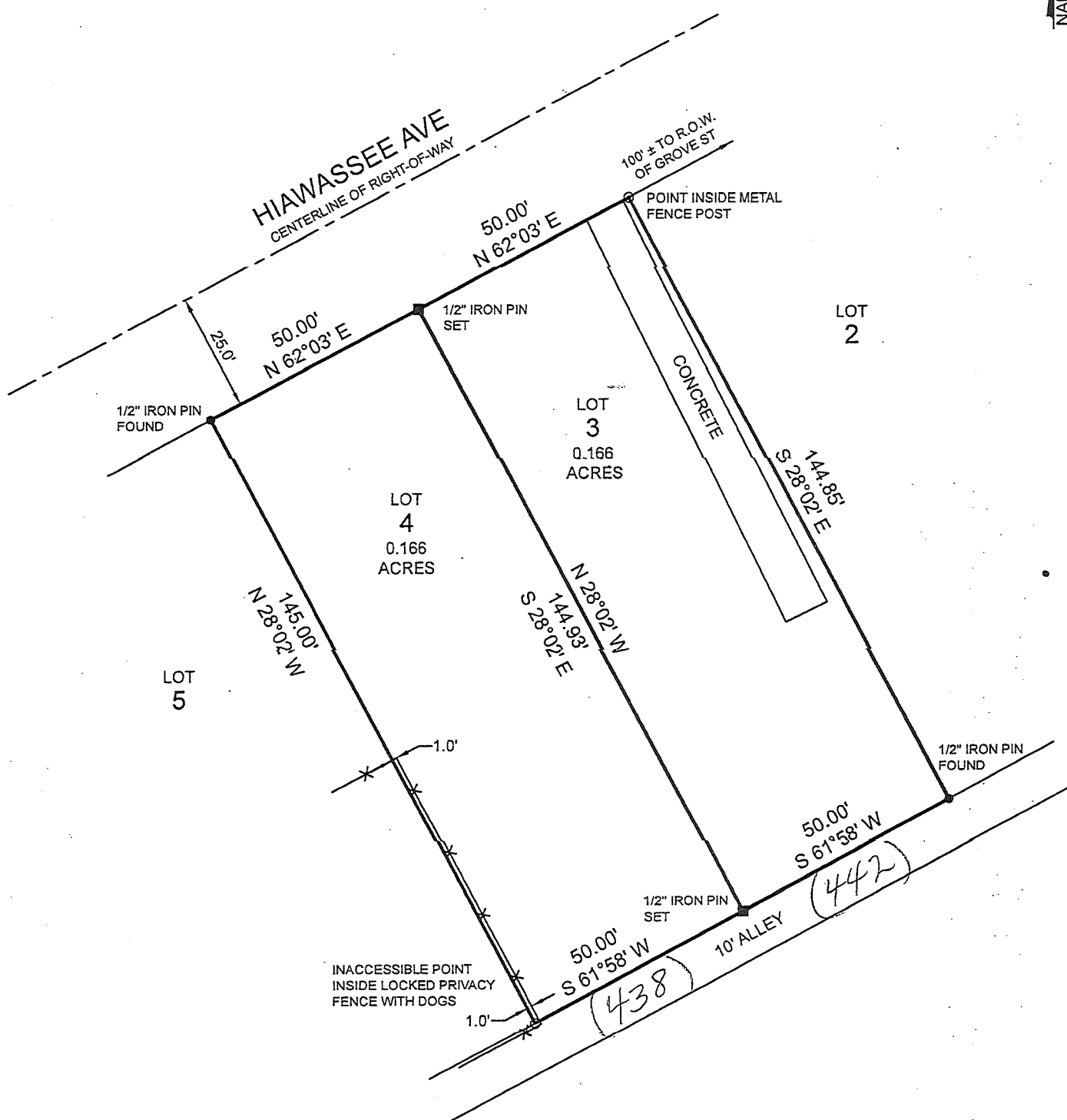
GRAPHIC SCALE



| | | | | | |
|---|---------------|--|------------|--|-----------------|
| 442 (LOT 3) & 438 (LOT 4) HIWASSEE AVE PARCELS 081B C 008.01 (LOT 3) & 081B C 008.00 (LOT 4) WD 202106020099090 (LOT 3) & 202106020099091 (LOT 4) BLOCK 23 - LINCOLN PARK (UNRECORDED PLAT) DISTRICT: 7 WARD: 18 BLOCK: 18523 CITY OF KNOXVILLE | | BUILDER(S) / OWNER(S) WILLIAMS/BUILT CONSTRUCTION GARY E. & VICTORIA R. KOONTZ | | | |
| JACOBS DIMENSIONS LLC PAPER SIZE: 11x17 (TABLOID) | JOB# 20211002 | DRAWN: JPF | 10/24/2021 | | SCALE: 1" = 20' |

21-15655

THIS SURVEY WAS PREPARED USING A COMBINATION OF
TOTAL STATION AND R.T.K. G.P.S. DATA COLLECTION.
G.P.S. RECEIVER INFO.: CARLSON BRx7 BASE/ROVER-
TOTAL STATION : TOPCON GPT-8205A
VERTICAL DATUM IS NAVD88, GEOID2018



CERTIFICATION OF CATEGORY AND ACCURACY OF SURVEY

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 AS

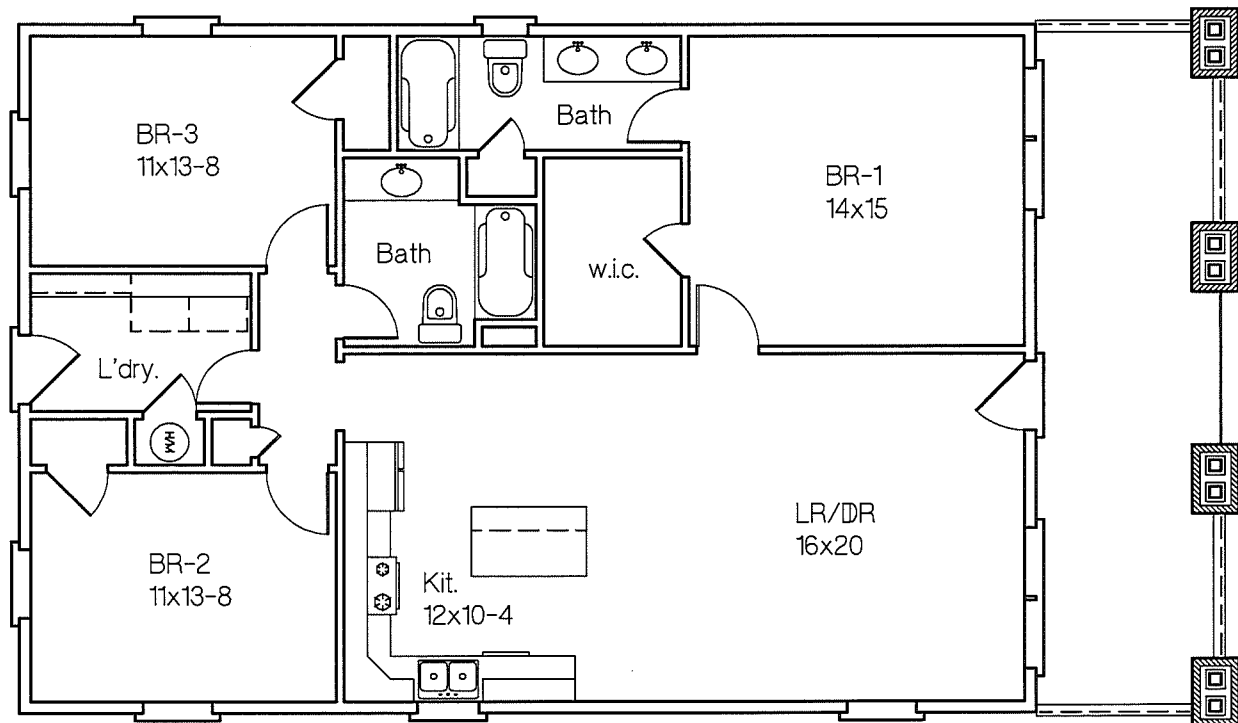


Front Elevation

1320 Sq. Ft.

Total Living Area

Overall Dimension: 30' x 52'



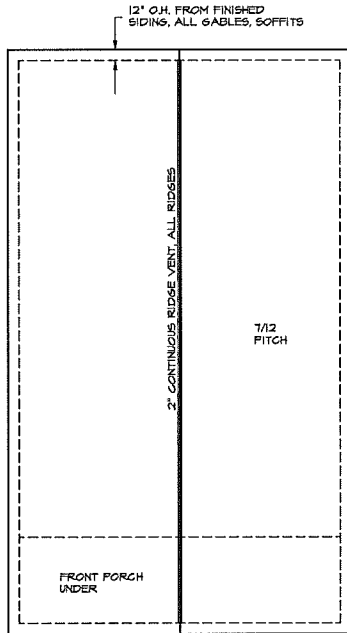
Main Floor

1320 Sq. Ft. Living Area

Plan No. KC21-0603

Sam R. Ensor Residential Drafting Service

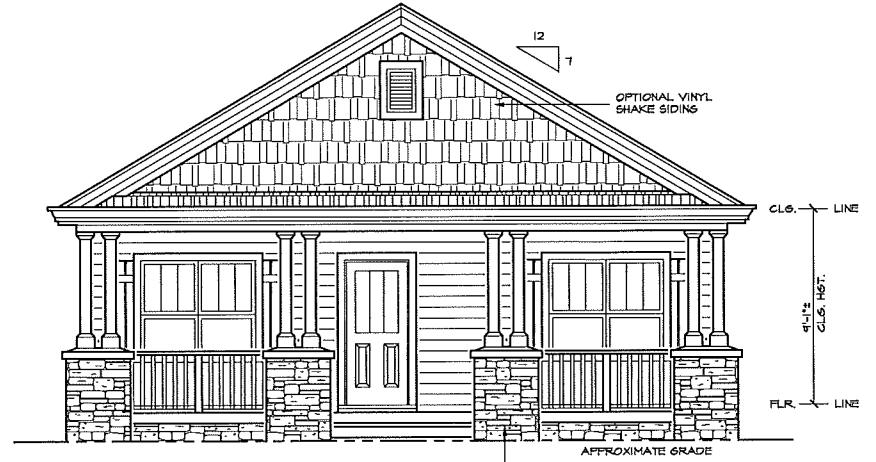
1311 Greenwell Drive, Knoxville, TN 37938 - Phone 865-216-3828



ROOF LAYOUT PLAN
SCALE: 1/8" = 1'-0"

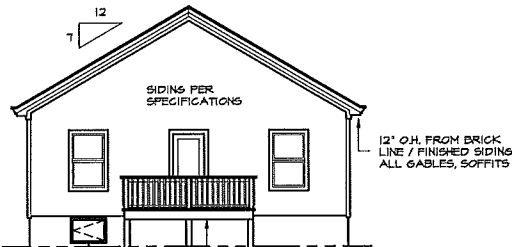
NOTE:

ALL WINDOW, DOOR, ACCESSORY & TRIM STYLES ARE INDICATED FOR ILLUSTRATION ONLY AND ARE SUBJECT TO APPROVAL/CHANGE BY GENERAL CONTRACTOR - ALL SUCH CHANGES SHALL CONFORM TO APPLICABLE LOCAL / STATE / NATIONAL BUILDING CODES



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

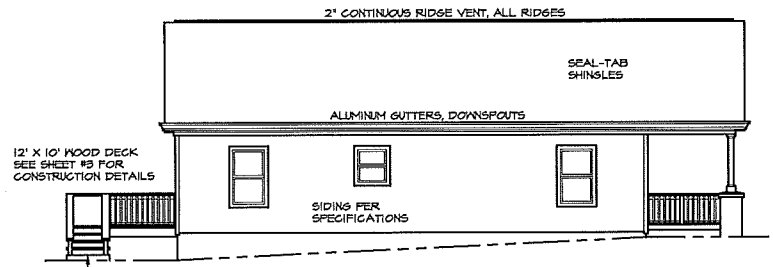
36" X 24" X 36" HIGH BRICK BASE W/ (2) 6" X 6" COLUMN OVER (TYP. OF 4)



REAR ELEVATION
SCALE: 1/8" = 1'-0"

36" X 24" CRAWL SPACE ACCESS - FINAL LOCATION GRADE DETERMINED

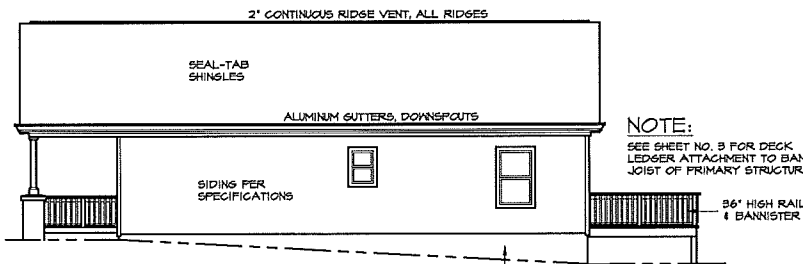
12' X 10' WOOD DECK SEE SHEET #3 FOR CONSTRUCTION DETAILS



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

12' X 10' WOOD DECK SEE SHEET #3 FOR CONSTRUCTION DETAILS

STEPS DOWN TO FINISHED GRADE PATH MAY VARY



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

CEMENT WASH STUCCO ALL EXPOSED, FTG.5

NOTE:

SEE SHEET NO. 3 FOR DECK LEDGER ATTACHMENT TO BAND JOIST OF PRIMARY STRUCTURE

36" HIGH RAIL & BANISTER

NOTICE

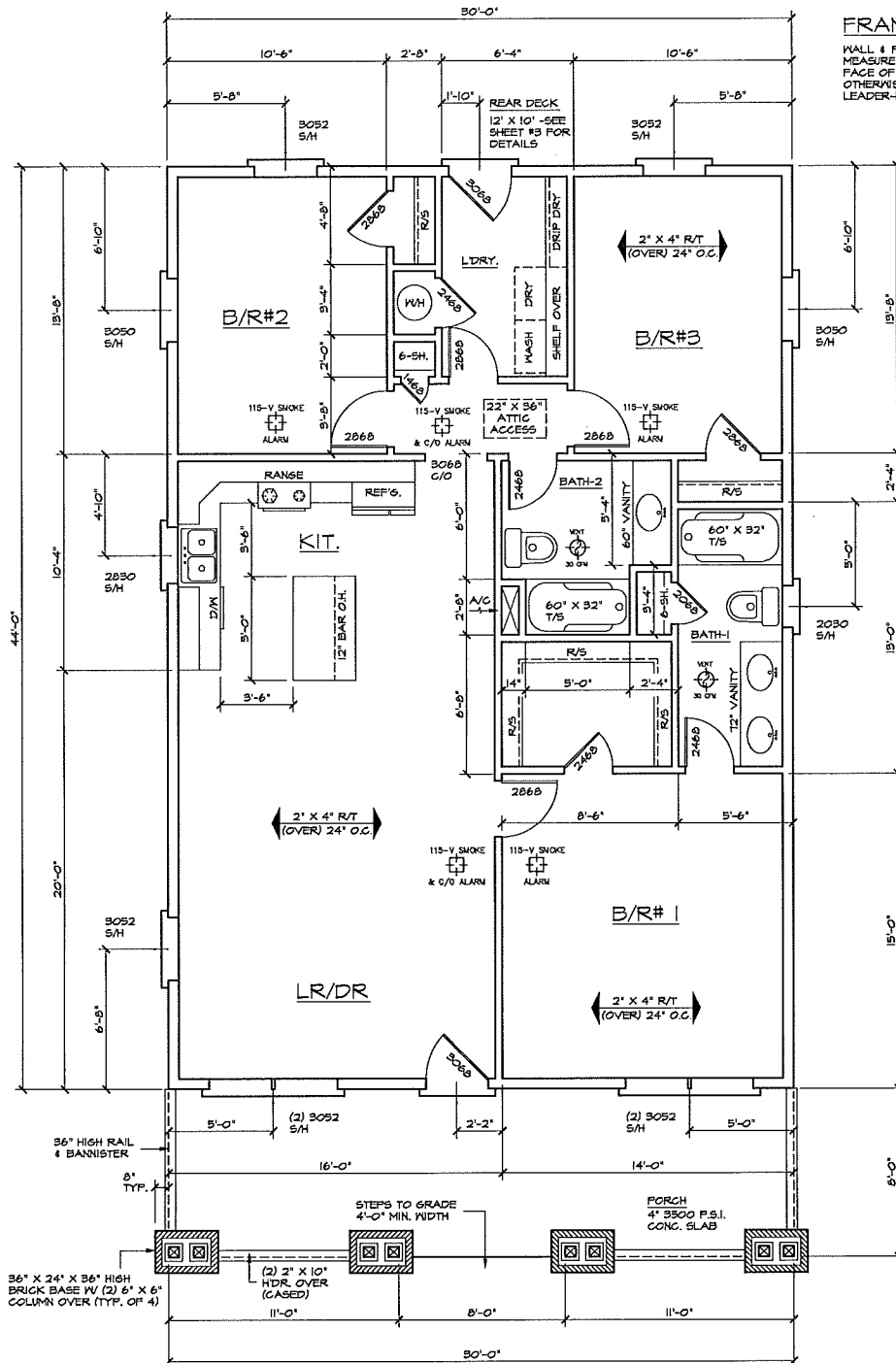
THE DESIGNER OFFERS NO WARRANTY AS TO THE SUITABILITY OF THE DESIGN FOR ANY BUILDING SITE, NOR FOR THE ACCURACY OF DIMENSIONS OR SQUARE FOOTAGE CALCULATIONS AS CONSTRUCTED. ALL STRUCTURAL SPAN & LOAD CAPACITIES OF ENGINEERED AND PRE-CAST COMPONENTS IS EXCLUDED. THE PLANS ARE DIAGRAMMATIC ONLY AND ARE DESIGNED STRICTLY AS A GENERAL GUIDE TO CONSTRUCTION. THE DRAWING EXHIBITS DO NOT GUARANTEE THE STRUCTURAL INTEGRITY OF FRAMING METHODS USED ON-SITE. THE USER IS RESPONSIBLE IN TOTAL FOR ALL PHASES OF THE CONSTRUCTION PROJECT. LOCAL/REVISED BUILDING CODES AND AMENDMENTS SHALL SUPERSEDE.

Designed To 2018 IRC

1

Sam R. Ensor
RESIDENTIAL DRAFTING SERVICE
1311 Greenwell Drive, Knoxville, TN 37938
Telephone 865-216-3828

| | |
|----------------|---|
| 21-0603 | PLAN NO. DATE ELEVATION DRAWINGS BY: S.R.E. DATE 06/24/2021 |
|----------------|---|



FRAMING DIMENSIONS:

WALL & PARTITION FRAMING DIMENSIONS ARE MEASURED FROM OUTSIDE FRAMING LINE TO FACE OF INTERIOR STUD/WALLS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER-LINES VERY CAREFULLY

B'LDG. VENTILATION:

EXHAUST AIR (2018 IRC #M505.4.1)
 IIS V. BATH VENTS MUST BE 90-CFM MIN. - DUCTED DIRECT TO THE EXTERIOR BUILDING TOTAL MUST BE 60 CFM MIN.

SUPPLY AIR (2018 IRC #M505.4.2)
 HVAC SYSTEM MUST PROVIDE 60-CFM MIN. FRESH AIR INTAKE TO RETURN AIR FLEMN EQUAL TO CAPACITY OF BATH EXHAUST VENTING

DUCT LEAK TEST (2018 IRC #M103.3)
 MANDATORY PRESSURE TEST FOR AIR LEAKAGE W/ WRITTEN REPORT MADE

THERMAL ENVELOPE LEAK TEST
 MANDATORY BLOWER DOOR LEAKAGE TEST (2018 IRC #M102.4.1.1-2) MUST NOT EXCEED 3 AIR CHANGES/HR - WRITTEN REPORT MADE TO INSPECTORS

MANUFACTURER, TYPE, MODEL NO. & SIZE OF ALL MECHANICAL HVAC, KITCHEN & WATER HEATER MUST BE ENTERED ON THE DESCRIPTION OF MATERIALS LIST - THE LAST SHEET OF EACH BLUEPRINT SET.

EGRESS WINDOWS:

BEDROOMS MUST HAVE (1) WINDOW RATED FOR EMERGENCY EGRESS WHICH PROVIDES A CLEAR OPENING OF 5.0 SQ. FT. (5.7 SQ. FT. @ SECOND FLOOR) & 44" MAX. SILL HGT. - MIN. NET CLEAR OPENING SHALL BE 20" WIDE - MIN. HGT. 24"

NOTE:
 VERIFY EGRESS RATINGS W/ WINDOW MFR. SPECIFICATIONS - SOME 3050 WINDOWS DO NOT PROVIDE ADEQUATE OPENING AREA

NOTE:
 WINDOWS LOCATED IN STAIRS, LANDINGS, BATHS & FOOT TRAFFIC AREAS WHERE THE SILL IS LESS THAN 18" FROM FINISHED FLOOR & WITH A SASH SIZE GREATER THAN 9.0 SQ.FT. SHALL REQUIRE USE OF TEMPERED GLASS

NOTE:
 WINDOW & DOOR SIZES NOTED ON FLOOR PLANS ARE GENERAL & ARE TO BE READ AS FEET & INCHES WIDTH BY FEET & INCHES HGT. (EX. 3050 D/H = 5'-0" WIDE X 5'-0" HIGH - D/H = DOUBLE HANG)

NOTE:

ALL MAIN FLOOR WINDOWS & DOORS SHALL BE ROUGHED IN @ 92-1/2" HEADER HEIGHT UNLESS NOTED OTHERWISE

MAIN FLOOR PLAN

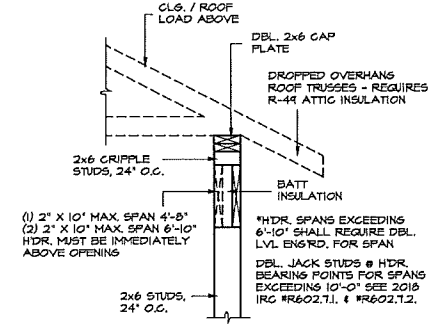
SCALE: 1/4" = 1'-0"

9'-1 1/2" FINISHED CEILING HEIGHT
 1920 SQ. FT. MAIN FLOOR LIVING AREA
 240 SQ. FT. COVERED FRONT PORCH AREA

NOTE:
 AREA CALCULATIONS ARE MEASURED FROM OUTSIDE FRAMING LINES (EXCLUSIVE OF BRICK OR STUCCO VENEER) VERIFY ONSITE BY ACTUAL CONSTRUCTION DIMENSIONS

NOTICE

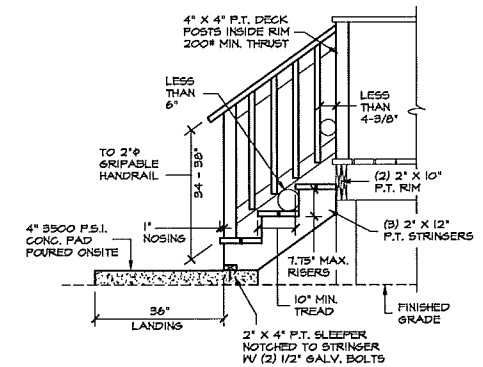
THE DESIGNER OFFERS NO WARRANTY AS TO THE SUITABILITY OF THE DESIGN FOR ANY BUILDING SITE, NOR FOR THE ACCURACY OF DIMENSIONS OR SQUARE FOOTAGE CALCULATIONS AS CONSTRUCTED. ALL STRUCTURAL SPAN & LOAD CAPACITIES OF ENGINEERED AND PRE-FABD. COMPONENTS IS EXCLUDED. THE PLANS ARE DIAGRAMMATIC ONLY AND ARE DESIGNED STRICTLY AS A GENERAL GUIDE TO CONSTRUCTION. THE DRAWING EXHIBITS DO NOT GUARANTEE THE STRUCTURAL INTEGRITY OF FRAMING METHODS USED ONSITE. THE USER IS RESPONSIBLE IN TOTAL FOR ALL PHASES OF THE CONSTRUCTION PROJECT. LOCAL/REVISED BUILDING CODES AND AMENDMENTS SHALL SUPERCEDE.



WINDOW & DOOR HEADERS
 NO SCALE 2018 IRC #R602.1.1 & 2

WALL BRACING

ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS WOOD STRUCTURAL PANEL (1/8" O.S.B. OR 1/2" EXTERIOR PLYWOOD) SHEATHING (2018 IRC TABLE #R602.10.4) & FASTENED AS REQ'D. BY #R602.10.3



DECK STAIR DETAILS
 NO SCALE 2018 IRC #R311.7

Designed To 2018 IRC

| | |
|---|---------------------------------------|
| <p>Sam R. Ensor RESIDENTIAL DRAFTING SERVICE 1311 Greenwell Drive, Knoxville, TN 37938 Telephone 865-216-3828</p> | <p>PLAN NO.</p> <p>21-0603</p> |
| | <p>RATE MAIN FLOOR PLAN</p> |
| | <p>BY: S.R.E. DATE: 06/24/2023</p> |
| | <p>21-0603</p> |

