



Staff Report

Infill Housing Design Review Committee

File Number: 11-A-21-IH

Meeting: 11/17/2021
Applicant: Gary Koontz
Owner: Gary Koontz

Property Information

Location: 438 Hiawasse Ave. **Parcel ID** 81 B C 008
Zoning: RN-2 (Single-Family Residential Neighborhood)
District: Oakwood/Lincoln Park Infill Housing Overlay District

Description of Work

Level III New Primary Structure

New primary residence fronting Hiawasse Avenue. Front-gable roof residence measures 30' wide by 44' long, with an 8' deep, partial-width porch projecting from the left half of the façade. The house is proposed to be set 34.7' from the front property line, with the porch at 26.7' from the front property line. The parking is proposed for the front yard, with an 18' by 20' parking pad at the front right corner of the property.

The 7/12 pitch, front-gable roof is clad in architectural shingles, the house is clad in horizontal vinyl siding, and the house rests on a stucco-clad foundation. The gable fields feature vinyl board-and-batten and vinyl shingle siding. The front-gable roof porch is supported by tapered Craftsman-style posts on stone veneer-clad piers. The three-bay façade features paired double-hung windows flanking a half-light door. There are two windows on the left side elevation and three on the right. A 12' by 10' wood deck is accessed by a secondary entry on the rear elevation.

Applicable Design Guidelines

Heart of Knoxville Infill Housing Design Guidelines

1. Front Yards

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- When several infill houses, porches and the habitable portion of each house should be about the same distance from the street as the original houses.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.

2. House Orientation and Side Yards

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.

3. Alleys, Parking, and Services

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations.
- On streets without alleys, garages or parking pads should be at least 20' behind the front façade of the infill house with access limited to one lane between the street and the front façade.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- Alley oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.

4. Scale, Mass, and Foundation Height

- The front elevation should be designed to be similar in scale to the other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- If extensions or bays were typically part of the neighborhood's historic house design, such elements should be incorporated into infill housing.
- New foundations should be about the same height as the original houses in the neighborhood.

5. Porches and Stoops

- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12' toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development.

6. Windows and Doors

- When constructing new houses, the windows and door styles should be similar to the original or historic houses on the block.
- To respect the privacy of adjacent properties, consider the placement of side windows and doors.
- The windows and doors on the front façade of an infill house should be located in similar proportion and position as the original houses on the block.
- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as "picture windows" should not be used in pre-World War II neighborhoods.

7. Roof Shapes and Materials

- New roofs should be designed to have a similar pitch to original housing on the block.
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in Infill neighborhoods.

8. Siding Materials

- Clapboard-like materials should be used in constructing new housing where painted wood siding was traditionally used.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.

11. Landscape and Other Considerations

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.

Comments

1. The house is proposed to be set 34.7' from the front property line, with the partial-width front porch at 26.7'

from the front property line. The average front setback of the block is 26.2'. Along with the adjacent new house at 442 Hiawasse Ave, the new house will maintain consistent front yard space with the block. The final site plan should incorporate a walkway from the front porch to the street.

2. The block to receive new construction is characterized by Craftsman bungalows and Queen Anne cottages. The proposed house is proportionate to the context and the dimensions of the lot. The proposed side setbacks are consistent with the block.

3. To meet Infill Housing guidelines and City Engineering standards, the proposed parking should extend off the alley and be located to the rear of the property instead of in the front yard. City Engineering has also noted the necessity of raising the house's finished floor elevation to provide positive drainage and improve the drainage swale at the street.

4. Overall, the one-story, three-bay façade is compatible with the historic houses on the block. Due to the requirement to elevate the finished floor elevation, the foundation will be comparable in heights with historic houses on the block.

5. The proposed front-gable roof porch, including the Craftsman-style detailing, meets the design guidelines for size and placement. Infill Housing design guidelines discourage the use of stone veneer; brick should be used as cladding for column piers instead.

6. The proposed window and doors are compatible with historic elements on the block. There is sufficient transparency on side elevations. The applicant should select consistent window patterns on all elevations (either all 1/1s or 3/1s) and omit non-operable shutters.

7. The proposed 7/12 pitch roof meets the design guidelines, and the cornice returns and front-gable roof porch contribute additional complexity.

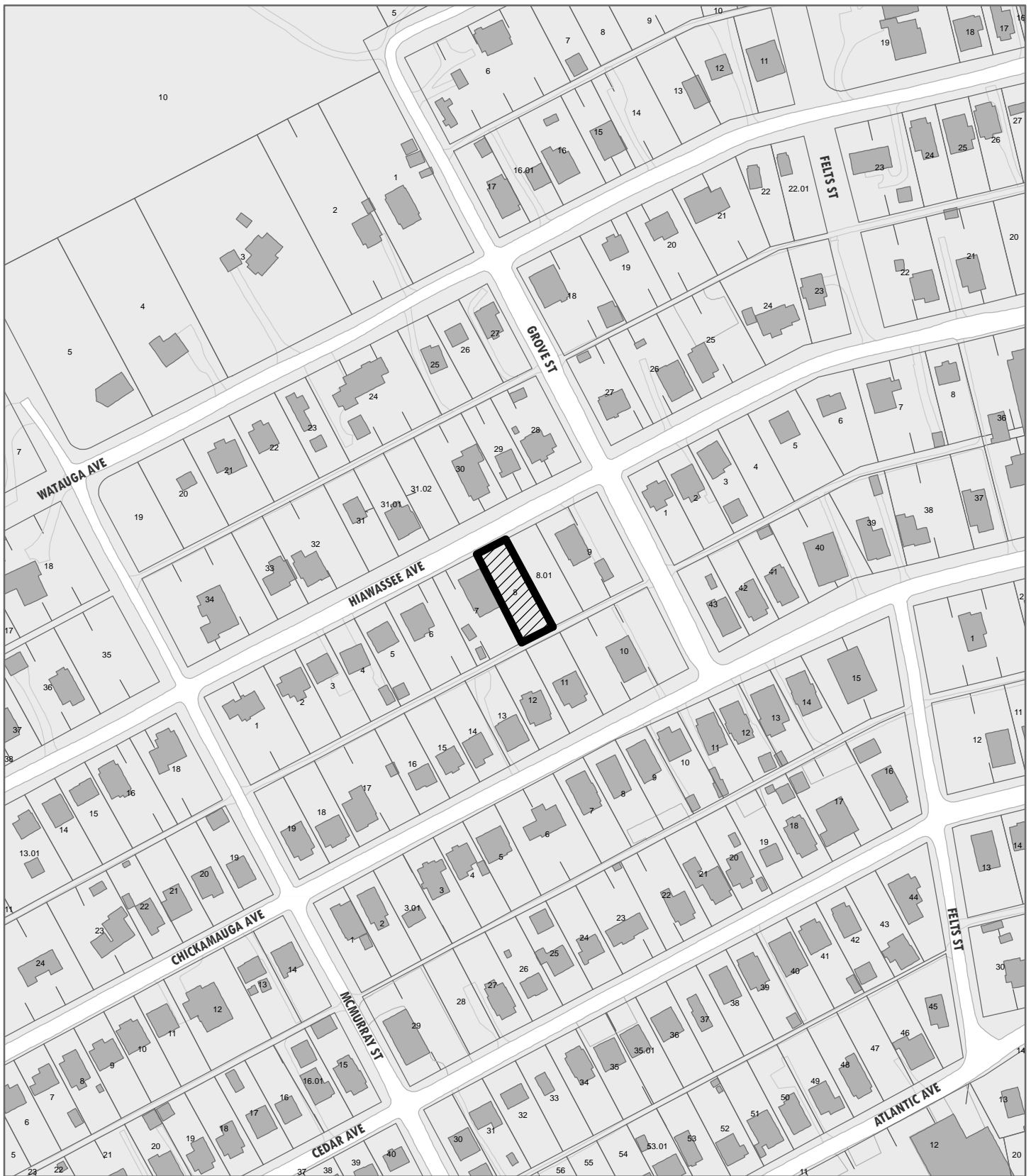
8. Overall materials are appropriate within the design guidelines. The vinyl siding should be lap siding with an overlap instead of Dutch lap or flush panel siding.

9. The final site plan should incorporate one native or naturalized shade tree in the front and rear yards.

Recommendation

Staff recommends approval of Certificate 11-A-21-IH, subject to the following conditions:

- 1) Incorporate a walkway from the front porch to the sidewalk or street;
- 2) Parking to meet Infill Housing guidelines and City Engineering standards, and be located at the rear of the property off the alley;
- 3) Incorporate brick-clad bases on the porch columns;
- 4) Use consistent window designs on all elevations and omit non-operable shutters;
- 5) Use vinyl siding with an overlap instead of Dutch lap or flush panel siding;
- 6) Incorporate one native or naturalized shade tree in front and rear yards.



11-A-21-IH

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

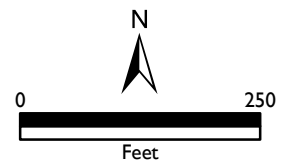
Applicant: Gary Koontz

**INFILL
HOUSING
REVIEW
BOARD**



438 Hiwassee Ave.
Oakwood/Lincoln Park Infill Housing Overlay
District

Original Print Date: 11/8/2021
Revised:
Knoxville/Knox County Planning - Infill Housing Design Review Committee





DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)

Gary Koontz

Applicant

Oct 26, 2021

November 17, 2021

11-A-21-IH

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Gary Koontz

Name

Company

3232 Tazewell Pk

Knoxville TN 37918

Address

City

State

Zip

865.548.1010

gary@garykoontz.com

Phone

Email

CURRENT PROPERTY INFO

Owner Name (if different from applicant)

Owner Address

Owner Phone

238 Hiwassee Ave

0918 008 00

Property Address

Parcel ID

Lincoln Park

R102

Neighborhood

Zoning

AUTHORIZATION

Lindsay Crockett

Lindsay Crockett

10/26/2021

Staff Signature

Please Print

Date

[Signature]

GARY KOONTZ

Oct 26, 2021

Applicant Signature

Please Print

Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: _____

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

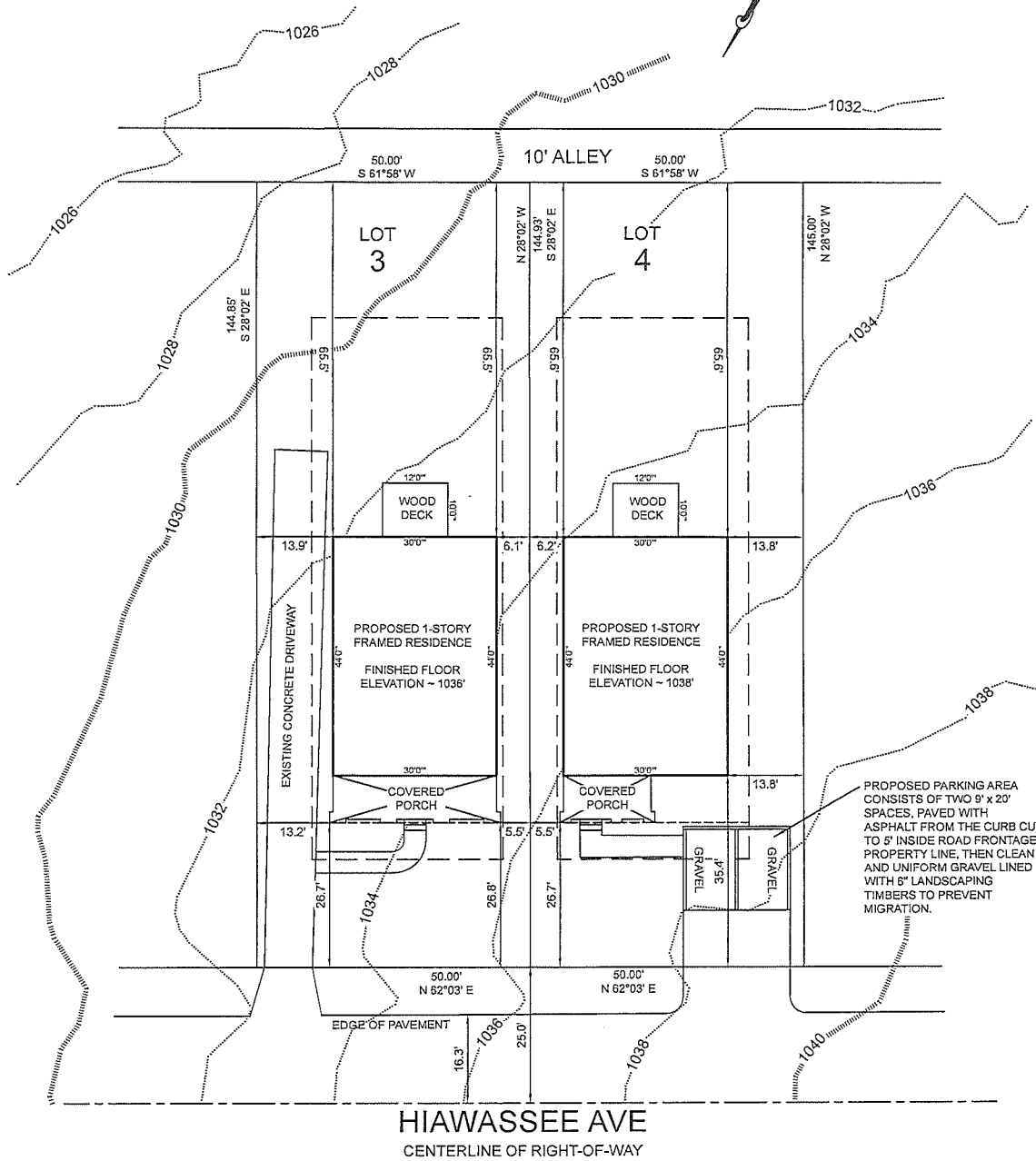
Level 1: \$50 • **Level 2:** \$100 • **Level 3:** \$250 • **Level 4:** \$500

FEE 1:		TOTAL: 250.00
250.00		
FEE 2:		
FEE 3:		

BUILDING SETBACKS

AVERAGE BLOCKFACE (26.7')

SITE PLAN



NOTES:

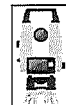
- 1) THIS SITE PLAN DOES NOT CONSTITUTE AN OFFICIAL PLAT OR BOUNDARY SURVEY. LOT DIMENSIONS ARE PER HINDS SURVEYING JOB 2105015.
- 2) ZONED RN-2 : SINGLE FAMILY RESIDENTIAL
BUILDING SETBACKS
FRONT: 20' OR AVERAGE BLOCKFACE (26.7')
REAR: 25'
SIDE: 5', 15' TOTAL
- 3) EXACT FINISHED FLOOR ELEVATION TO BE DETERMINED BY BUILDER BASED ON PREVAILING SITE CONDITIONS.
- 4) ELEVATIONS ARE PER KGIS.ORG TOPOGRAPHICAL INFORMATION.

GRAPHIC SCALE



442 (LOT 3) & 438 (LOT 4) HIWASSEE AVE
 PARCELS 081B C 008.01 (LOT 3) & 081B C 008.00 (LOT 4)
 WD 202106020099090 (LOT 3) & 202106020099091 (LOT 4)
 BLOCK 23 - LINCOLN PARK (UNRECORDED PLAT)
 DISTRICT: 7 WARD: 18 BLOCK: 18523 CITY OF KNOXVILLE

BUILDER(S) / OWNER(S)
 WILLIAMS/BUILT CONSTRUCTION
 GARY E. & VICTORIA R. KOONTZ



JACOBS DIMENSIONS LLC
 PAPER SIZE: 11x17 (TABLOID)

JOB# 20211002

DRAWN: JPF

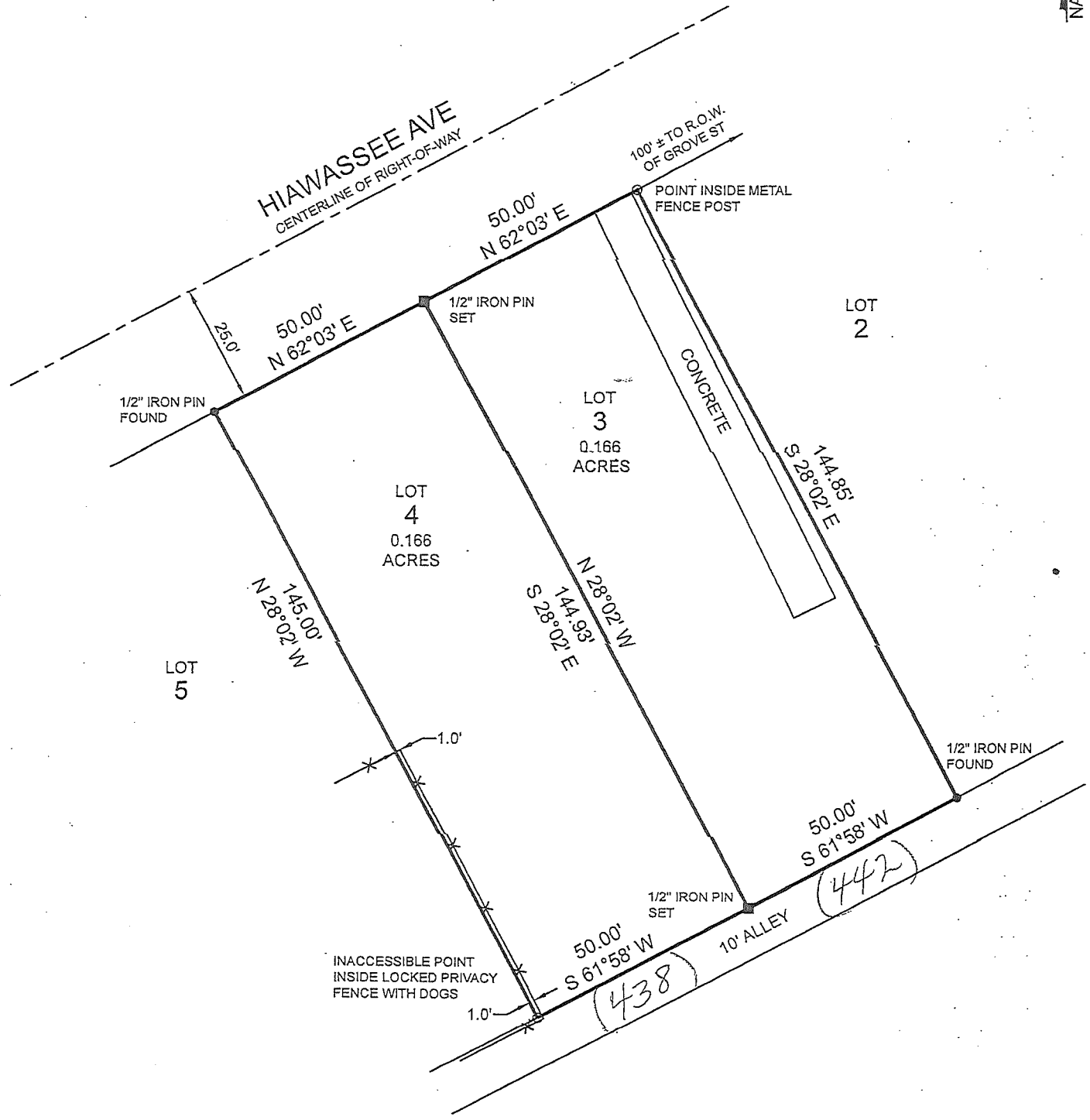
10/24/2021

SCALE: 1" = 20'

BEARINGS AND DISTANCES ARE PER HINDS SURVEYING JOB # 2105015

21-15655

THIS SURVEY WAS PREPARED USING A COMBINATION OF
TOTAL STATION AND R.T.K. G.P.S. DATA COLLECTION.
G.P.S. RECEIVER INFO.: CARLSON BRx7 BASE/ROVER-
TOTAL STATION : TOPCON GPT-8205A
VERTICAL DATUM IS NAVD88, GEOID2018



CERTIFICATION OF CATEGORY
AND ACCURACY OF SURVEY

I HEREBY CERTIFY THAT THIS IS A CATEGORY
1 SURVEY AND THE RATIO OF PRECISION OF
THE UNADJUSTED SURVEY IS 1:10,000 AS

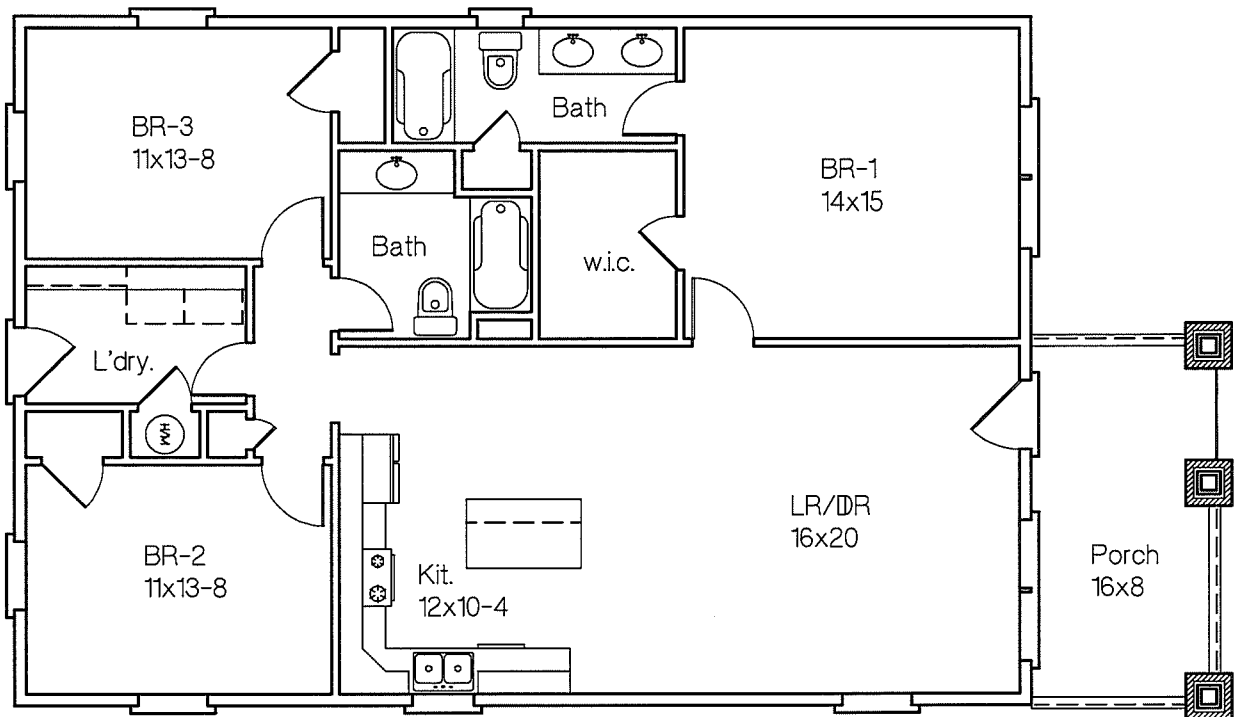


Front Elevation

1320 Sq. Ft.

Total Living Area

Overall Dimension: 30' x 52'



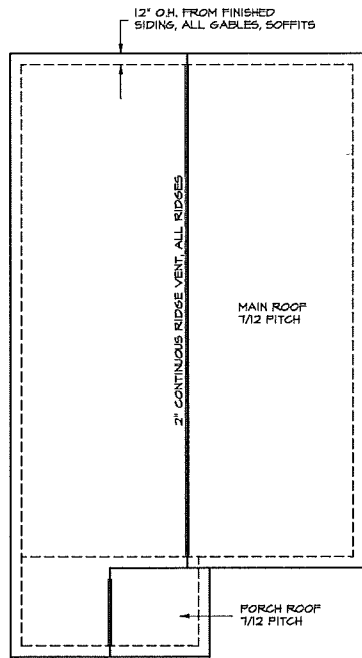
Main Floor

1320 Sq. Ft. Living Area

Plan No. KC19-0401

Sam R. Ensor Residential Drafting Service

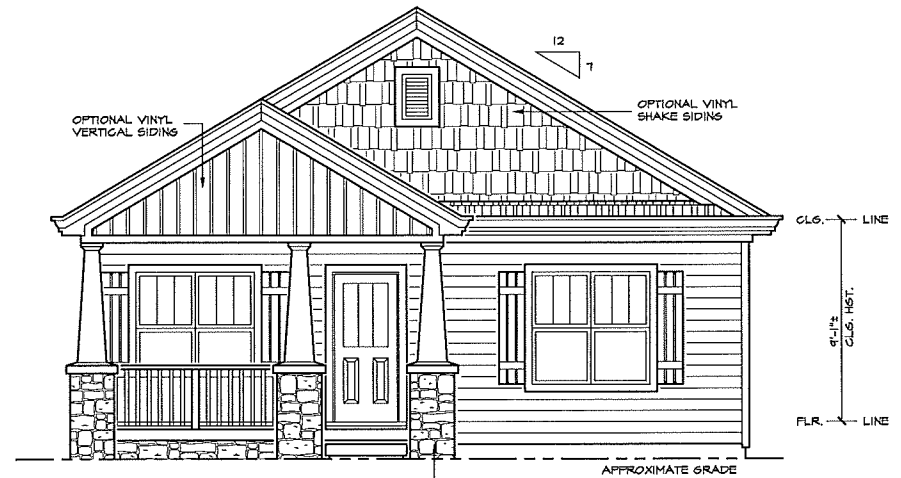
1311 Greenwell Drive, Knoxville, TN 37938 - Phone 865-947-8951



ROOF LAYOUT PLAN
SCALE: 1/8" = 1'-0"

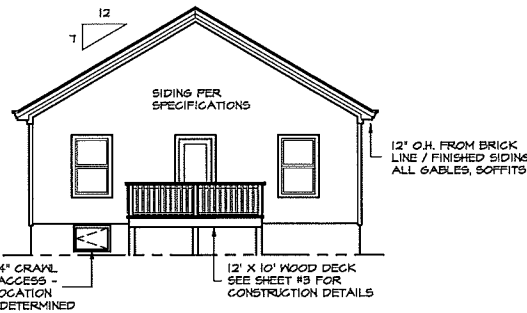
NOTE:

ALL WINDOW, DOOR, ACCESSORY & TRIM STYLES ARE INDICATED FOR ILLUSTRATION ONLY AND ARE SUBJECT TO APPROVAL/CHANGE BY GENERAL CONTRACTOR. ALL SUCH CHANGES SHALL CONFORM TO APPLICABLE LOCAL / STATE / NATIONAL BUILDING CODES.



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

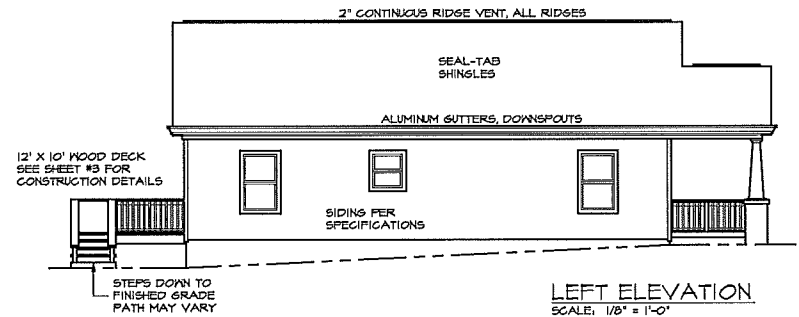
24" X 24" STONE BASE UP
36" FROM PORCH FLOOR
W/ TAPERED COLUMN OVER
TYPICAL OF (3)



REAR ELEVATION
SCALE: 1/8" = 1'-0"

36" X 24" CRAWL
SPACE ACCESS -
FINAL LOCATION
GRADE DETERMINED

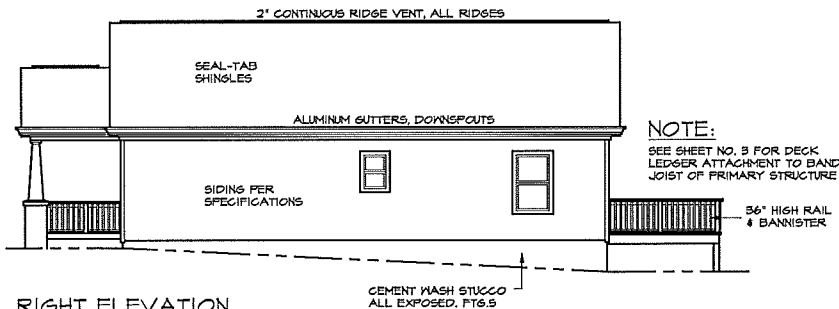
12' X 10' WOOD DECK
SEE SHEET #3 FOR
CONSTRUCTION DETAILS



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

12' X 10' WOOD DECK
SEE SHEET #3 FOR
CONSTRUCTION DETAILS

STEPS DOWN TO
FINISHED GRADE
PATH MAY VARY



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

CEMENT WASH STUCCO
ALL EXPOSED. FT&S

NOTE:

SEE SHEET NO. 3 FOR DECK
LEDGER ATTACHMENT TO BAND
JOIST OF PRIMARY STRUCTURE

36" HIGH RAIL
& BANNISTER

NOTICE

THE DESIGNER OFFERS NO WARRANTY AS TO THE SUITABILITY OF THE DESIGN FOR ANY BUILDING SITE NOR FOR THE ACCURACY OF DIMENSIONS OR SQUARE FOOTAGE CALCULATIONS AS CONSTRUCTED. ALL STRUCTURAL SPAN & LOAD CAPACITIES OF ENGINEERED AND PRE-CAST COMPONENTS IS EXCLUDED. THE PLANS ARE DIAGRAMMATIC ONLY AND ARE DESIGNED STRICTLY AS A GENERAL GUIDE TO CONSTRUCTION. THE DRAWING EXHIBITS DO NOT GUARANTEE THE STRUCTURAL INTEGRITY OF FINISH METHODS USED ON-SITE. THE USER IS RESPONSIBLE IN TOTAL FOR ALL PHASES OF THE CONSTRUCTION PROJECT. LOCAL/REVISED BUILDING CODES AND AMENDMENTS SHALL SUPERCEDE.

Designed To 2018 IRC

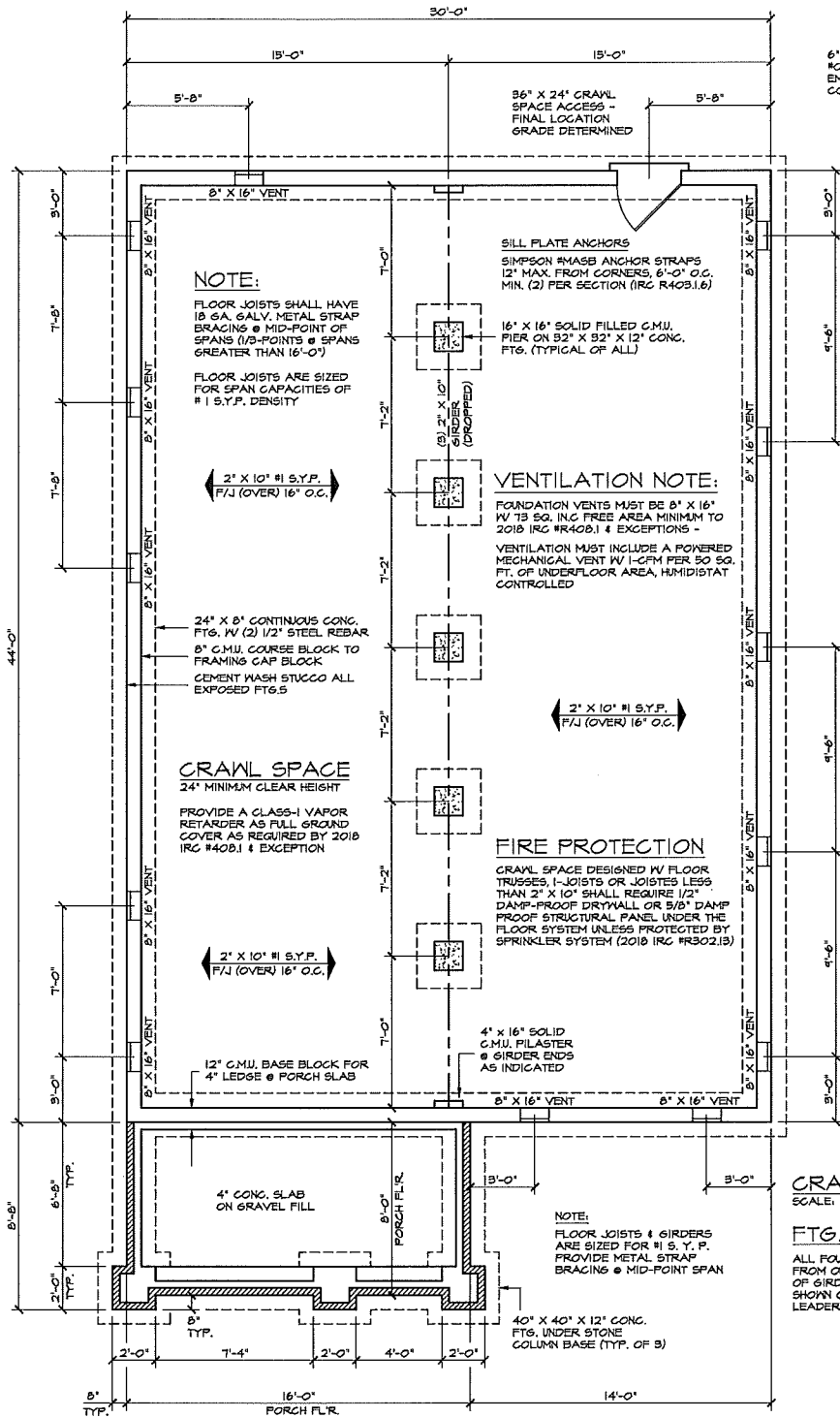
1

Sam R. Ensor

RESIDENTIAL DRAFTING SERVICE
1311 Greenwell Drive, Knoxville, TN 37938
Telephone 865-947-8951

19-0401

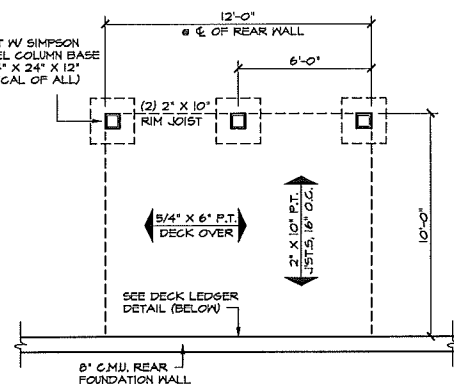
PLAN NO.
 DATE ELEVATION DRAWINGS
 BY: S.R.E. DATE 04/11/2019



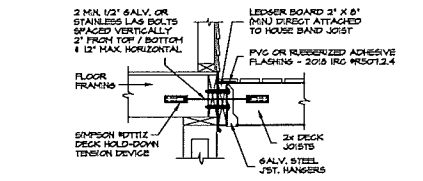
CRAWL SPACE FTG. PLAN
SCALE: 1/4" = 1'-0"

FTG. DIMENSIONS

ALL FOUNDATION DIMENSIONS ARE MEASURED FROM OUTSIDE EDGE OF SILL PLATES TO ϕ OF GIRDERS, WALLS, VENTS & OPENINGS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER - LINES CAREFULLY



DECK DETAIL
SCALE: 3/4" = 1'-0"



DECK LEDGER BOARD SECTION
NO SCALE
2018 IRC #R507.1.13 (2) & #R507.1.2 (1)

PRE-M/FD. TRUSSES

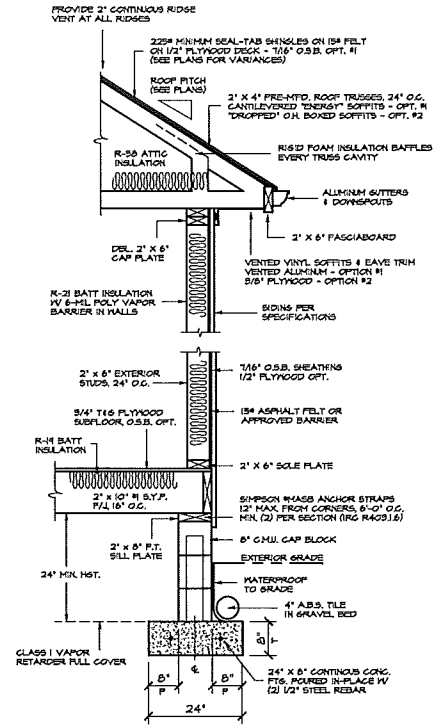
PRE-MFD. TRUSS COMPONENTS SHALL BE DESIGNED AND FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS. THE MANUFACTURER SHALL MODIFY THE TRUSS SYSTEM AS NECESSARY.

ALL ENGINEERED TRUSS DOCUMENTS SHALL BE PROVIDED TO THE GENERAL CONTRACTOR AND SHALL BE ATTACHED TO THESE PLANS. THE MFR'S SPECIFICATIONS SHALL SUPERCEDE THE GENERAL EXHIBITS INCLUDED IN THESE DRAWINGS.

PRE-M/FD. COMPONENTS

THE SIZE, SPAN & LOAD-BEARING CAPACITIES OF PRE-MFD. STRUCTURAL COMPONENTS SHALL BE ENGINEERED BY THE MANUFACTURER OR AUTHORIZED SUPPLIER & FABRICATED TO ACCOMMODATE ACTUAL ON-SITE MEASUREMENTS.

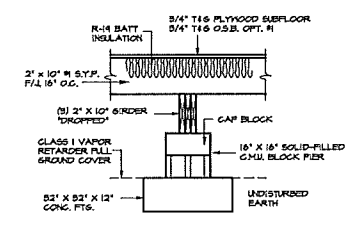
THE ENGINEERING SUPPLIER SHALL PROVIDE ALL NECESSARY INSTALLATION DOCUMENTS TO THE GENERAL CONTRACTOR & THESE DOCUMENTS SHALL BE ATTACHED TO THESE DRAWINGS.



TYPICAL WALL SECTION
NO SCALE
2018 IRC

WALL BRACING

ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS WOOD STRUCTURAL PANEL (7/16" O.S.B. OR 1/2" EXTERIOR PLYWOOD) SHEATHING (2018 IRC TABLE #R602.1(1)-(4) & FASTENED AS REQ'D. BY #R602.3(3)



GIRDER @ PIER SECTION
NO SCALE

Designed To 2018 IRC

3

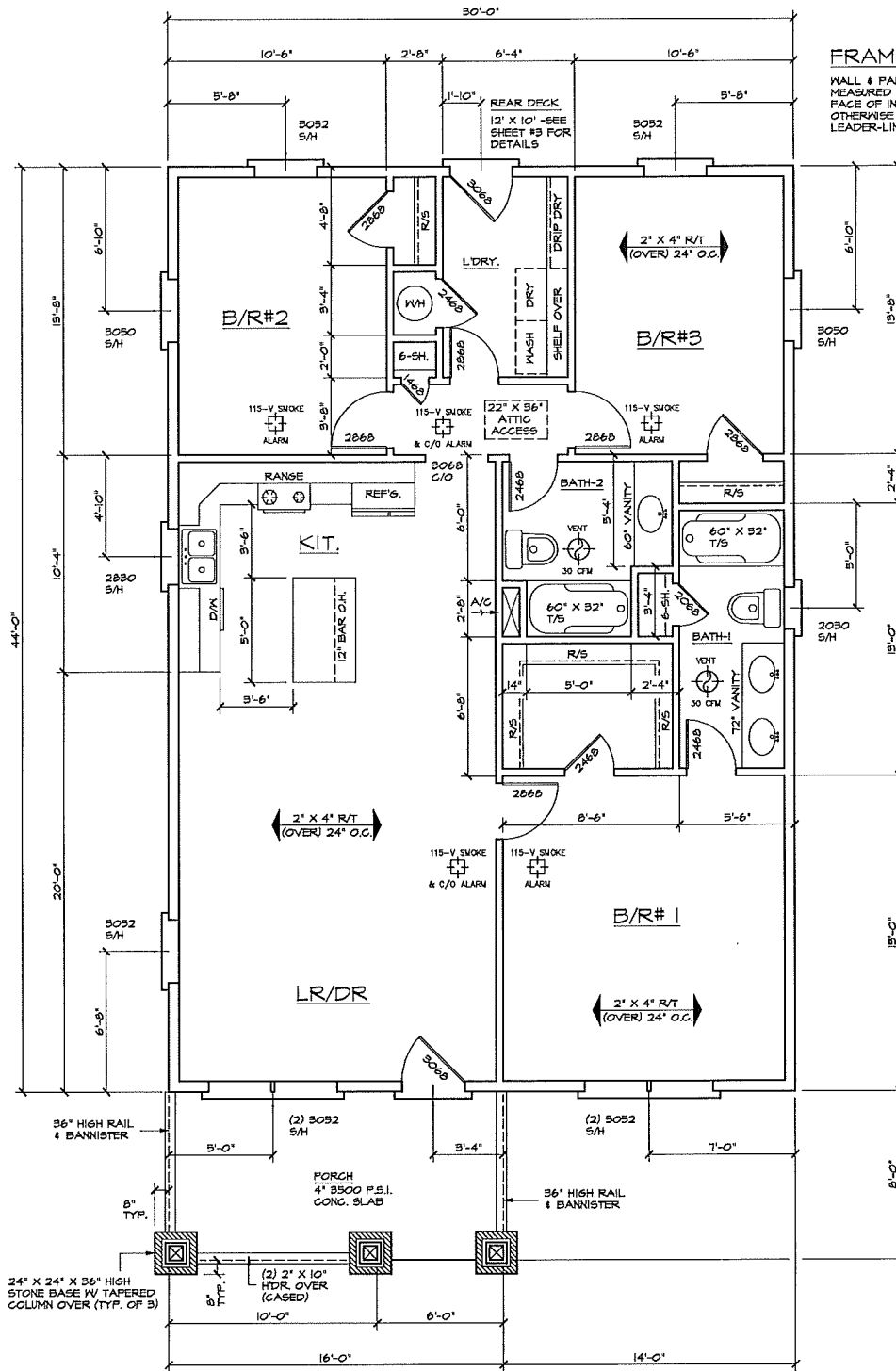
Sam R. Ensor
RESIDENTIAL DRAFTING SERVICE
1311 Greenwell Drive, Knoxville, TN 37938
Telephone 865-947-8951

19-0401

PLAN NO.

DATE: 04/11/2019

DATE: 04/11/2019



FRAMING DIMENSIONS:

MALL & PARTITION FRAMING DIMENSIONS ARE MEASURED FROM OUTSIDE FRAMING LINE TO FACE OF INTERIOR STUD WALLS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER-LINES VERY CAREFULLY

WALL BRACING

ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS WOOD STRUCTURAL PANEL (7/16" O.S.B. OR 1/2" EXTERIOR PLYWOOD) SHEATHING (2018 IRC TABLE #R602.10.4) & FASTENED AS REQ'D. BY #R602.3(3)

NOTE:

ALL EXTERIOR WALLS ARE 2" X 6", @ 24" O.C. W/ R-21 BATT INSULATION

B'LDG. VENTILATION:

EXHAUST AIR (2018 IRC #M505.4.1)
 115 V. BATH VENTS MUST BE 30-CFM MIN. - DUCTED DIRECT TO THE EXTERIOR BUILDINGS TOTAL MUST BE 60 CFM MIN.
 SUPPLY AIR (2018 IRC #M505.4.3)
 HVAC SYSTEM MUST PROVIDE 60-CFM MIN. FRESH AIR INTAKE TO RETURN AIR PLENUM EQUAL TO CAPACITY OF BATH EXHAUST VENTING

MANUFACTURER, TYPE, MODEL NO. & SIZE OF ALL MECHANICAL HVAC, KITCHEN & WATER HEATER MUST BE ENTERED ON THE DESCRIPTION OF MATERIALS LIST - THE LAST SHEET OF EACH BLUEPRINT SET.

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

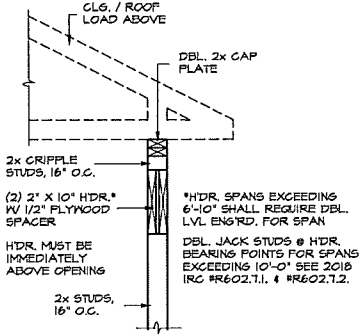
9'-1/2" FINISHED CEILING HEIGHT
 1920 SQ. FT. MAIN FLOOR LIVING AREA
 120 SQ. FT. COVERED FRONT PORCH AREA

NOTE:

AREA CALCULATIONS ARE MEASURED FROM OUTSIDE FRAMING LINES (EXCLUSIVE OF BRICK OR STUCCO VENEER) VERIFY ONSITE BY ACTUAL CONSTRUCTION DIMENSIONS

NOTICE

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WINDOW & DOOR HEADERS

SCALE: 3/4" = 1'-0" 2018 IRC #R602.1.1 & 2

EGRESS WINDOWS:

BEDROOMS MUST HAVE (1) WINDOW RATED FOR EMERGENCY EGRESS WHICH PROVIDES A CLEAR OPENING OF 5.7 SQ. FT. (3.1 SQ. FT. @ SECOND FLOOR) & 44" MAX. SILL HGT. - MIN. NET CLEAR OPENING SHALL BE 20" WIDE - MIN. HST. 24"

NOTE:
 VERIFY EGRESS RATINGS W/ WINDOW MFR. SPECIFICATIONS - SOME 3050 WINDOWS DO NOT PROVIDE ADEQUATE OPENING AREA

NOTE:
 WINDOWS LOCATED IN STAIRS, LANDINGS, BATHS & FOOT TRAFFIC AREAS WHERE THE SILL IS LESS THAN 18" FROM FINISHED FLOOR & WITH A SASH SIZE GREATER THAN 9.0 SQ.FT. SHALL REQUIRE USE OF TEMPERED GLASS

NOTE:
 WINDOW & DOOR SIZES NOTED ON FLOOR PLANS ARE GENERIC & ARE TO BE READ AS FEET & INCHES WIDTH BY FEET & INCHES HST. (EX. 3050 D/H = 3'-0" WIDE X 5'-0" HIGH - D/H = DOUBLE HANG)

NOTE:

ALL MAIN FLOOR WINDOWS & DOORS SHALL BE ROUGHED IN @ 82-1/2" HEADER HEIGHT UNLESS NOTED OTHERWISE

Designed To 2018 IRC

2

Sam R. Ensor

RESIDENTIAL DRAFTING SERVICE
 1311 Greenwell Drive, Knoxville, TN 37938
 Telephone 865-947-8951

19-0401

PLAN NO.
 DATE MAIN FLOOR PLAN
 BY: S.R.E. DATE: 04/11/2019