



DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)



Applicant RAYMOND NORMAN

Date Filed 1/30/20 Meeting Date (if applicable) 02/19/20 File Number(s) 2-B-20-DT

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner
- Contractor
- Engineer
- Architect/Landscape Architect

Name RAY NORMAN Company _____

Address 211 PERIMETER CENTER PARKWAY NE SUITE 210 ATLANTA GA City _____ State _____ Zip 30346

Phone 404-975-5834 Email RAY.NORMAN@EXP.COM

cell 678-313-0028

CURRENT PROPERTY INFO

Owner Name (if different from applicant) AT&T JOSEPH ESTEP Owner Address _____ Owner Phone 502-582-1586

Property Address 410 WEST MAGNOLIA AVE - KNOXVILLE TN Parcel ID 094EK002

Neighborhood Downtown

AUTHORIZATION

Staff Signature [Signature] Please Print Michael Reynolds Date 1/30/2020

Applicant Signature [Signature] Please Print RAYMOND A. NORMAN Date 01/30/20

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: CONSTRUCT A PARKING SPACE FOR A TRAILER MOUNTED CHILLER W/ A 12 FT SOUND WALL SCREEN WALLS AND LANDSCAPING IMPROVEMENTS.

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:

Level 3

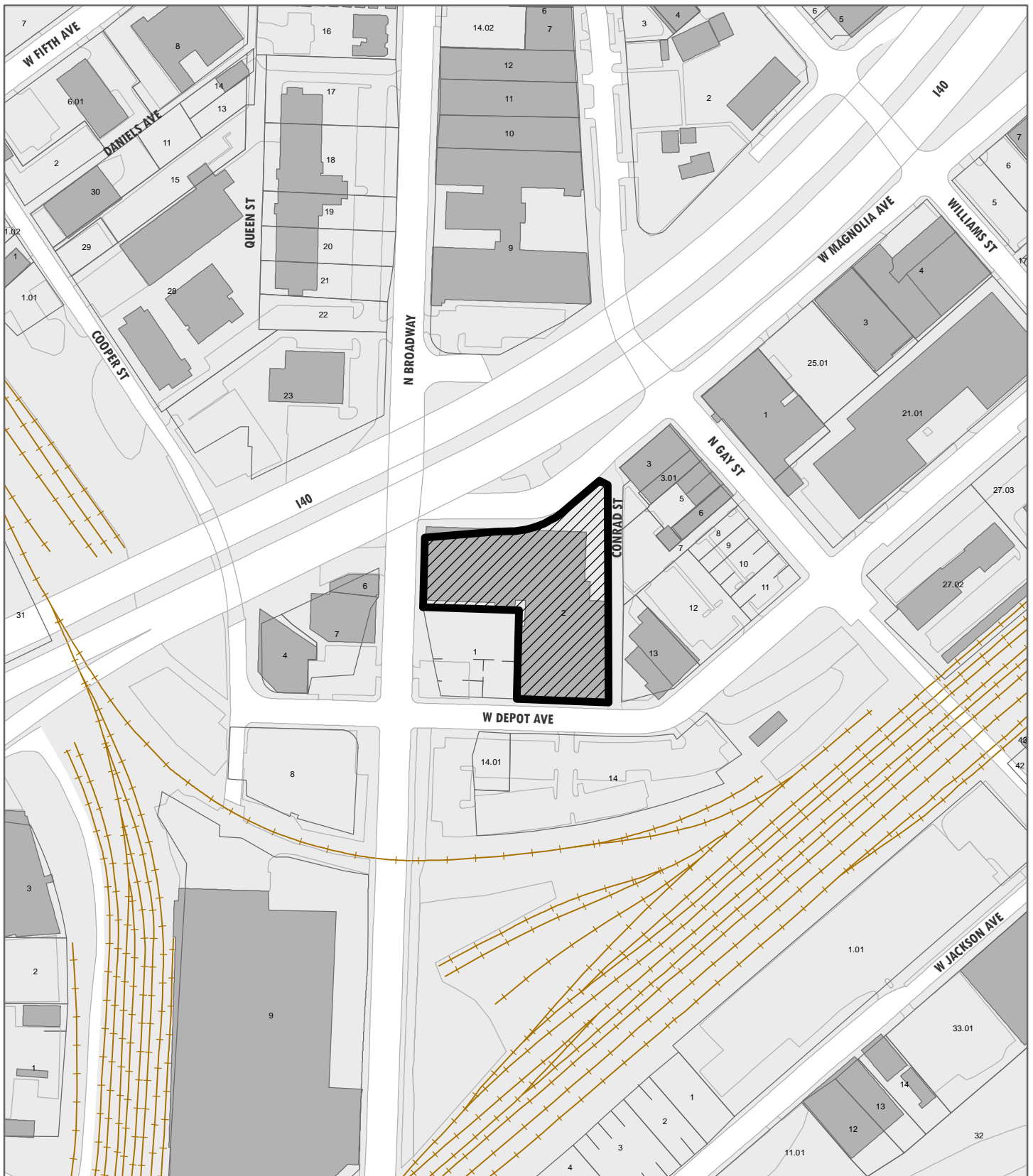
\$100
~~250~~

FEE 2:

FEE 3:

TOTAL:

\$100
~~250~~



2-B-20-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

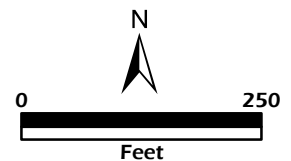
Petitioner: Raymond Norman / EXP

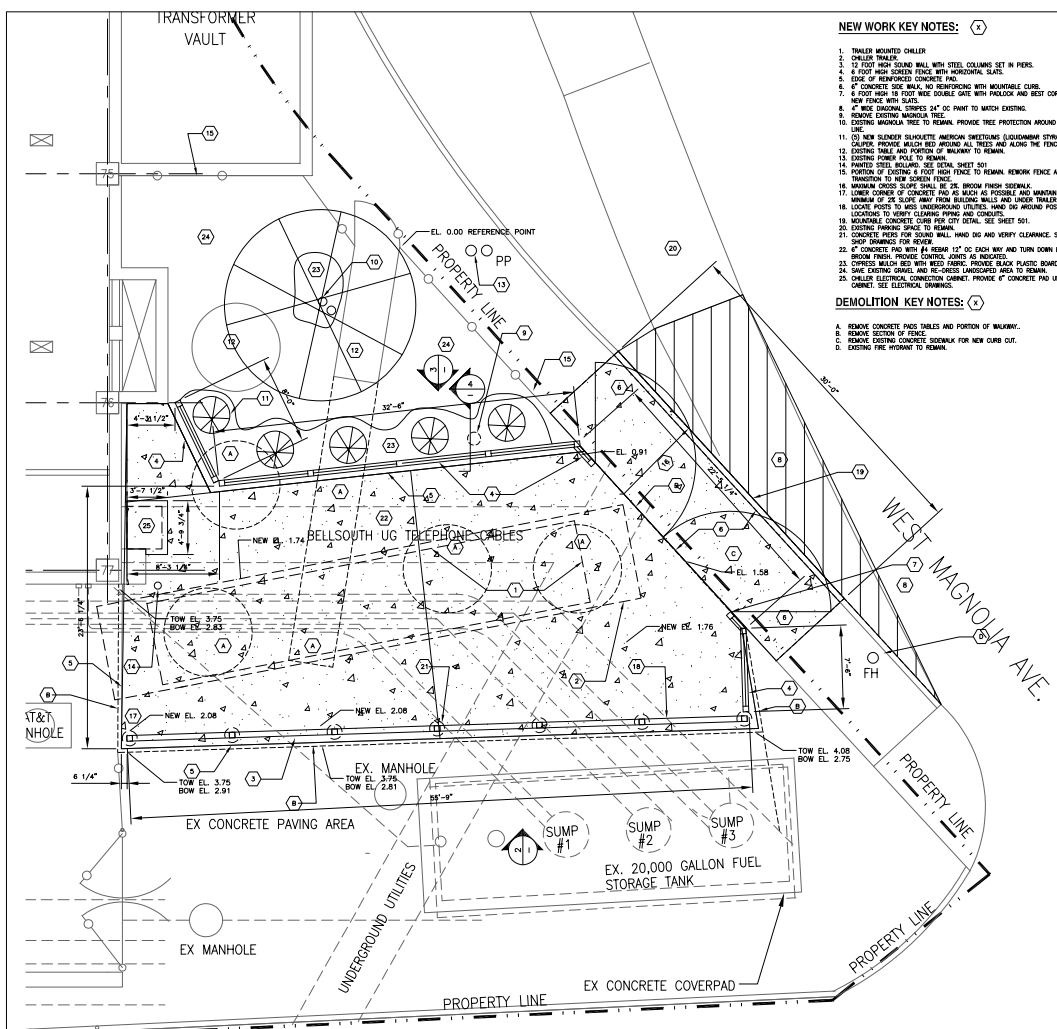
**DOWNTOWN
DESIGN
REVIEW
BOARD**



410 W. Magnolia Ave.
Level 2: Addition to an existing
building/structure

Original Print Date: 2/11/2020
Revised:
Knoxville/Knox County Planning · Downtown Design Review Board





1 (PHASE 1) COURT YARD PARTIAL NEW WORK PLAN

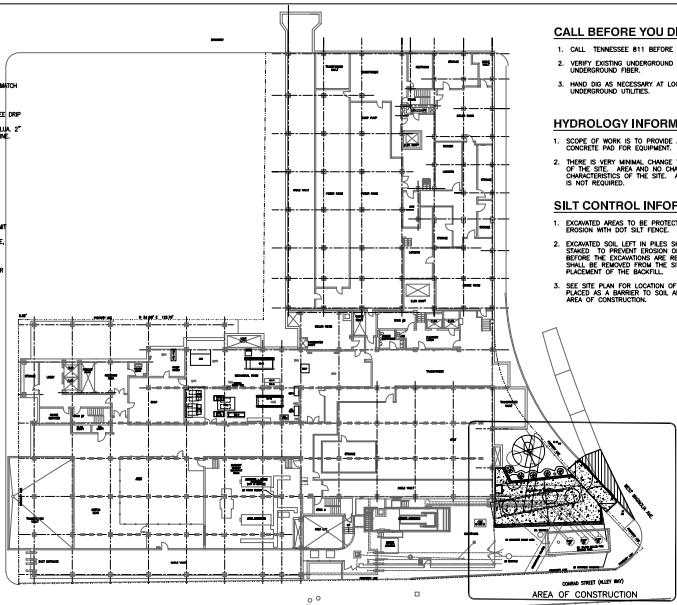
CONRAD STREET (ALLEY WAY)

NEW WORK KEY NOTES:

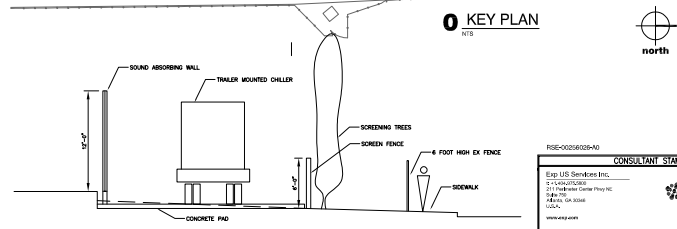
- TRAILER MOUNTED CHILLER
- CHILLER TRAILER
- 12 FOOT HIGH SOUND WALL WITH STEEL COLUMN SET IN PIERS
- 12 FOOT HIGH SCREEN FENCE WITH UNDERGROUND UTILITIES
- EDGE OF REINFORCED CONCRETE PAD
- 4" CONCRETE SIDE WALL TO INTERCONNECT WITH UNDERGROUND UTILITIES
- 6 FOOT HIGH 18 FOOT WIDE DOUBLE GATE WITH PALOOK AND BEST CORE MATCH NEW FENCE WITH SLATS
- 4" WIDE DIAGONAL CORNERS 24" OC PAINT TO MATCH EXISTING
- REMOVE EXISTING MAGNOLIA TREE
- EXISTING MAGNOLIA TREE TO REMAIN PROVIDE TREE PROTECTION AROUND TREE DRIP LINE
- 11' NEW SLOTTED SILICOATE AMERON (PREFORMED) UNDERGROUND STRUCTURAL 12" CONCRETE PAVING PALOOK AND PALOOK TO REST AND ADJACENT TO THE FENCE LINE
- EXISTING POWER POLES TO REMAIN
- PROTECT EXISTING MAGNOLIA TREE DETAIL SHEET 501
- PORTION OF EXISTING 6 FOOT HIGH FENCE TO REMAIN REMOVE FENCE AT TRANSITION TO NEW SCREEN FENCE
- MAXIMUM CROSS SLOPE SHALL BE 2% DOWN FROM SIDEWALK
- LOWER CORNERS OF CONCRETE PAD AS MUCH AS POSSIBLE AND MAINTAIN A MINIMUM OF 2% SLOPE AWAY FROM BUILDING WALLS AND UNDER TRAILER
- LOCATE POSTS TO MISS UNDERGROUND UTILITIES HAND DIG AROUND POST LOCATION TO VERIFY CABLE PIPING AND CONDUITS
- REMOVE EXISTING CONCRETE CURB PER CITY DETAIL SEE SHEET 501
- EXISTING PARKING SPACE TO REMAIN
- CONCRETE PILES FOR SOUND WALL HAND DIG AND VERIFY CLEARANCE SUBMIT SHOP DRAWINGS FOR REVIEW
- 4" CONCRETE PAD WITH 6" REBAR 12" OC EACH WAY AND TURN DOWN EDGE
- EXISTING FINISH FLOORING CONTAINS ASBESTOS AS INDICATED
- REMOVE EXISTING MAGNOLIA TREE
- REMOVE EXISTING GRASS AND RE-SEED LANDSCAPE AREA TO REMAIN
- REMOVE EXISTING ELECTRICAL CONDUIT PROVIDE 4" CONCRETE PAD UNDER CABINET SEE ELECTRICAL DRAWINGS

DEMOLITION KEY NOTES:

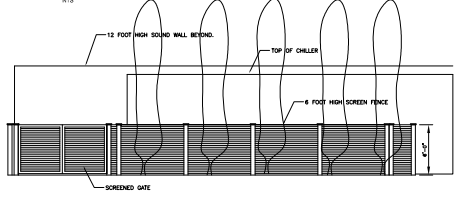
- REMOVE CONCRETE PAVES, SABLES AND PORTION OF WALKWAY
- REMOVE SECTION OF FENCE
- REMOVE EXISTING CONCRETE SIDEWALK FOR NEW CURB OUT
- EXISTING FIRE WYOMANT TO REMAIN



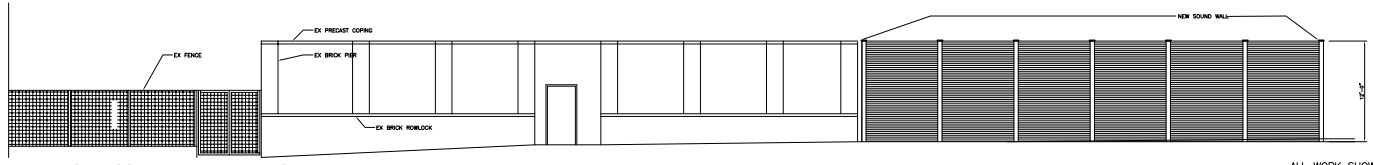
0 KEY PLAN



4 (PHASE 1) SECTION



3 (PHASE 1) SCREEN WALL ELEVATION



2 (PHASE 1) SOUND WALL ELEVATION

ALL WORK SHOWN ON THIS DRAWING IS COMPLETE.
SIGNED: _____ DATE: _____

CALL BEFORE YOU DIG:

- CALL TENNESSEE 811 BEFORE YOU DIG.
- VERIFY EXISTING UNDERGROUND UTILITIES AND AT&T UNDERGROUND FEED.
- HAND DIG AS NECESSARY AT LOCATIONS OF UNDERGROUND UTILITIES.

HYDROLOGY INFORMATION:

- SCOPE OF WORK IS TO PROVIDE A 1.203 SF CONCRETE PAD FOR EQUIPMENT.
- THERE IS VERY MINIMAL CHANGE TO THE HYDROLOGY OF THE SITE. AREA AND NO CHANGE TO THE FLOW CHARACTERISTICS OF THE SITE. A HYDROLOGY STUDY IS NOT REQUIRED.

SILT CONTROL INFORMATION:

- EXCAVATED AREA TO BE PROTECTED FROM SOIL EROSION WITH DOT SALT FENCE.
- EXCAVATED SOIL LEFT IN PILES SHALL BE TAMPED AND STAGED TO PREVENT EROSION OF THE PLACED SOIL. BEFORE THE EXCAVATIONS ARE REFILLED, EXCESS SOIL SHALL BE REMOVED FROM THE SITE IMMEDIATELY UPON COMPLETION OF THE SHOULDER.
- SEE SITE PLAN FOR LOCATION OF SALT FENCE TO BE PLACED AS A BARRIER TO SOIL AND TO DEFINE THE AREA OF CONSTRUCTION.

CONSULTANT STAMP

exp.

REGULATORY - EARTH & ENVIRONMENT - ENERGY - INFRASTRUCTURE - REPAIRS - SUSTAINABILITY

REVISIONS / AUTHORIZATIONS

NO.	REVISION / AUTHORIZATION	DATE	BY

0 ISSUE FOR CONSTRUCTION U/AV/RN

PROPRIETARY AT&T INFORMATION
NOT FOR GENERAL USE OR DISCLOSURE OUTSIDE OF AT&T
THIS INFORMATION MAY ONLY BE USED BY AUTHORIZED PERSONNEL OF THE LOCAL GOVERNMENT AGENCY IN CONNECTION WITH APPLICATION FOR PERMITS AND APPROVING FOR BUILDINGS, CONSTRUCTION, AND/OR ZONING CHANGES.

AT&T CORPORATE REAL ESTATE PROJECT DRAWING

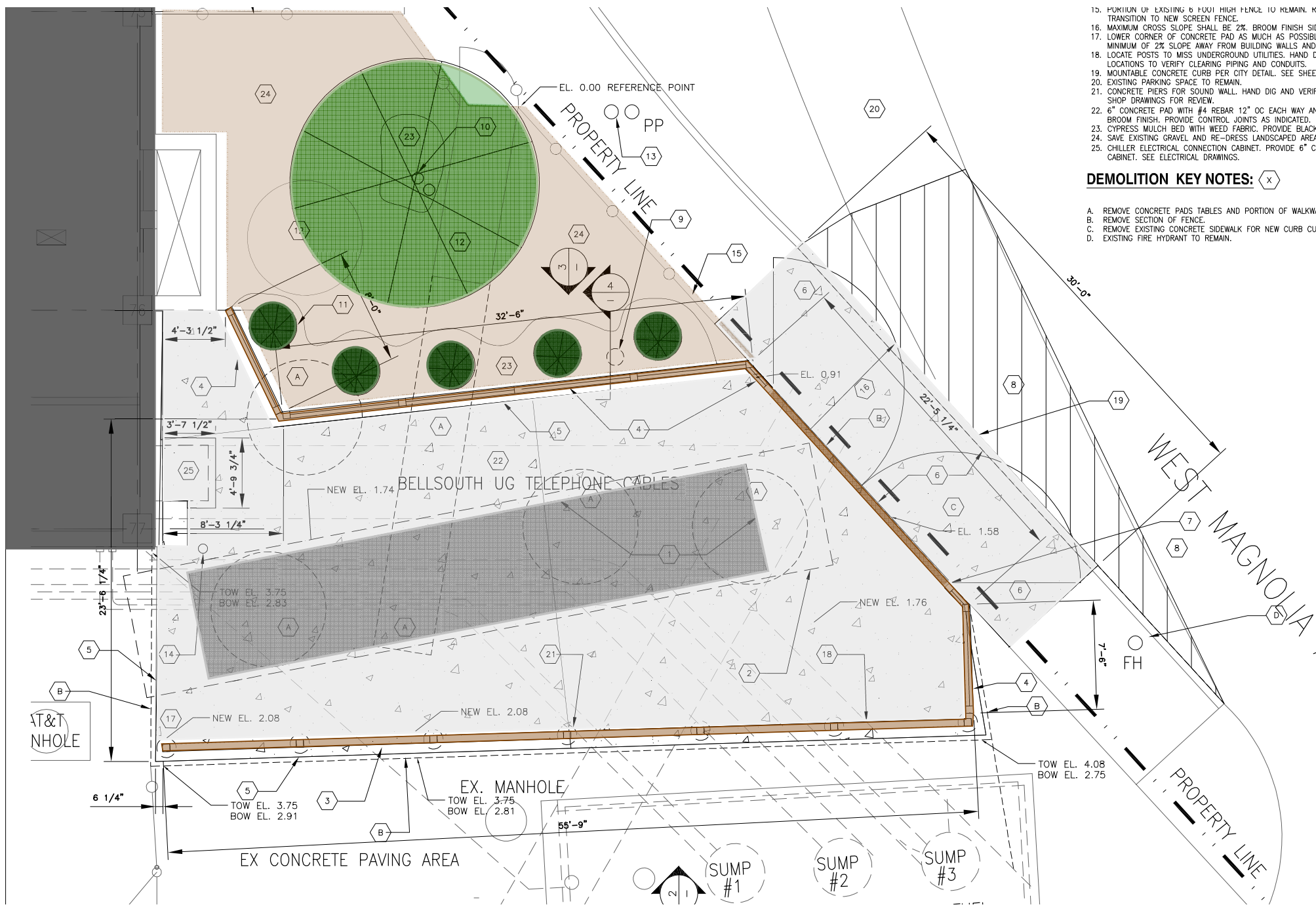
410 MAGNOLIA AVE
KNOXVILLE TN US 37912
KNN/TNMA 129683.01 81250
SHEET NO.

ARCHITECTURAL PARTIAL BASEMENT PLAN PHASE 1

1000976 SHEET NO. 1000976A4B101

DATE: 10/20/2019

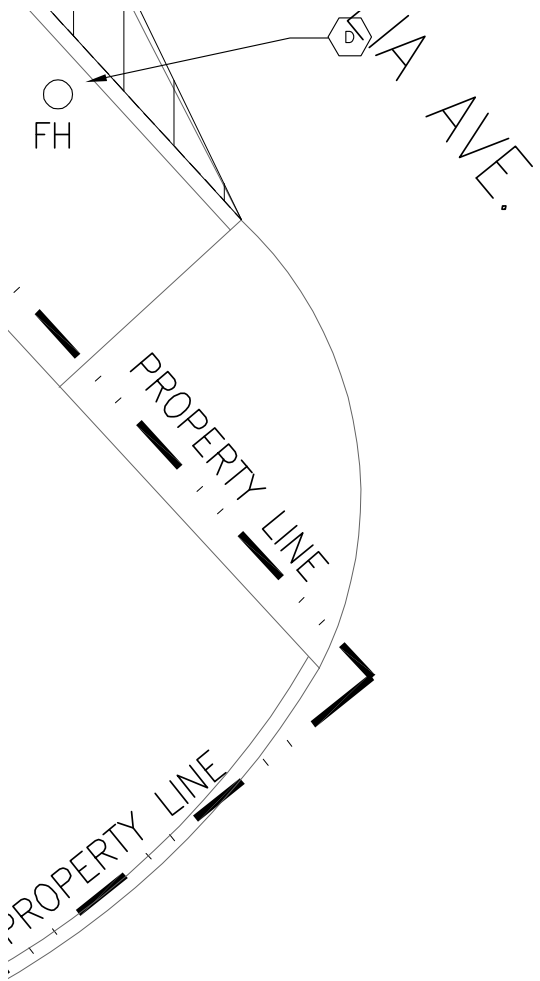
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 11-02-2019 1:55:03 (10/27) 1:12:28 (10/27)



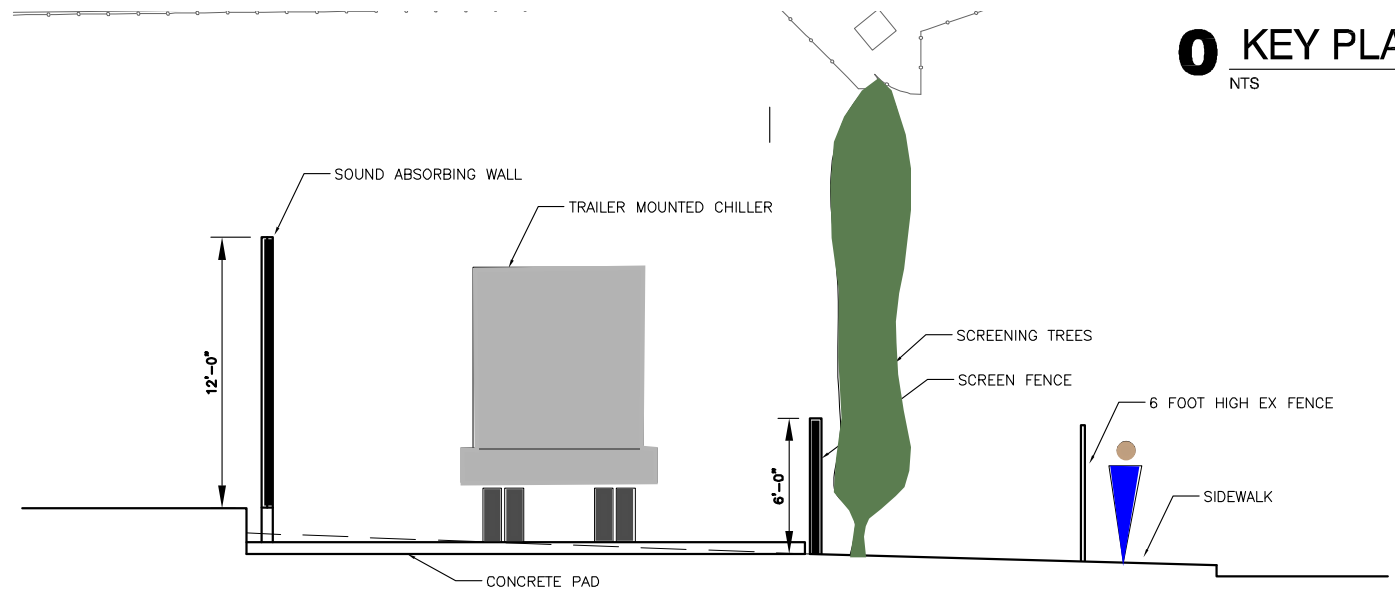
15. PORTION OF EXISTING 6 FOOT HIGH FENCE TO REMAIN. R TRANSITION TO NEW SCREEN FENCE.
16. MAXIMUM CROSS SLOPE SHALL BE 2%. BROOM FINISH SILE
17. LOWER CORNER OF CONCRETE PAD AS MUCH AS POSSIBLE MINIMUM OF 2% SLOPE AWAY FROM BUILDING WALLS AND
18. LOCATE POSTS TO MISS UNDERGROUND UTILITIES. HAND D LOCATIONS TO VERIFY CLEARING PIPING AND CONDUITS.
19. MOUNTABLE CONCRETE CURB PER CITY DETAIL. SEE SHEET
20. EXISTING PARKING SPACE TO REMAIN.
21. CONCRETE PIERS FOR SOUND WALL. HAND DIG AND VERIF SHOP DRAWINGS FOR REVIEW.
22. 6" CONCRETE PAD WITH #4 REBAR 12" OC EACH WAY AN BROOM FINISH. PROVIDE CONTROL JOINTS AS INDICATED.
23. CYPRESS MULCH BED WITH WEED FABRIC. PROVIDE BLACK
24. SAVE EXISTING GRAVEL AND RE-DRESS LANDSCAPED AREA
25. CHILLER ELECTRICAL CONNECTION CABINET. PROVIDE 6" O CABINET. SEE ELECTRICAL DRAWINGS.

DEMOLITION KEY NOTES: (X)

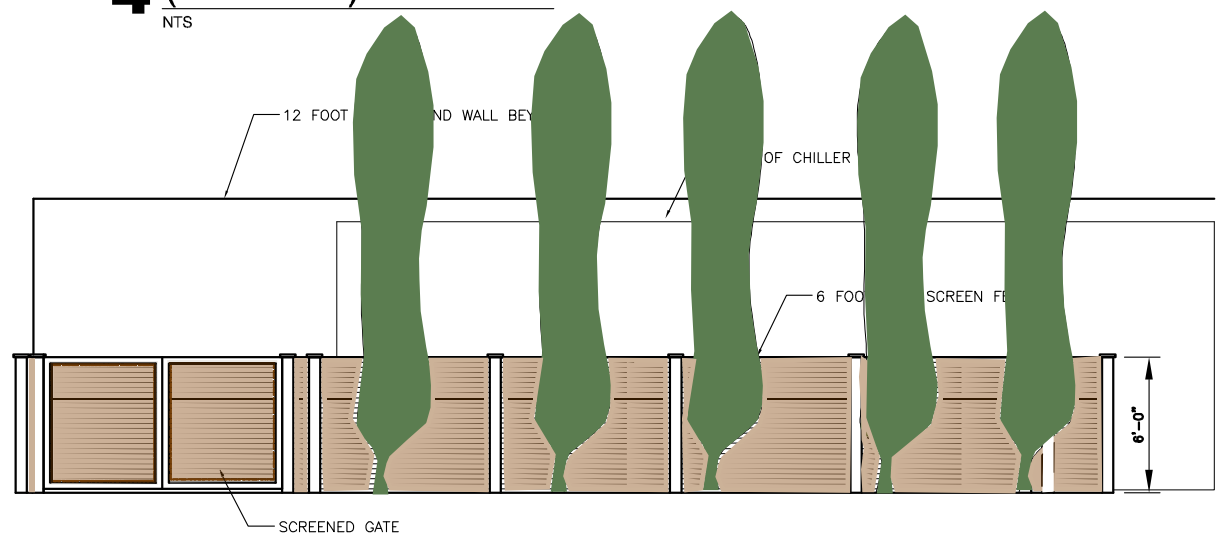
- A. REMOVE CONCRETE PADS TABLES AND PORTION OF WALKW
- B. REMOVE SECTION OF FENCE.
- C. REMOVE EXISTING CONCRETE SIDEWALK FOR NEW CURB CU
- D. EXISTING FIRE HYDRANT TO REMAIN.



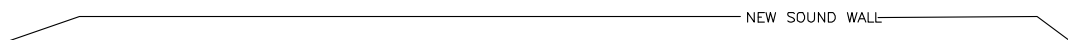
0 KEY PLAN
NTS



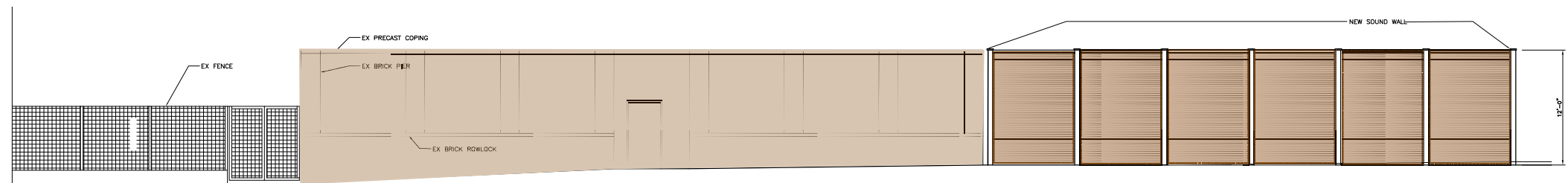
4 (PHASE 1) SECTION
NTS



3 (PHASE 1) SCREEN WALL ELEVATION
NTS



Y)

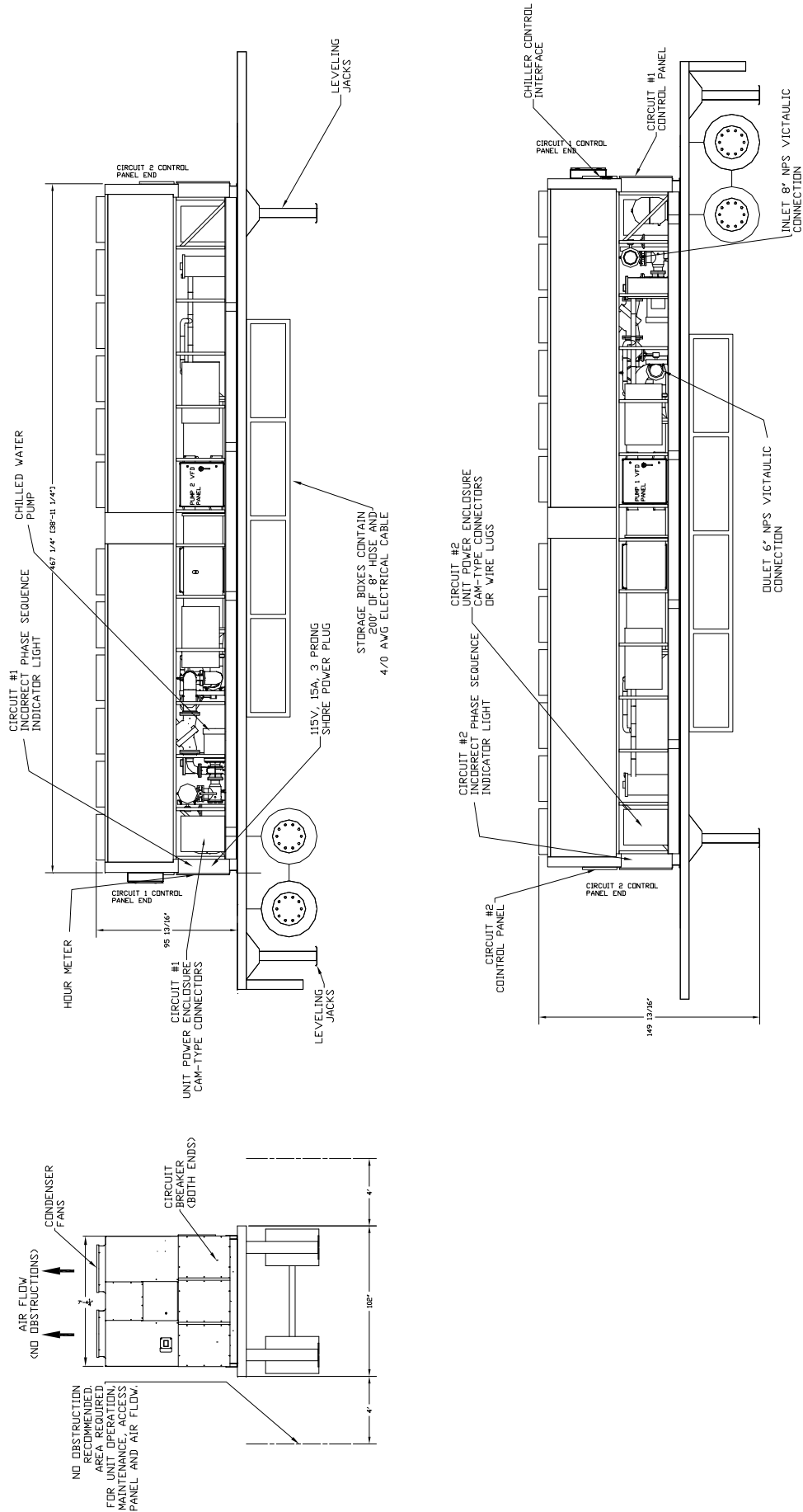


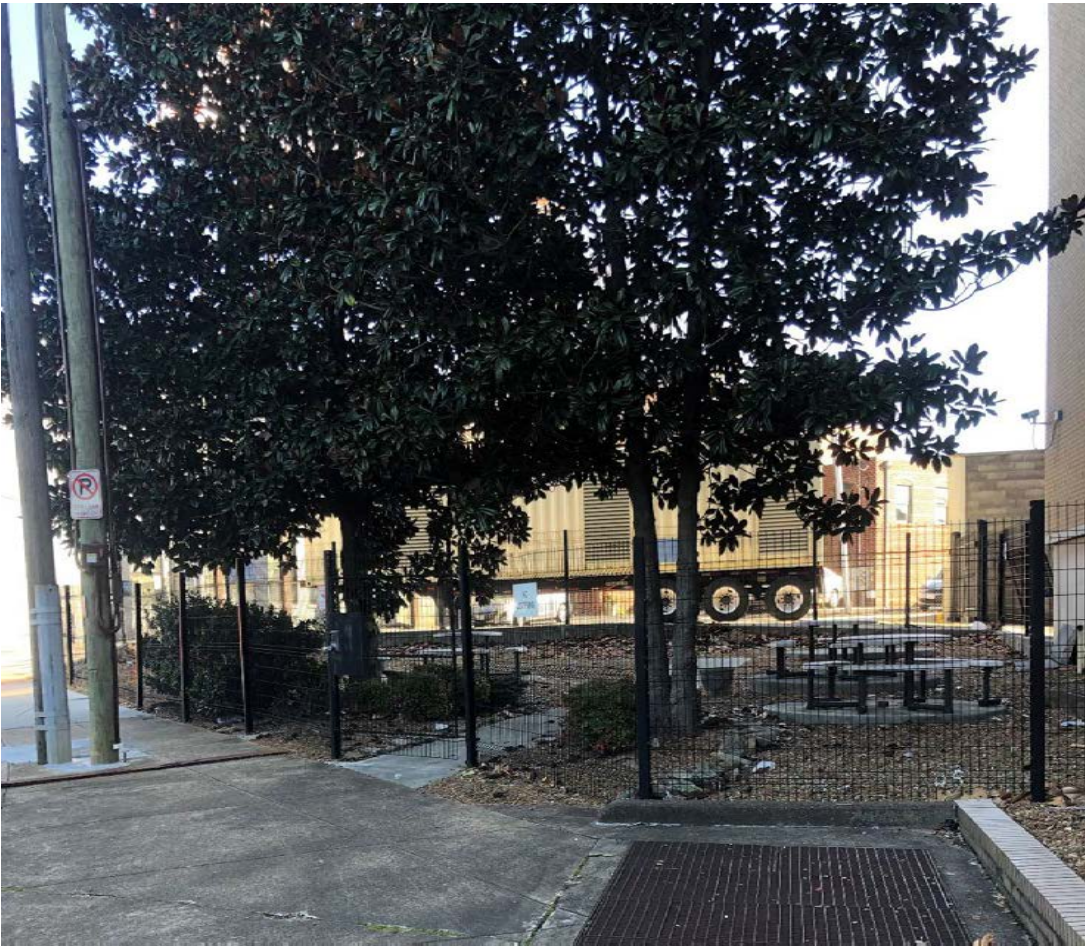
2 (PHASE 1) SOUND WALL ELEVATION
NTS

ALL WORK SHOWN
SIGNED: _____

Unit Dimensions - Air-Cooled Helical Rotary Water Chillers

Item: A1 Qty: 1 Tag(s): 400 WYD





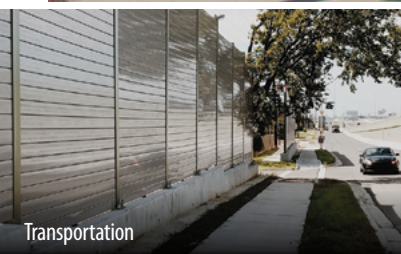
Existing fence



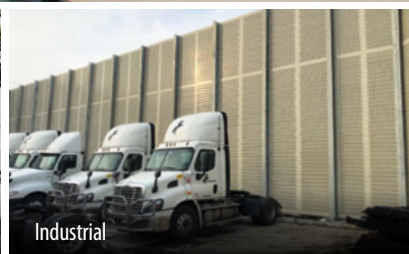
Proposed fence (example)

AIL SOUND WALLS

- ▶ PVC Sound Barrier Wall Systems
- ▶ Lightweight and easy-to-install
- ▶ Lower installed costs
- ▶ Sustainable and maintenance-free



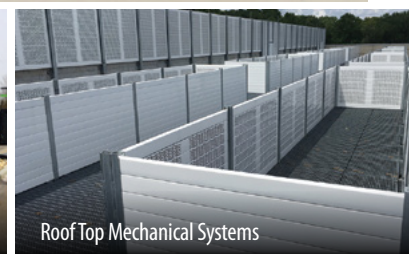
Transportation



Industrial



Commercial



RoofTop Mechanical Systems

ENGINEERED SOUND MITIGATION SOLUTIONS

ailsoundwalls.com

1-866-231-7867

Silent Protector® (Absorptive)

- ▶ PVC absorptive sound barrier wall system with acoustical mineral wool
- ▶ Noise Reduction Coefficient (NRC) rating of 0.95
- ▶ Absorbs unwanted noise
- ▶ Silent Protector Plus® offers STC 39 and NRC 0.90, ask for details

NOISE REDUCTION
COEFFICIENT RATING
NRC 0.95

SOUND TRANSMISSION
CLASS RATINGS UP TO
STC 39
WITH SILENT PROTECTOR PLUS®

All Sound Walls are made from long-lasting, UV-resistant PVC, with the highest percentage of recycled content available.

Tuf-Barrier® (Reflective)

- ▶ PVC reflective sound barrier wall system
- ▶ Blocks and reflects unwanted noise
- ▶ Tongue and groove interlocking connection
- ▶ Textured finishes available

**EASY-OFF
GRAFFITI
AND TAGGING**

Industrial, Commercial and Institutional

RECOMMENDED FOR

- ▶ Commercial Developments ▶ Hospitals ▶ Schools and Universities
- ▶ Loading Docks ▶ Distribution Facilities ▶ Manufacturing Plants

Noise from large commercial or industrial developments and their associated traffic is one of the most contentious environmental problems for surrounding communities.

Residents are demanding better noise abatement solutions from facilities like shopping centers, manufacturing plants, distribution hubs and utility stations.

AIL Sound Walls provide superior performance for all noise sensitive projects.



Lightweight AIL Sound Walls are perfect for roof top applications. Man-doors and gates are easily integrated.

Roof Top, Equipment and Machinery Enclosures

RECOMMENDED FOR

- ▶ HVAC Units ▶ Generators ▶ Chillers ▶ Cooling Towers
- ▶ Oil & Gas ▶ Hydro ▶ Compressors ▶ Petro Chemical
- ▶ Sub Stations ▶ Water/Wastewater

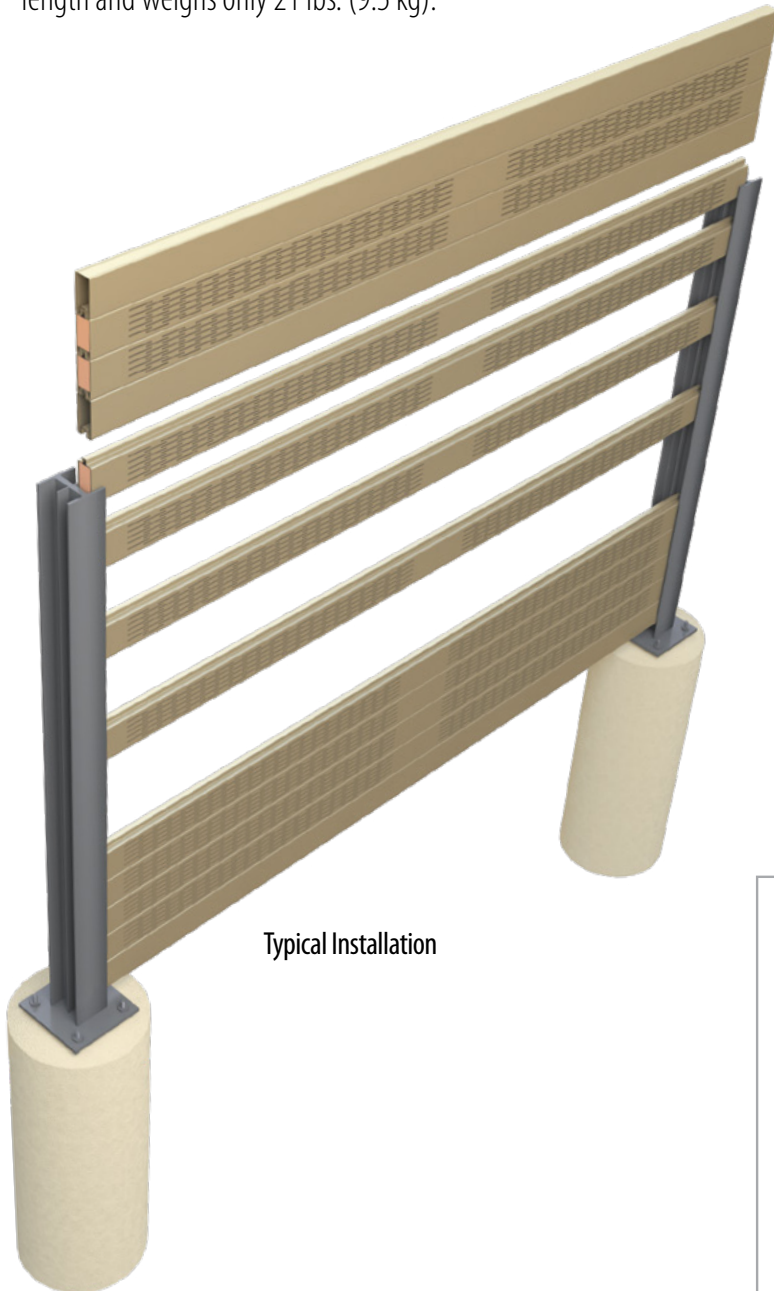
The lighter weight of AIL Sound Walls makes them ideal for roof top applications where sound mitigation is needed. The enclosure support system integrates easily with roof structures of both existing and new buildings to deliver effective sound mitigation.

Excessive noise is one of the most common occupational health hazards in today's heavy industrial or manufacturing environments. AIL Sound Walls are often used to mitigate unwanted noise caused by equipment in these types of applications. Transparent panels, utility ports and man-doors can also be integrated to allow access for routine maintenance or emergency repairs with reduced exposure to noise.

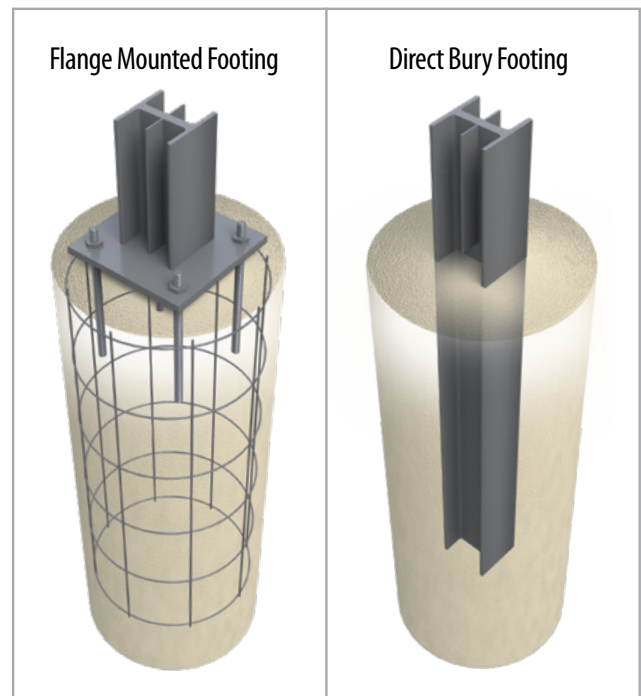
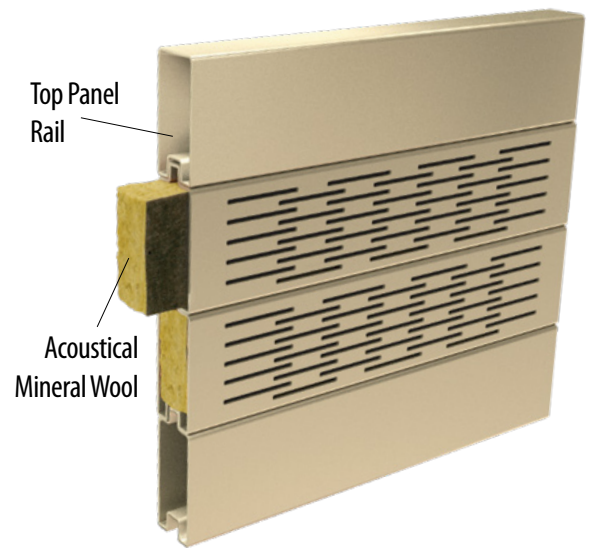


Easy to install with local crews and reduced need for lifting equipment.

All Sound Walls are constructed with tongue and groove PVC panels. Panels are stacked and placed within standard steel posts to the required height and capped with a top panel. A standard panel is 10 ft. (3.0 m) in length and weighs only 21 lbs. (9.5 kg).

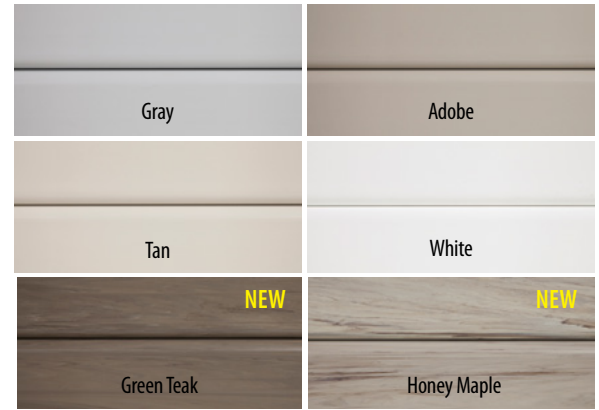


Typical Installation





AIL Sound Walls are available in a variety of attractive colors and textured finishes. Custom colors are also available.



Add an optional embossed woodgrain texture to any flat color.



Color reproduction in this brochure is subject to limitations of the printing process. Please ask for actual PVC color samples.

Product Specifications

Silent Protector® (Absorptive)

Tuf Barrier® (Reflective)

Span ¹	8 ft - 12 ft (2.44 m - 3.66 m)	8 ft - 14 ft (2.44 m - 4.27 m)
Panel Width	2.70 in (68.58 mm)	2.70 in (68.58 mm)
Panel Height	5.96 in ± .10 in (151.38 mm ± 0.25 mm)	5.96 in ± .10 in (151.38 mm ± 0.25 mm)
Weight	4.30 lbs/ft ² (21 kg/m ²) ⁴	Min. 4.10 lbs/ft ² (20 kg/m ²)
Wall Height	Greater than 30' / 9 m	Greater than 30' / 9 m
STC Rating	up to 39 ²	up to 31
NRC Rating	0.95 ³	n/a

For product technical specifications visit ailsoundwalls.com

1. Span is governed by wind loads and varies on code requirements. Contact AIL Sound Walls for recommended panel spans for your project.
2. Standard Silent Protector has an STC rating of 32. Silent Protector Plus can achieve STC of 39.
3. Standard Silent Protector NRC 0.95. Silent Protector Plus NRC is 0.90.
4. Weight of Silent Protector Plus is 7.30 lbs/ft² (36kg/m²)

Sound Transmission Loss ASTM E90 / E413

Octave Band Number	2	3	4	5	6	7	STC
Center Frequency (Hz)	125	250	500	1000	2000	4000	—
Silent Protector®	23	21	28	42	48	49	
Silent Protector® Plus	30	28	34	43	45	49	
Tuf-Barrier®	23	19	30	45	45	54	

Sound Absorption Coefficients ASTM C423/E795

Octave Band Number	2	3	4	5	6	7	NRC
Center Frequency (Hz)	125	250	500	1000	2000	4000	—
Silent Protector®	0.29	0.80	1.13	1.00	0.96	0.72	0.95
Silent Protector® Plus	0.28	0.71	1.06	0.97	0.94	0.78	0.90

STC – Sound Transmission Class

STC is an integer rating used to measure the decibel reduction through a partition. It states the number of decibels lost through that partition in a laboratory environment.

NRC – Noise Reduction Coefficient

NRC is a rating between 0 and 1 to index how absorptive a material is. An NRC of 0 means no sound waves are absorbed whereas a rating of 1 means all of the sound waves are absorbed.

NRC

Qualitative

0.4 or less	Poor
0.5 to 0.6	Mediocre
0.6 to 0.7	Good
0.7 to 0.85	Very Good
> 0.85	Excellent
0.95	AIL Silent Protector®