

Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: Meagan Grohol - R2R studio, llc

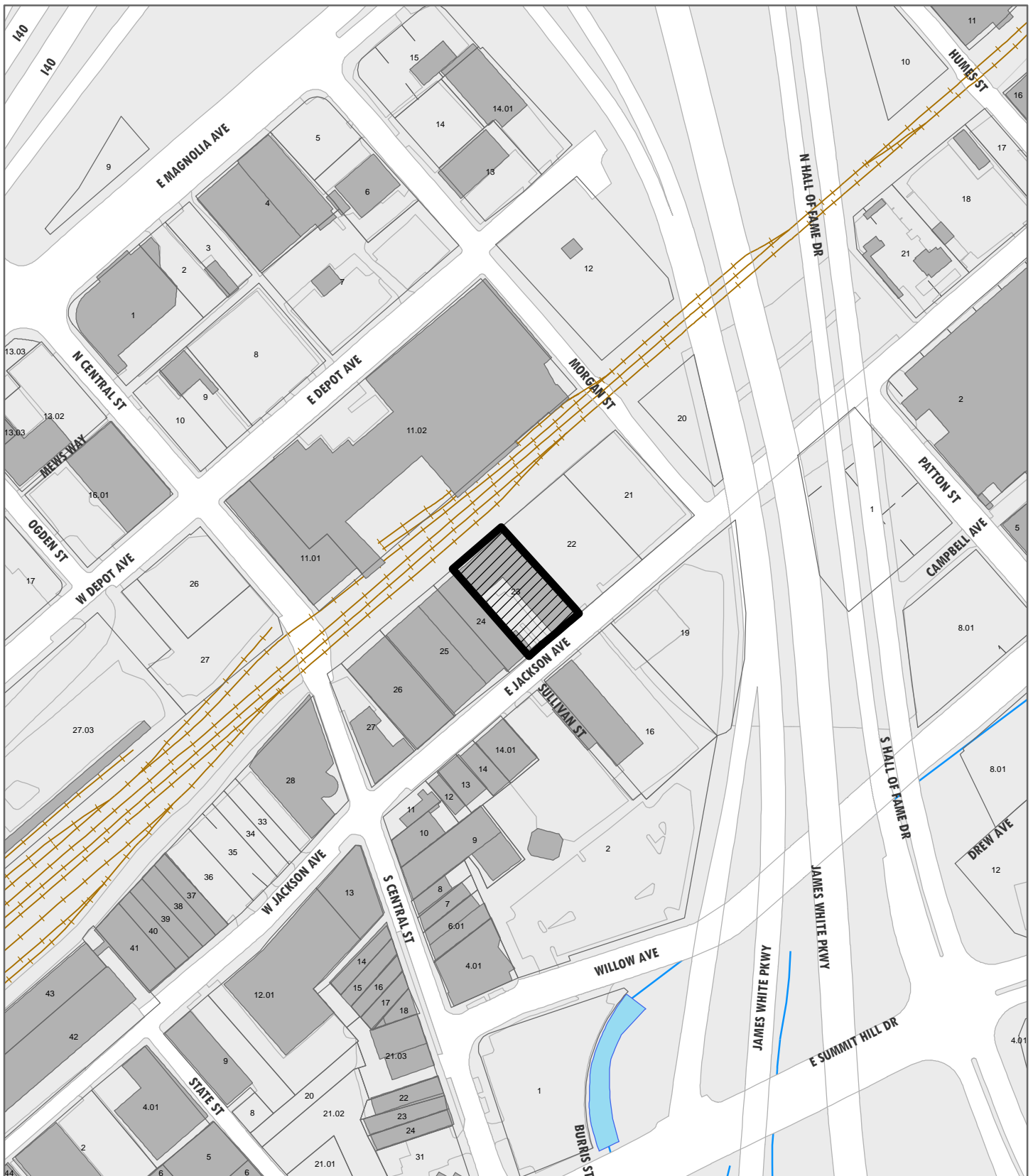
Owner Contractor Architect Engineer Other _____

Date Filed: 8-30-19 Application accepted by: Lindsay Smith

Fee Amount: \$100 Review Date: 9-18-19 File Number: 9-2-17 DT

PRE-APPLICATION CONFERENCE		Date Completed:
<p style="text-align: center;">PROPERTY INFORMATION</p> <p>Building or Project Name: <u>125 E. Jackson</u></p> <hr/> <p>Street Address: <u>125 E. Jackson Avenue</u></p> <p>Parcel Identification Number(s): <u>0954A023</u></p> <hr/> <p style="text-align: center;">PROPERTY OWNER</p> <p>PLEASE PRINT Name: <u>Hatcher Hill NV LLC - Tim Hill</u></p> <p>Company: <u>Hatcher Hill NV LLC</u></p> <p>Address: <u>311 S. Weisgarber Rd.</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37919</u></p> <p>Telephone: <u>865-249-8132</u></p> <p>Fax: _____</p> <p>E-mail: <u>tim@hatcherhill.com</u></p>	<p style="text-align: center;">PROJECT ARCHITECT/ENGINEER</p> <p>PLEASE PRINT Name: <u>Scott Osborn</u></p> <p>Company: <u>R2R studio, llc</u></p> <p>Address: <u>2575 Willow Point Way, Ste 105</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37931</u></p> <p>Telephone: <u>865-769-8075</u></p> <p>Fax: _____</p> <p>E-mail: <u>sosborn@r2rstudio.com</u></p>	
<p style="text-align: center;">ACCOMPANYING MATERIALS</p> <p>Please see the reverse side of this form for a list of information required as part of this application.</p>	<p style="text-align: center;">PROJECT CONTRACTOR</p> <p>PLEASE PRINT Name: <u>TBD</u></p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>	
FOR OFFICE USE ONLY		
<p style="text-align: center;">PROJECT INFORMATION</p> <p>LEVEL 1: \$50</p> <p><input type="checkbox"/> Minor Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Sign</p> <p>LEVEL 2: \$100</p> <p><input checked="" type="checkbox"/> Major Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Addition to an Existing Building/Structure</p> <p>LEVEL 3: \$250</p> <p><input type="checkbox"/> Construction of New Building/Structure</p>	<p style="text-align: center;">PROJECT CONTACT</p> <p>All application-related correspondence should be directed to:</p> <p>PLEASE PRINT Name: <u>Meagan Grohol / Melissa Hatcher</u></p> <p>Company: <u>R2R studio, llc</u></p> <p>Address: <u>2575 Willow Point Way, Ste 105</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37931</u></p> <p>Telephone: <u>865-769-8075</u></p> <p>Fax: _____</p> <p>E-mail: <u>mgrohol@r2rstudio.com / mhatcher@r2rstudio.com</u></p>	

NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.



9-C-19-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

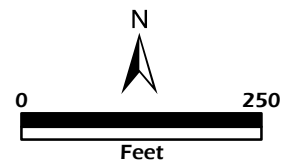
**DOWNTOWN
DESIGN
REVIEW
BOARD**



125 E. Jackson Ave.
Level 2: Major alteration of an existing building/structure

Original Print Date: 9/11/2019
Revised:
Knoxville/Knox County Planning · Downtown Design Review Board

Petitioner: Meagan Grohol / R2R Studio, LLC





R2R studio, llc
2575 Willow Point Way
Suite 105
Knoxville, Tennessee 37931
865.769.8075 v.
865.769.8076 f.
www.r2rstudio.com w.

August 30, 2019

**Downtown Design Review Board
Mr. Mike Reynolds
400 Main Street
Knoxville, TN 37902**

Project: 125 E Jackson

Re: Request for Certificate of Appropriateness

Mike: Please find attached drawings indicating proposed renovations to the property located at 125 E. Jackson Avenue in Knoxville, Tennessee.

Proposed renovations shall affect elevations and the courtyard of the existing structure.

The existing single story wood-clad building in the southwest corner of the courtyard shall be demolished.

South Facing/ West Facing Elevations:

On the primary elevations facing Jackson Avenue (south) and the courtyard (west), the existing stucco shall be patched, repaired and painted a tan/off-white color. As an alternate, dependent upon the evaluated condition of the stucco, it is proposed to remove partial areas of stucco to reveal the original brick face. The existing cornices shall be repaired, painted, and shall receive new metal coping.

All exterior windows shall be replaced. Rectilinear windows shall replace the existing arched windows. New windows will be added to the elevation closest to Jackson Avenue. Windows shall have Miratec trim painted black. New entry doors shall be recessed, centered on the front building in the area of the original doors. A separate entrance door shall be recessed in this same area to provide access to the upper level tenants.

The existing balconies, low walls, gate and railings will be removed and replaced. The balcony will be expanded to reach the upper level of both buildings.

East Facing Elevation:

On the east facing elevation, the existing steel stair and exit door shall be removed. Existing vent pipes shall be removed. There are original arched brick openings which have previously been filled visible on the east elevation. Those openings shall be reopened and new black storefront windows shall be

inserted with mullions to give the appearance of a double hung window. A new recessed entry shall be provided in the location of an existing door to provide egress to future tenants. Grade shall be modified to provide a path of egress from the back of the property to Jackson Avenue. Existing brick and stucco shall be patched, repaired and painted a tan/off-white color.


North Facing Elevation:

The existing steel stair on the north facing elevation shall be removed and replaced (painted black). The existing windows on the back elevation shall be enlarged to increase daylight within the space. New windows shall be black storefront with a muntin grid. Existing CMU block shall remain exposed but shall be painted. New scuppers and downspouts shall be added to replace existing. Existing exhaust fans and mechanical units shall be relocated to the roof.

For the courtyard design, Hedstrom Landscape Architecture has provided drawings illustrating a multi-tiered courtyard with separate patio areas to serve future restaurant tenants on the main level. A low wall will be added along Jackson Avenue, set back approximately 5' from the sidewalk to provide a buffer from the street. This low wall will be brick with wrought iron work across the top. Gates will also be installed at the courtyard entry, but will remain open during operation.

A concrete ramp with low brick/wrought iron walls will be added along the west side of the courtyard to provide an accessible route to the north building. Gas lanterns will be incorporated for lighting within the courtyard. Fountains and landscape features will be arranged along the central axis of the courtyard. A screening element will be incorporated to conceal relocated utility meters. Mechanical equipment will be removed from the courtyard and located on the roof.

Please feel free to contact me if any additional information is required.

Yours truly,


Scott E. Osborn, AIA

Cc: project file_2019-104_Correspondence_125EJackson_D1SubmissionLetter



South Facing Elevation - Jackson Avenue - Existing



South Facing Elevation - Jackson Avenue - Existing



South Facing Elevation - Jackson Avenue - Proposed Renovation

- New Openings for Installation of New Windows w/ Miratec Trim (Painted)
- Existing Stucco to be Patched, Repaired and Painted
- New Gooseneck Lighting
- New Openings for Installation of New Windows w/ Miratec Trim (Painted)
- New Courtyard Entry/Plantings



South Facing Elevation - Jackson Avenue - Proposed Renovation

D1.1



West Facing Elevation - Courtyard - Existing



South Facing Elevation - Courtyard - Existing

- New Canvas Awning (Typ.)
- New Stained Windows/ w/ Mirrored Trim in Existing Opening (Typ.)
- New Exterior Wall Sconce (Typ.)
- New Exterior Balcony w/ Decorative Railing (Painted)



West Facing Elevation - Courtyard - Proposed Renovation



South Facing Elevation - Courtyard - Proposed Renovation

New Courtyard Fountain/Low Walls

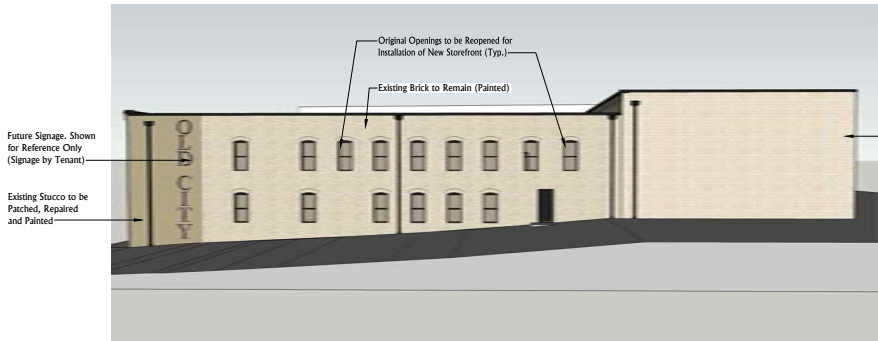
D1.2



East Facing Elevation - Existing



North Facing Elevation - Existing

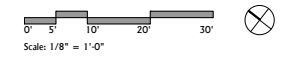
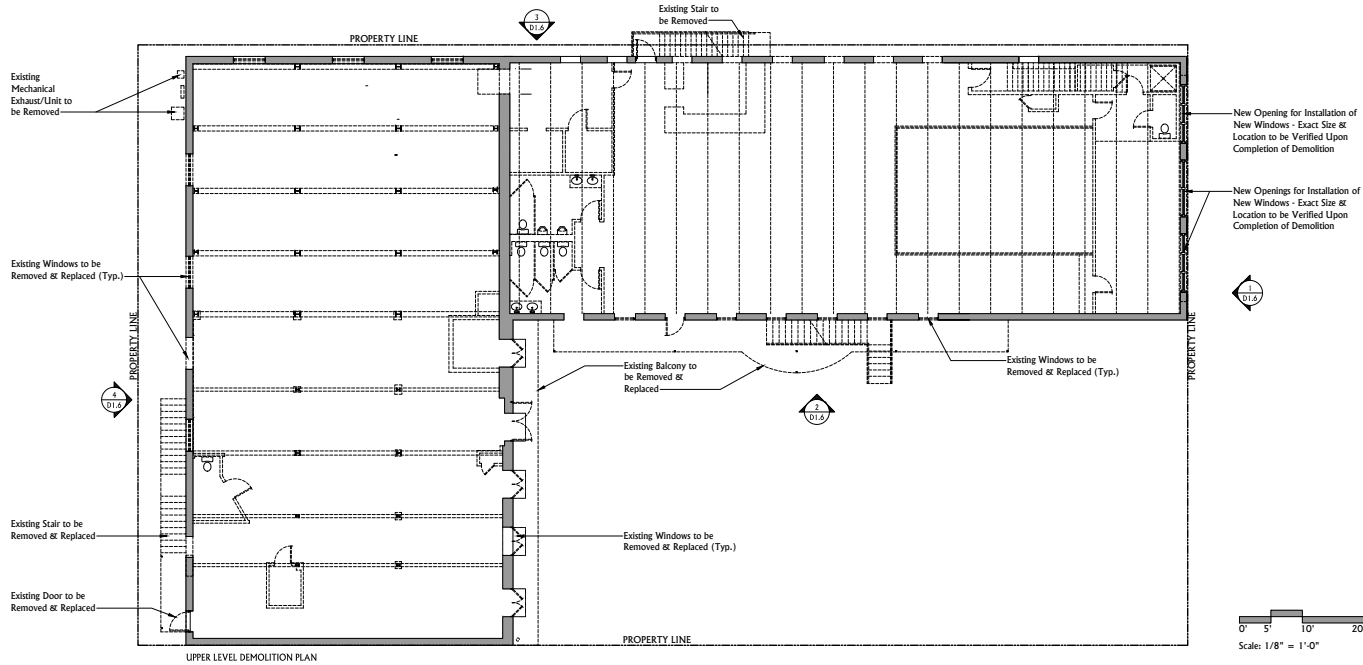
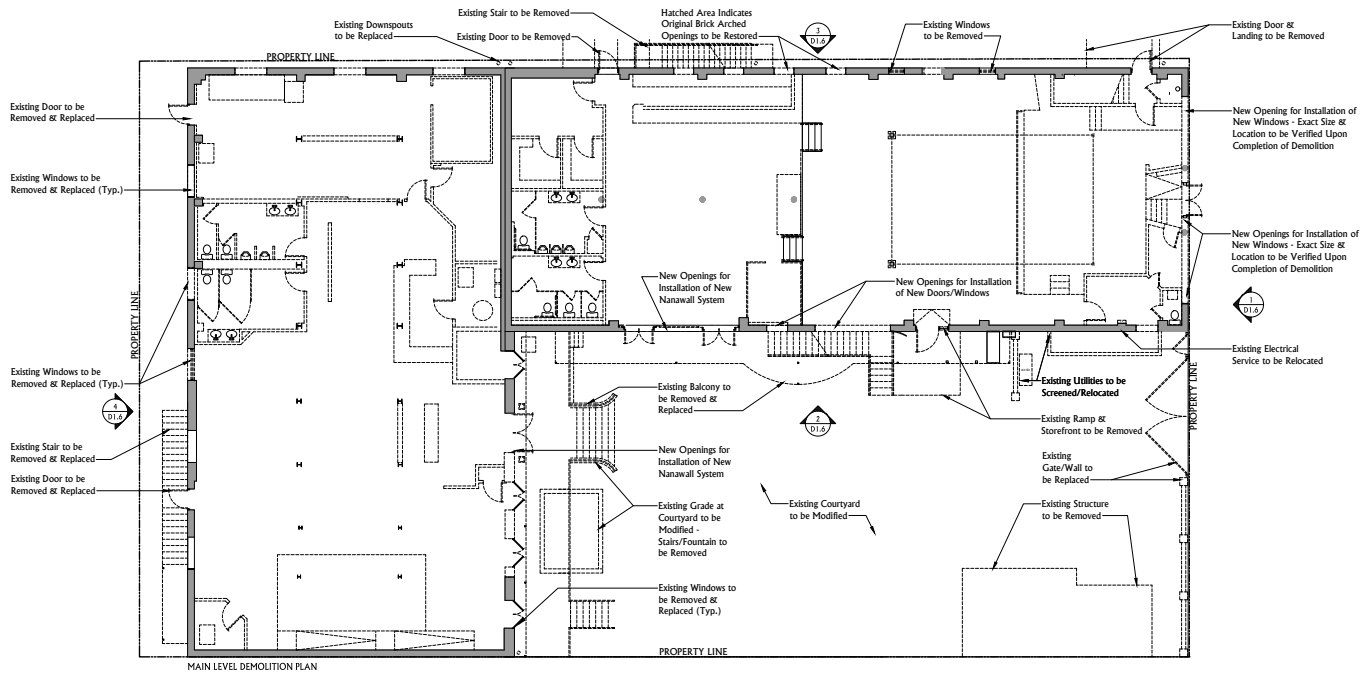


East Facing Elevation - Proposed Renovation



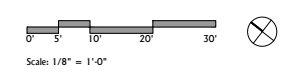
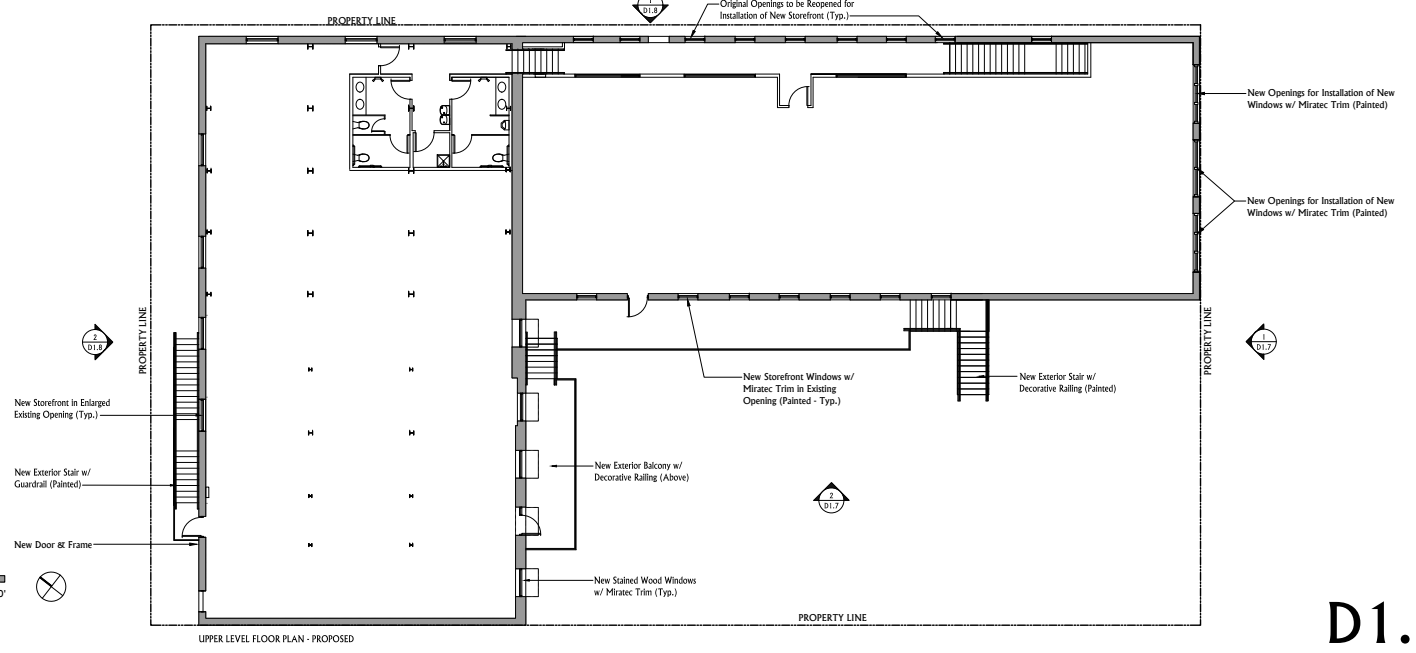
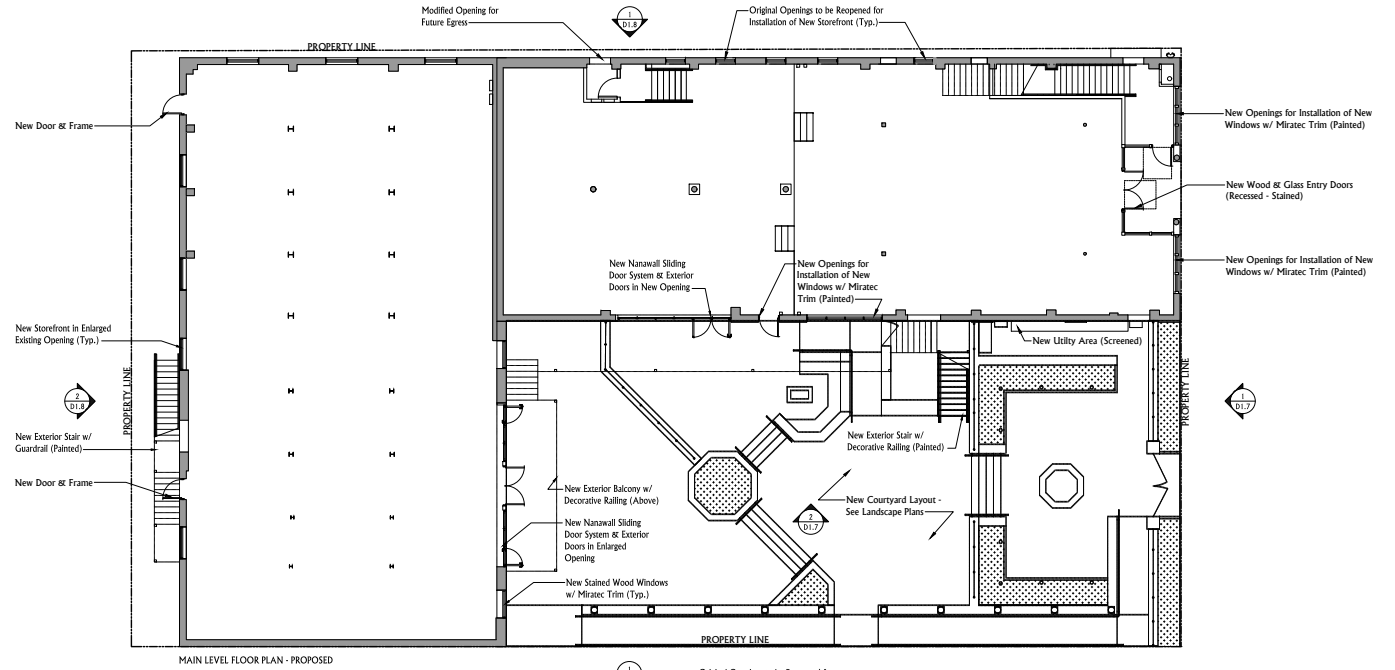
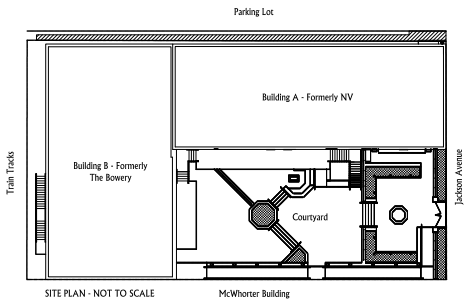
North Facing Elevation - Proposed Renovation

D1.3

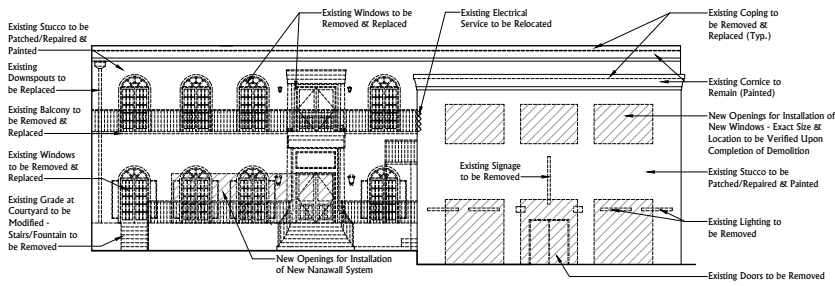


D1.4



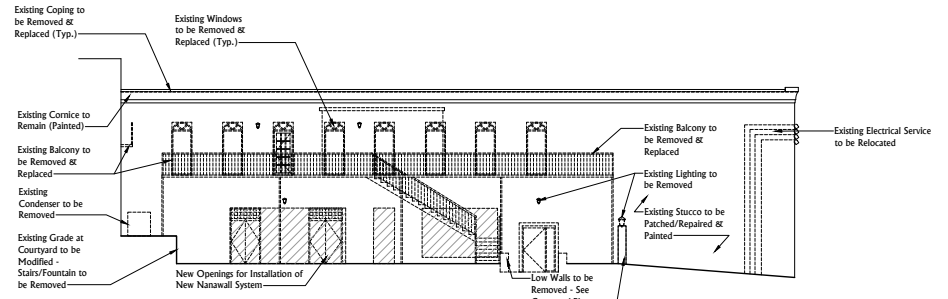


D1.5



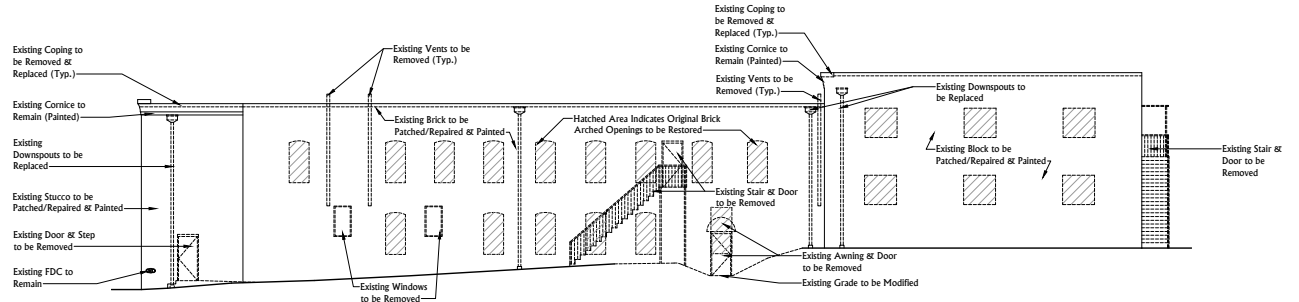
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

Exterior Finish Alternate:
Existing Stucco to be Evaluated for Patch/Repair. Alternate Finish to Expose Some Areas of Brick w/ White Wash. Final Finish to be Determined Upon Evaluation of Condition of Brick/Mortar.

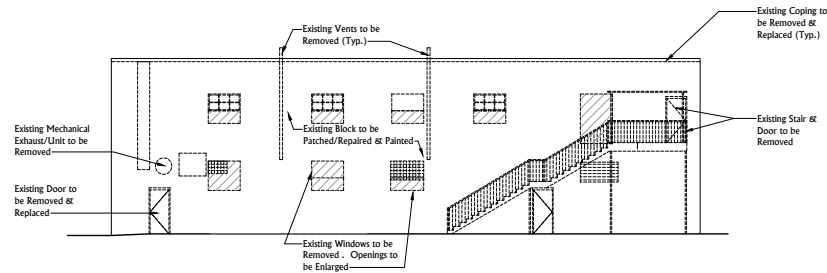


2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

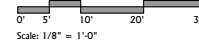
Exterior Finish Alternate:
Existing Stucco to be Evaluated for Patch/Repair. Alternate Finish to Expose Some Areas of Brick w/ White Wash. Final Finish to be Determined Upon Evaluation of Condition of Brick/Mortar.



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

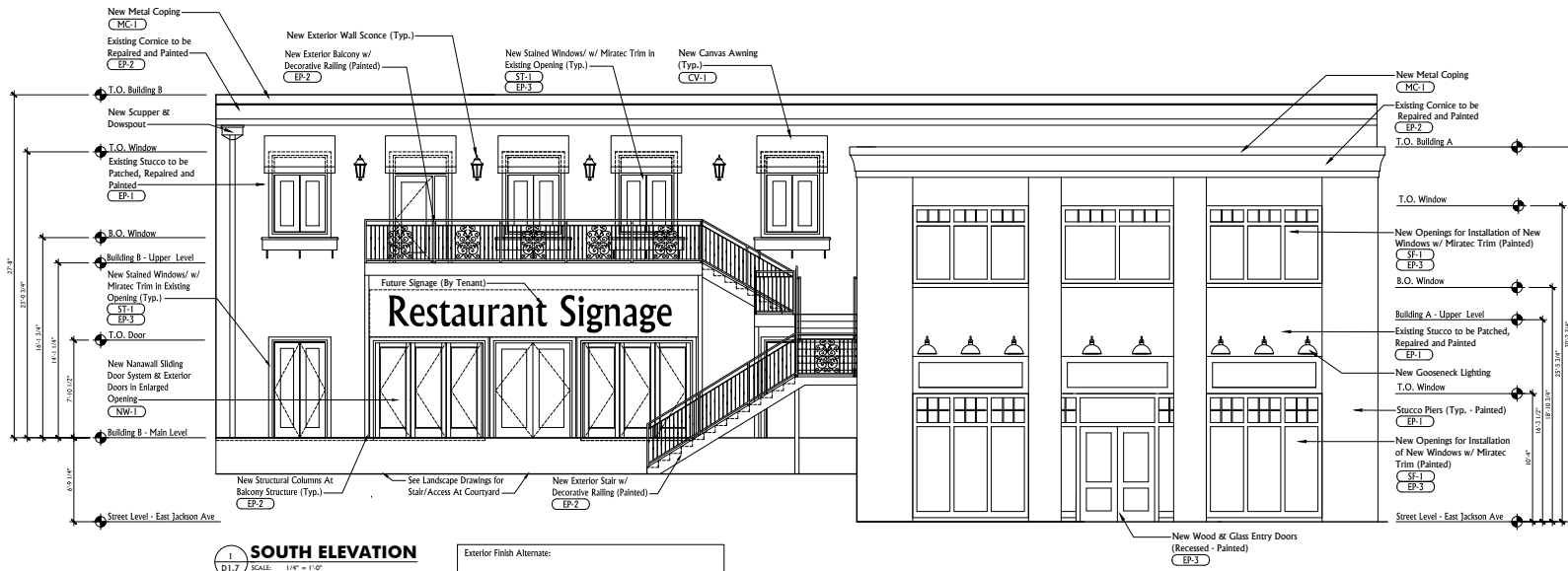


4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



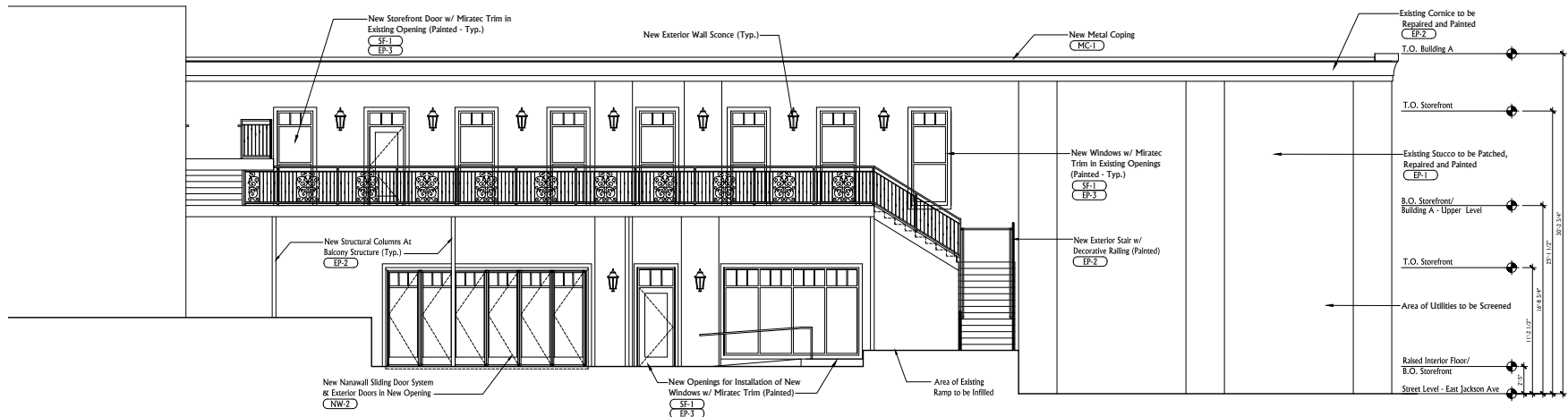
D1.6





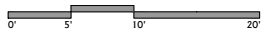
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

Exterior Finish Alternate:
Existing Stucco to be Evaluated for Patch/Repair. Alternate Finish to be Partial Stucco w/ Areas of Existing Stucco Removed to Expose Existing Brick. Final Finish to be Selected by Owner.



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

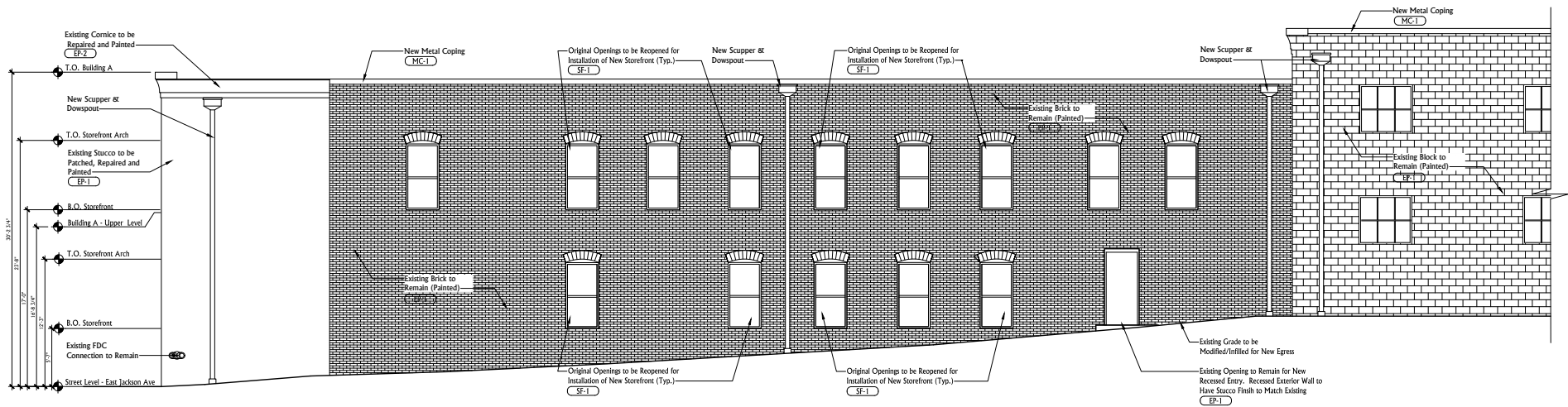
Exterior Finish Alternate:
Existing Stucco to be Evaluated for Patch/Repair. Alternate Finish to Expose Some Areas of Brick w/ White Wash. Final Finish to be Determined Upon Evaluation of Condition of Brick/Mortar.



EXTERIOR FINISH MATERIAL LEGEND

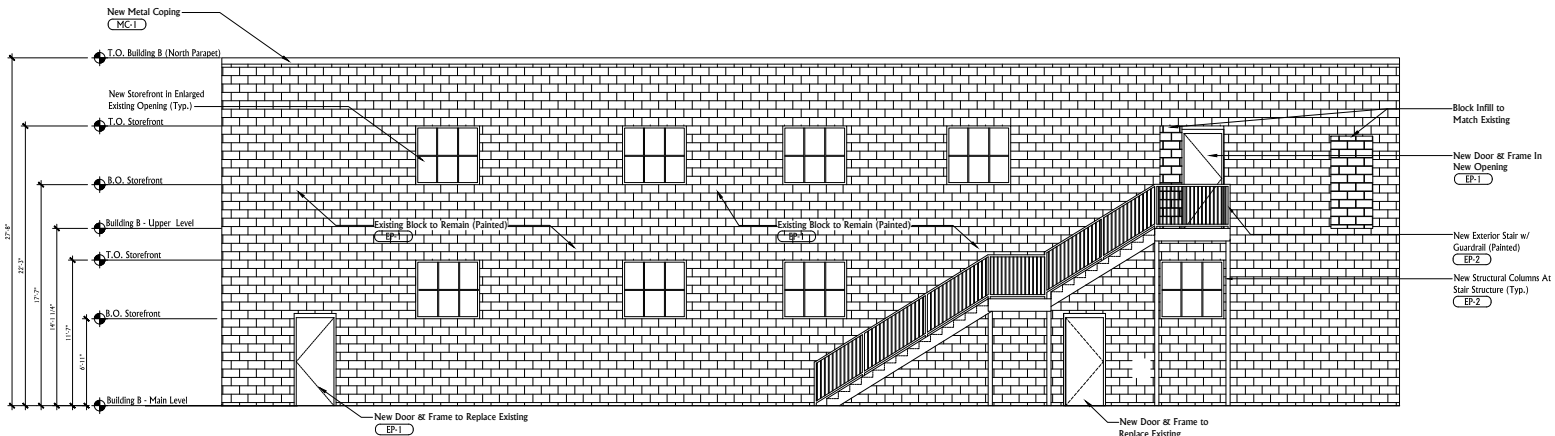
KEY	ITEM	MANUFACTURER or PRODUCT INFORMATION	COLOR	REMARKS
EP-1	EXTERIOR PAINT	SHERWIN WILLIAMS OR EQUAL	SW9109 Natural Linen	Verify Color w/ Architect
EP-2	EXTERIOR PAINT	SHERWIN WILLIAMS OR EQUAL	SW7049 Iron Ore	--
EP-3	EXTERIOR PAINT	SHERWIN WILLIAMS OR EQUAL	TBD	--
EP-4	EXTERIOR PAINT	SHERWIN WILLIAMS OR EQUAL	SW9111 Antler Velvet	--
MC-1	METAL COPING	6" METAL COPING	Black	--
CV-1	CANVAS	EXTERIOR GRADE CANVAS AWNING	Fabric Selection by Owner	--
SF-1	STAINED WOOD	EXTERIOR GRADE WOOD STAIN	Minwax Stain - Verify w/ Architect	--
NW-1	NANAWALL SYSTEM	--	Stained Wood - Color by Architect	--
NW-2	NANAWALL SYSTEM	--	Black	--
SF-1	STOREFRONT	BLACK STOREFRONT - SEE NOTES BELOW	Black	--

D1.7

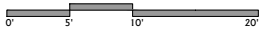


1 PARTIAL EAST ELEVATION
D1.8 SCALE: 1/4" = 1'-0"

Exterior Finish Alternates
Existing Stucco to be evaluated for Patch/Repair. Alternate Finish to Expose Some Areas of Brick w/ White Wash. Final Finish to be Determined Upon Evaluation of Condition of Brick/Mortar.



2 NORTH ELEVATION
D1.8 SCALE: 1/4" = 1'-0"



D1.8

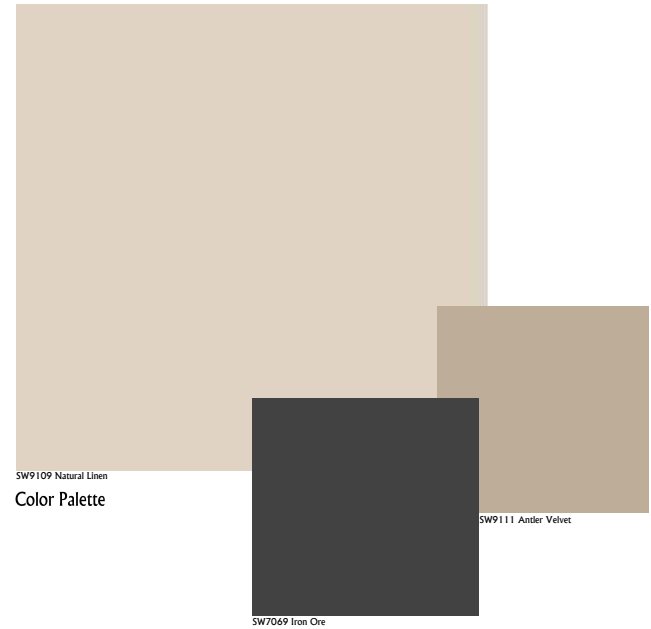


Existing Brick - Exposed Condition



Partial Plaster/Brick -
Reference Photo

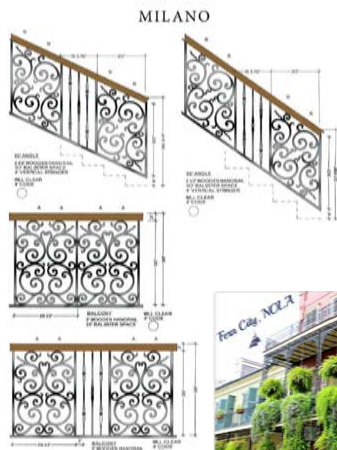
Whitewashed Brick - Reference Photo



SW9109 Natural Linen
Color Palette

SW9111 Antler Velvet

SW7069 Iron Ore



Decorative Railing Detail



Inspiration Image



Lighting Images

D1.9

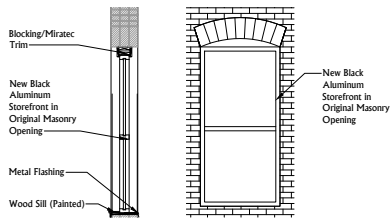


East Facing Elevation - Existing

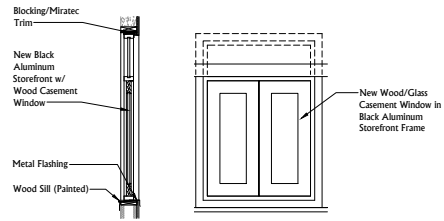


East Facing Elevation - Proposed Renovation - Alternative Pending City of Knoxville Approval/Agreement w/ Adjacent Property Owner

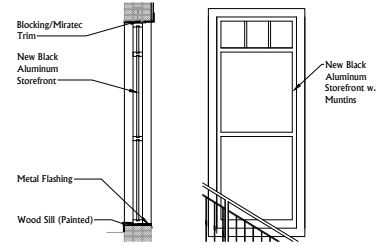
D1.10



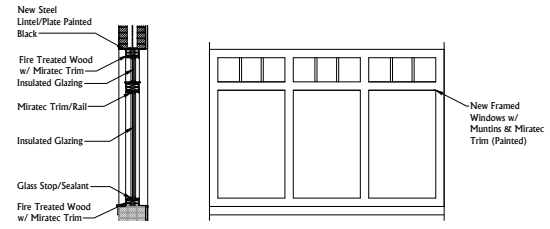
Typical Window - East Elevation



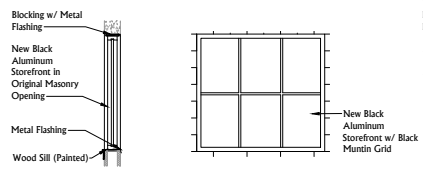
Typical Window - South Elevation



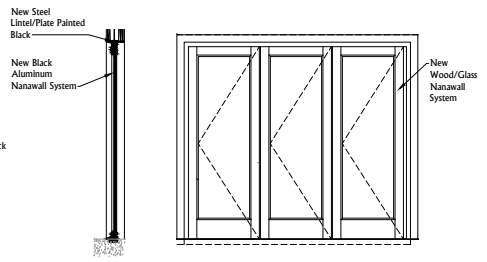
Typical Window - West Elevation



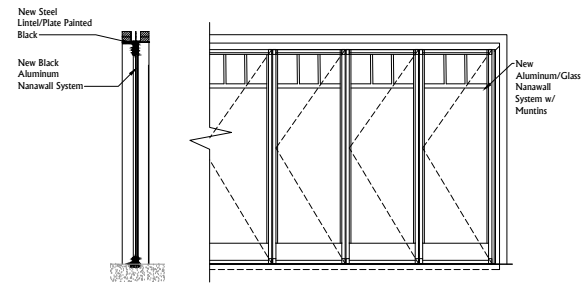
Upper Window - South Elevation



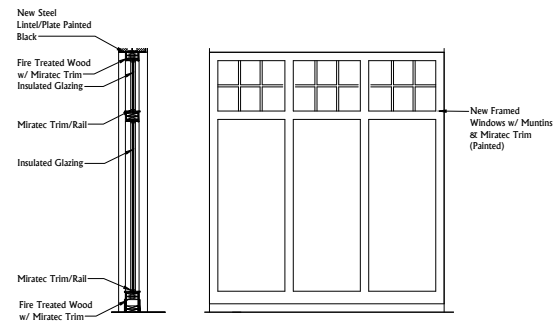
Typical Window - North & East Elevation



Typical Nanawall - South Elevation



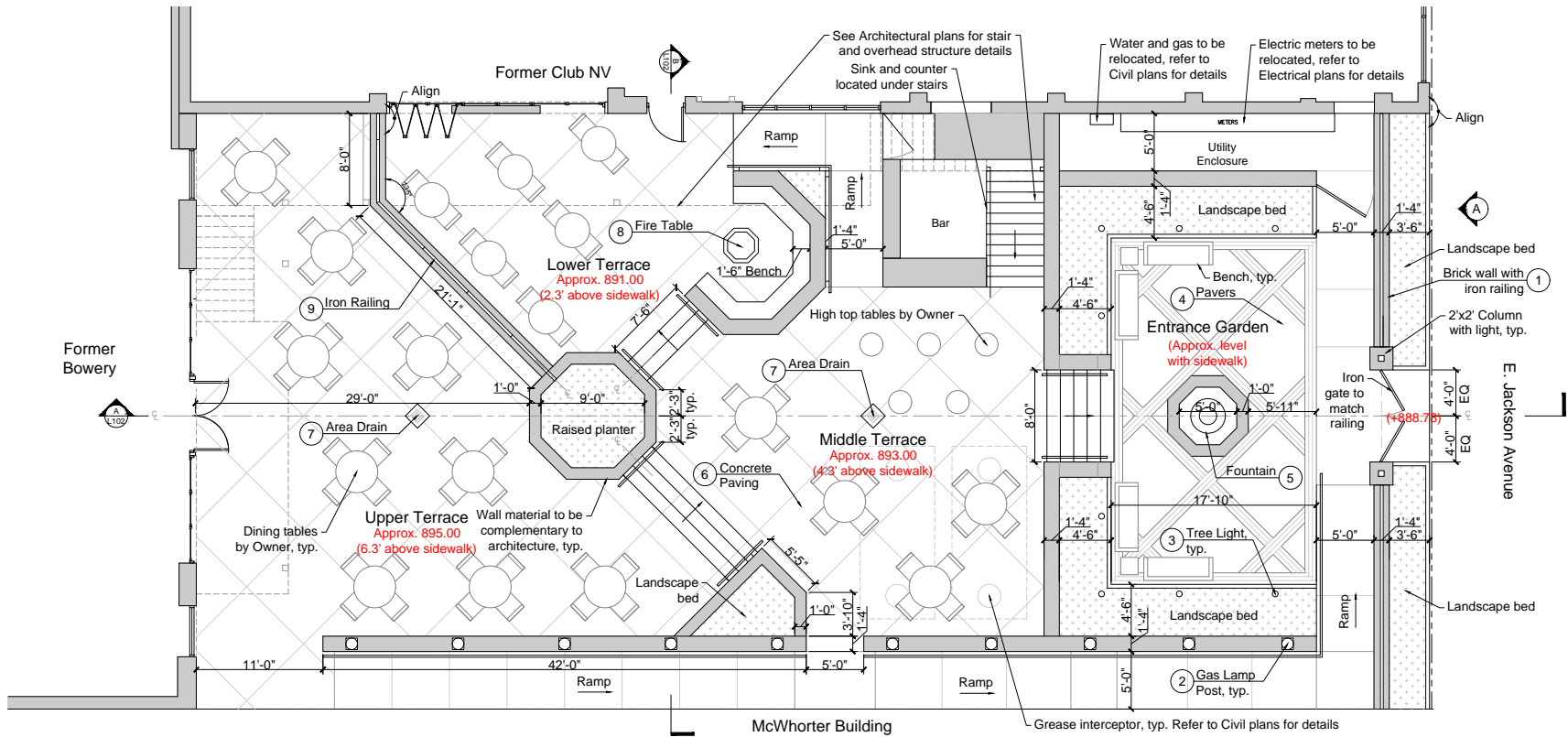
Nanawall - West Elevation



Main Level/Entry - South Elevation



D1.11

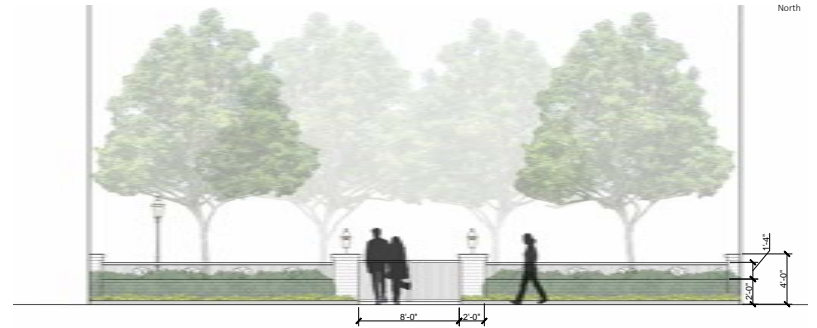


Layout and Materials Plan
Scale: 1/4" = 1'-0"

Material Concepts



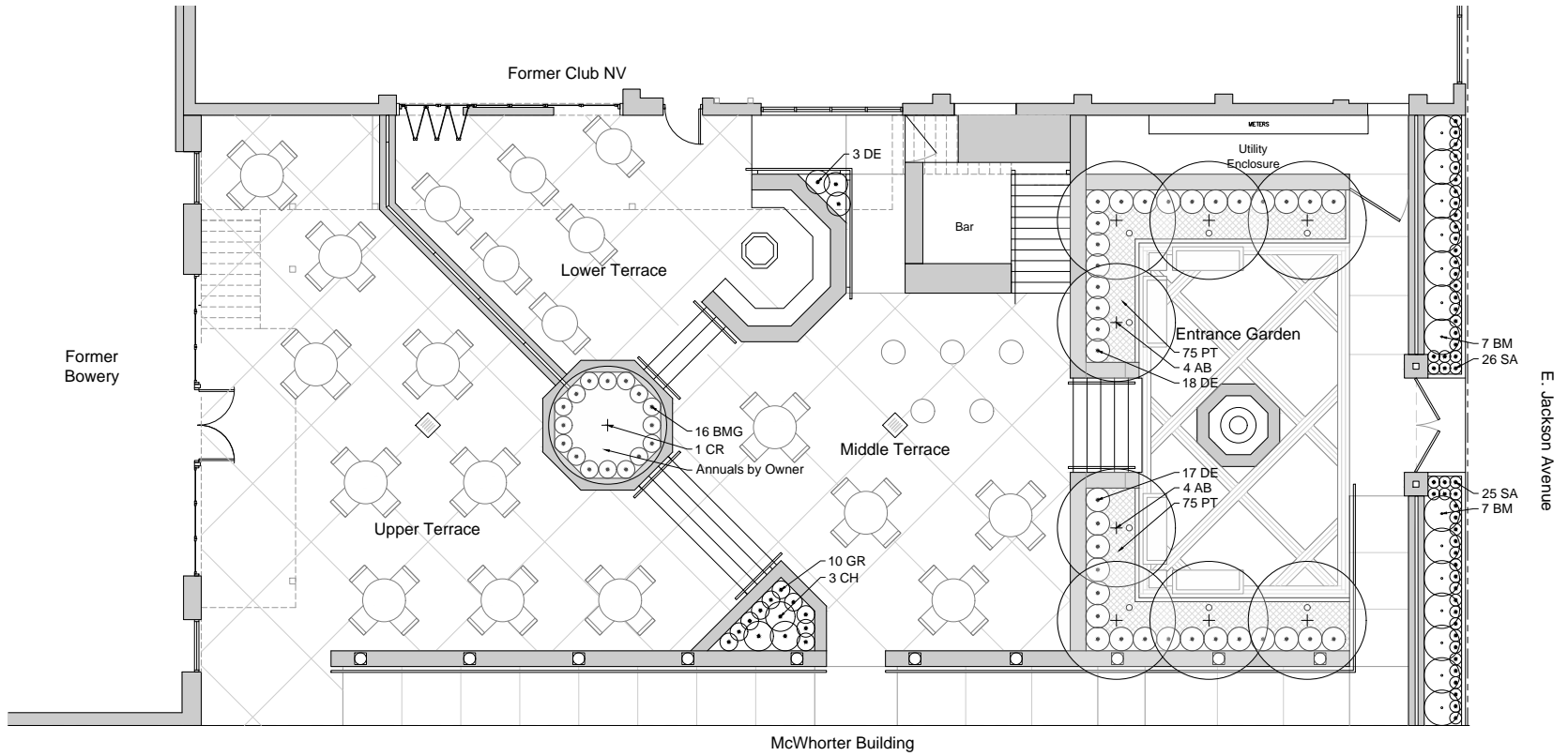
0 4 8 12
North



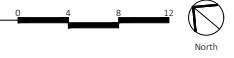
A. Entrance Elevation
Scale: 1/4" = 1'-0"

0 4 8 12

L100



Planting Plan
Scale: 1/4" = 1'-0"



Plant Selection



AB
Acer buergerianum
Trident Maple
Mature size: 20-30'
tall and wide
Quantity: 8



CR
Chionanthus retusus
Chinese Fringe Tree
Mature size: 10-20'
tall and wide
Quantity: 1



BM
Buxus microphylla japonica
'Wintergreen'
Wintergreen Korean
Boxwood
Mature size: 2-4' tall and 3-5'
wide
Quantity: 14



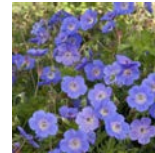
BMG
Buxus microphylla japonica
'Baby Gem'
Baby Gem Boxwood
Mature size: Maintain 2'
height
Quantity: 16



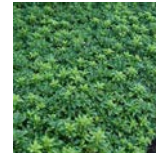
CH
Cephalotaxus harringtonia
'Prostrata'
Spreading Japanese Yew
Mature size: 2-3' tall and
3-4' wide
Quantity: 3



DE
Dryopteris erythrosora
'Brilliance'
Brilliance Autumn Fern
Mature size: 1-2' tall
and wide
Quantity: 38



GR
Geranium 'Rozanne'
Rozanne Cranesbill
Mature size: 12-18" tall
and 12-24" wide
Quantity: 10

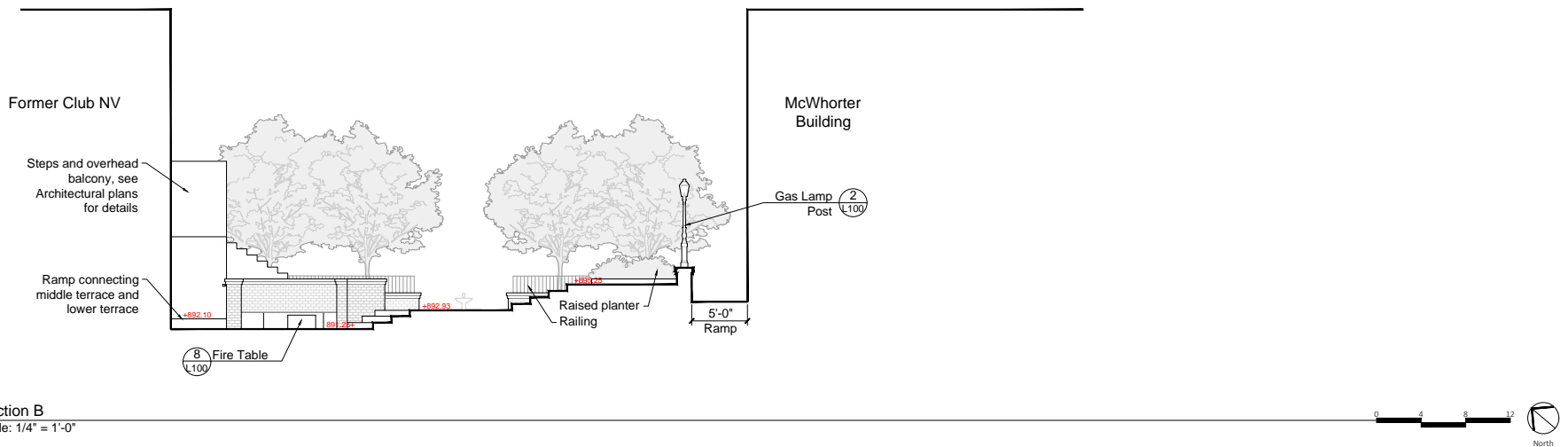
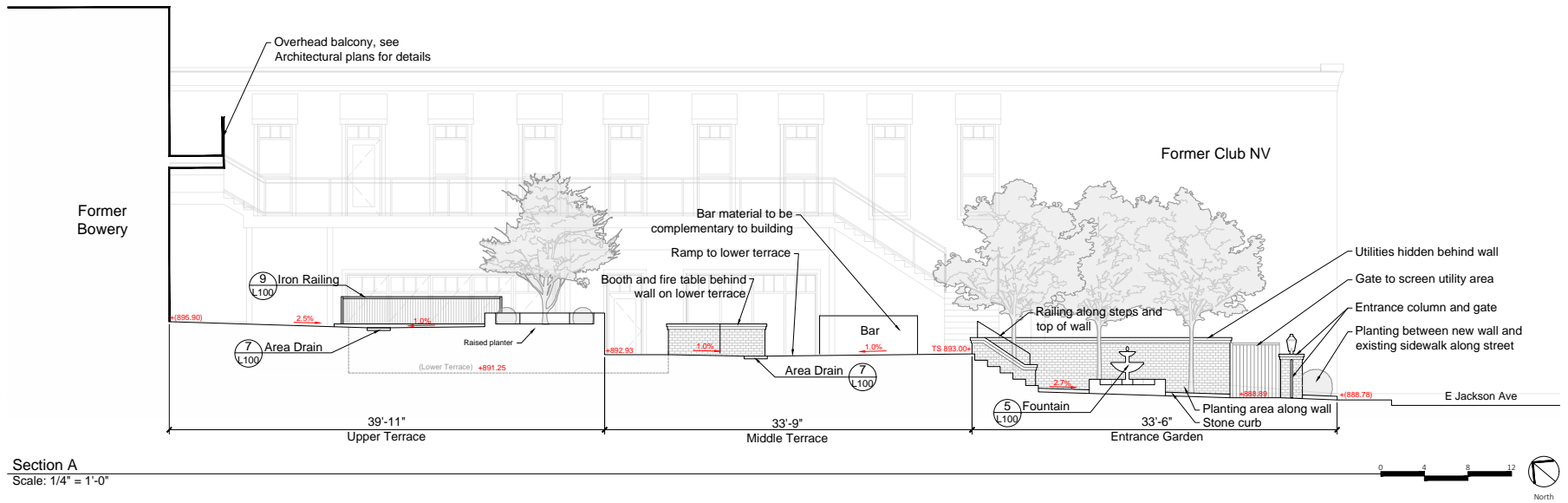


PT
Pachysandra terminalis
Japanese Spurge
Mature size: 6-12" tall
and 12-18" wide
Quantity: 150



SA
Sedum 'Angelina'
Angelina Stonecrop
Mature size: 4-6" tall and
12-24" wide
Quantity: 51

L101



L102