

Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: JEFFREY D. JOHNSON

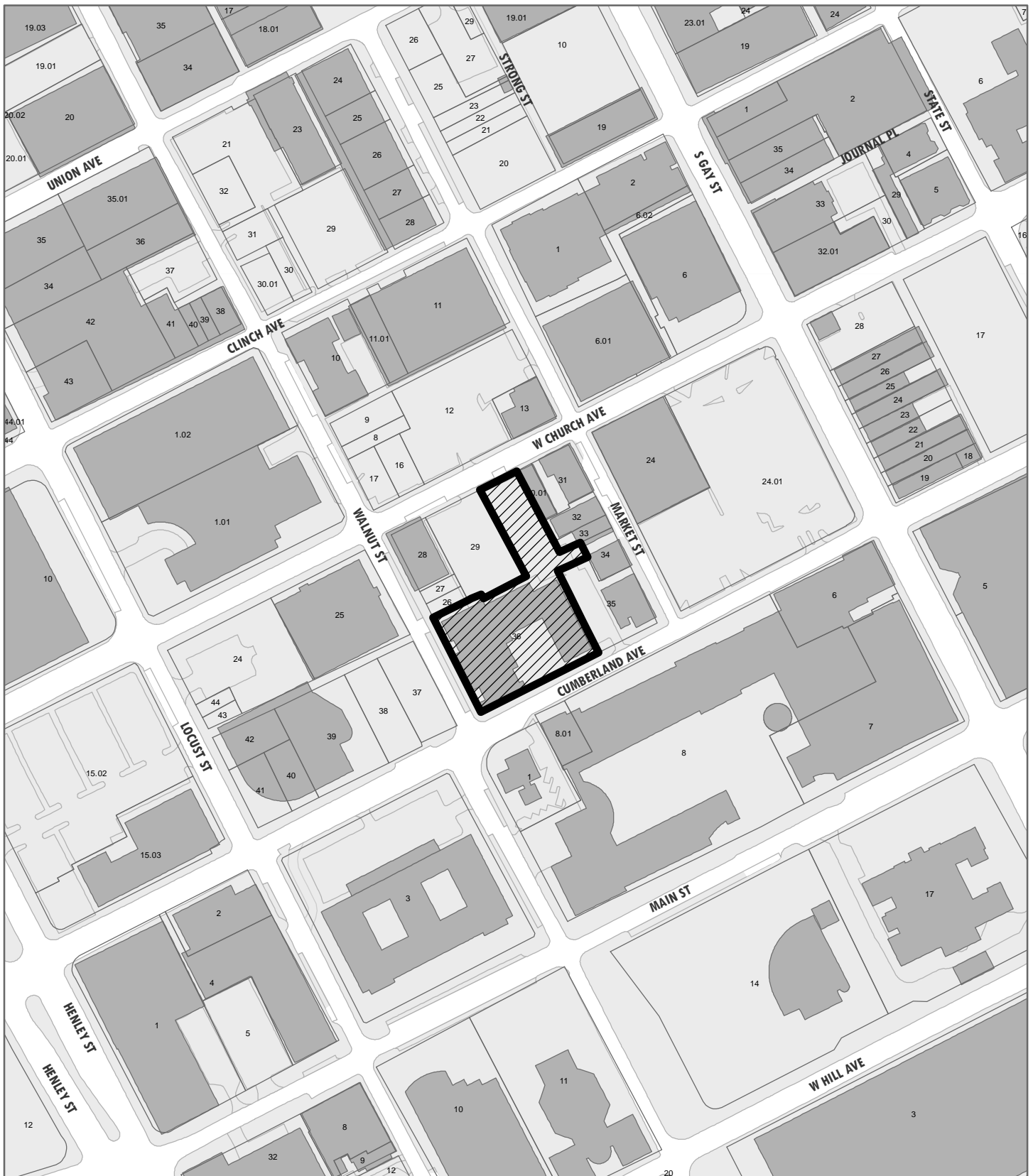
Owner Contractor Architect Engineer Other

Date Filed: 8.7.19 Application accepted by: Mike Reynolds

Fee Amount: \$50.00 Review Date: 9/18/2019 File Number: 9-A-19-DT

PRE-APPLICATION CONFERENCE		Date Completed:
<p style="text-align: center;">PROPERTY INFORMATION</p> <p>Building or Project Name: <u>ST. JOHN'S EPISCOPAL CATHEDRAL</u></p> <p>Street Address: <u>413 CUMBERLAND AVE.</u></p> <p>Parcel Identification Number(s): <u>094LG036</u></p>	<p style="text-align: center;">PROJECT ARCHITECT/ENGINEER</p> <p>PLEASE PRINT Name: <u>JEFFREY D. JOHNSON</u> Company: <u>MHM ARCHITECTS</u> Address: <u>550 W. MAIN ST., STE 300</u> City: <u>KNOXVILLE</u> State: <u>TN</u> Zip: <u>37902</u> Telephone: <u>865.544.2000</u> Fax: _____ E-mail: <u>JJOHNSON@MHMINC.COM</u></p>	
<p style="text-align: center;">PROPERTY OWNER</p> <p>PLEASE PRINT Name: <u>ST. JOHN'S EPISCOPAL CATHEDRAL</u> Company: _____ Address: <u>413 CUMBERLAND AVE.</u> City: <u>KNOXVILLE</u> State: <u>TN</u> Zip: <u>37902</u> Telephone: <u>865.525.7347</u> Fax: _____ E-mail: <u>JROSS@STJOHNSCATHEDRAL.ORG</u></p>	<p style="text-align: center;">PROJECT CONTRACTOR</p> <p>PLEASE PRINT Name: <u>DAVID SMITH</u> Company: <u>JOHNSON & GALYON</u> Address: <u>1130 ATLANTIC AVE.</u> City: <u>KNOXVILLE</u> State: <u>TN</u> Zip: <u>37917</u> Telephone: <u>865.688.1111</u> Fax: _____ E-mail: <u>DSMITH@JOHNSONGALYON.COM</u></p>	
<p style="text-align: center;">ACCOMPANYING MATERIALS</p> <p>Please see the reverse side of this form for a list of information required as part of this application.</p>		
FOR OFFICE USE ONLY		
<p style="text-align: center;">PROJECT INFORMATION</p> <p>LEVEL 1: \$50 <input checked="" type="checkbox"/> Minor Alteration of an Existing Building/Structure <input type="checkbox"/> Sign</p> <p>LEVEL 2: \$100 <input type="checkbox"/> Major Alteration of an Existing Building/Structure <input type="checkbox"/> Addition to an Existing Building/Structure</p> <p>LEVEL 3: \$250 <input type="checkbox"/> Construction of New Building/Structure</p>	<p style="text-align: center;">PROJECT CONTACT</p> <p>All application-related correspondence should be directed to:</p> <p>PLEASE PRINT Name: <u>JEFFREY JOHNSON</u> Company: <u>AS ABOVE</u> Address: _____ City: _____ State: _____ Zip: _____ Telephone: _____ Fax: _____ E-mail: _____</p>	

NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.



9-A-19-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

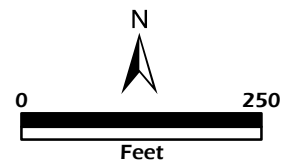
Petitioner: Jeffrey Johnson / McCarty
Holsaple McCarty Architects

**DOWNTOWN
DESIGN
REVIEW
BOARD**



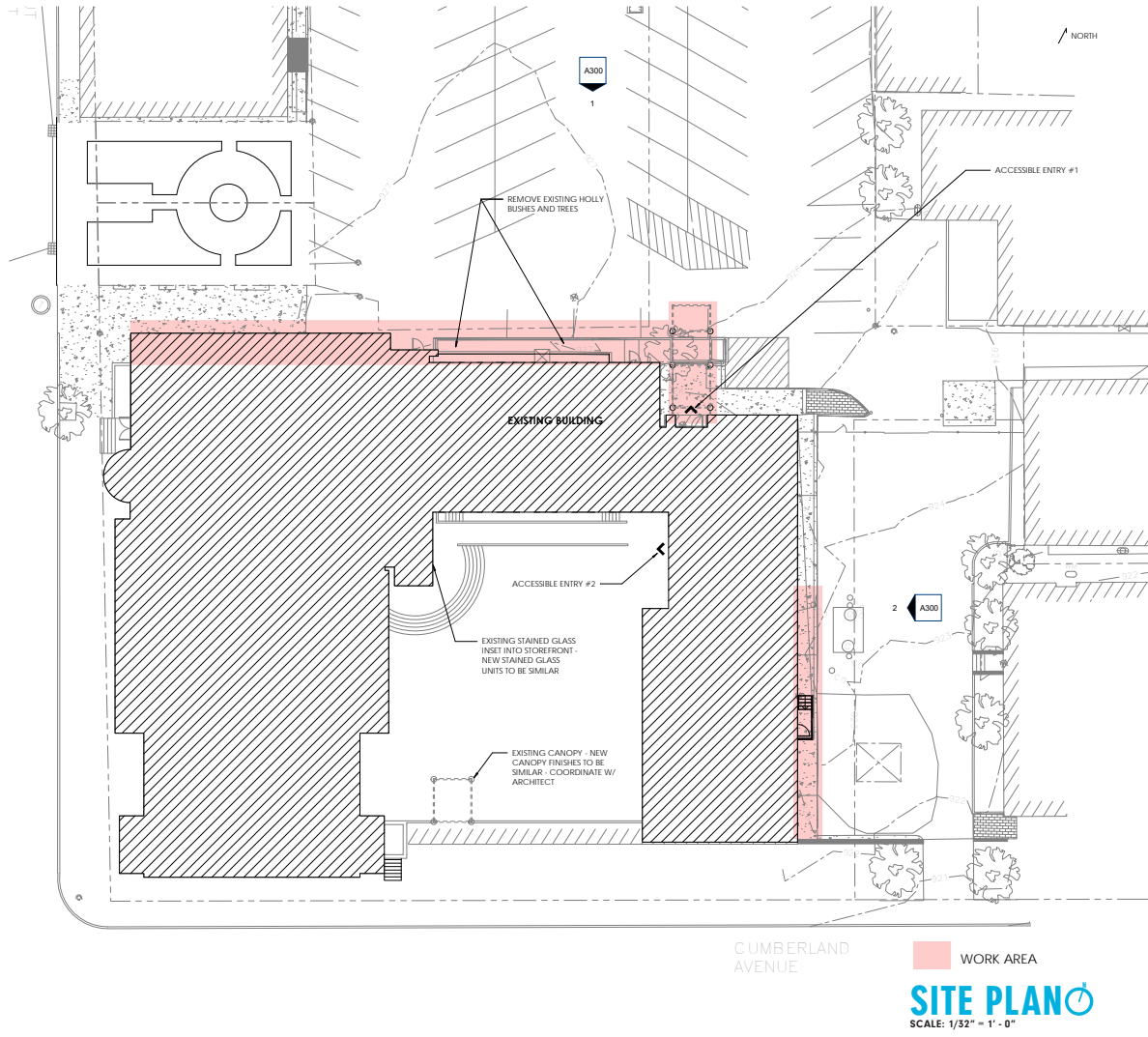
413 Cumberland Ave.
Level 1: Minor alteration of an existing
building/structure

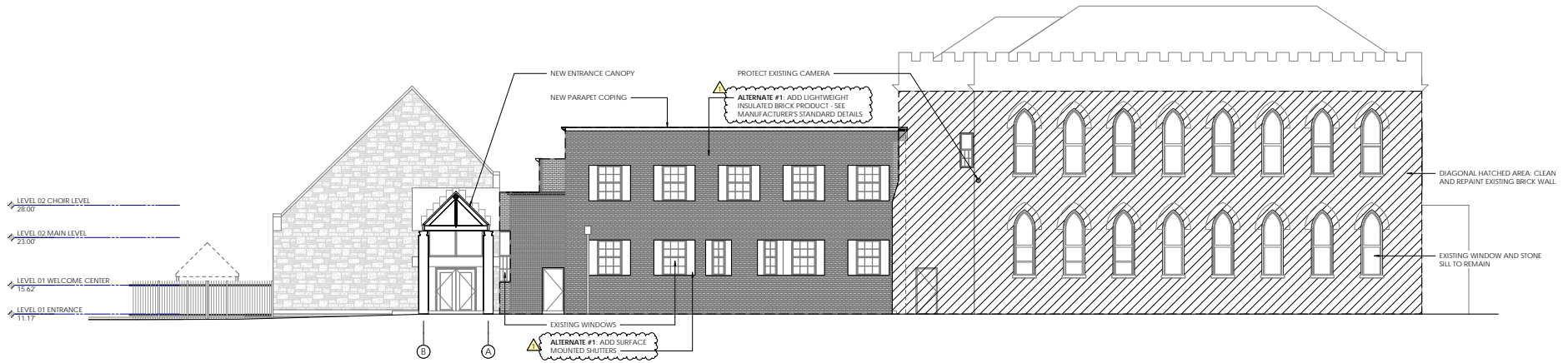
Original Print Date: 9/11/2019
Revised:
Knoxville/Knox County Planning · Downtown Design Review Board



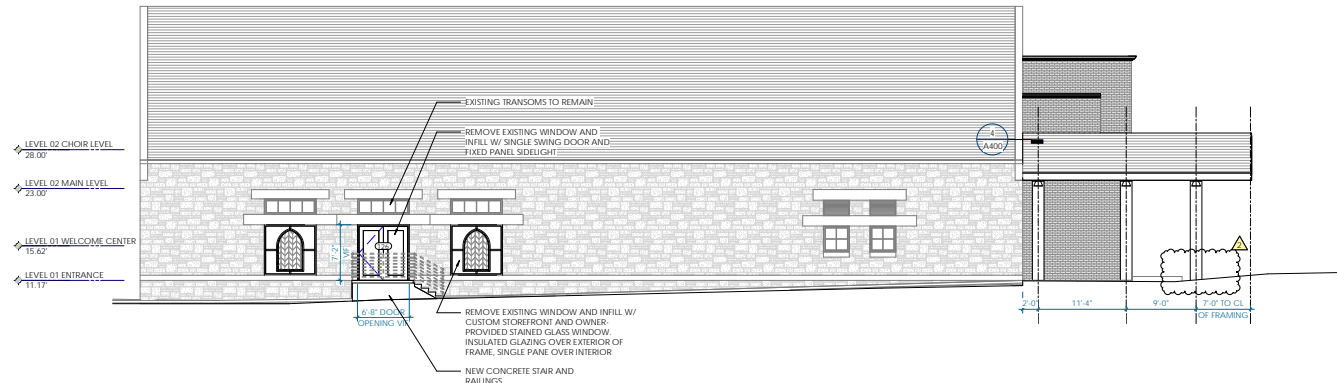
ST. JOHN'S CATHEDRAL

09.10.2019





PROPOSED NORTH ELEVATION
SCALE: 1/16" = 1' - 0"



PROPOSED EAST ELEVATION
SCALE: 1/16" = 1' - 0"

DOOR & WINDOW PRECEDENTS



EXISTING EAST ENTRY

McCARTY HOLSAPLE McCARTY



NEW EAST ENTRY



EXISTING NORTH ELEVATION



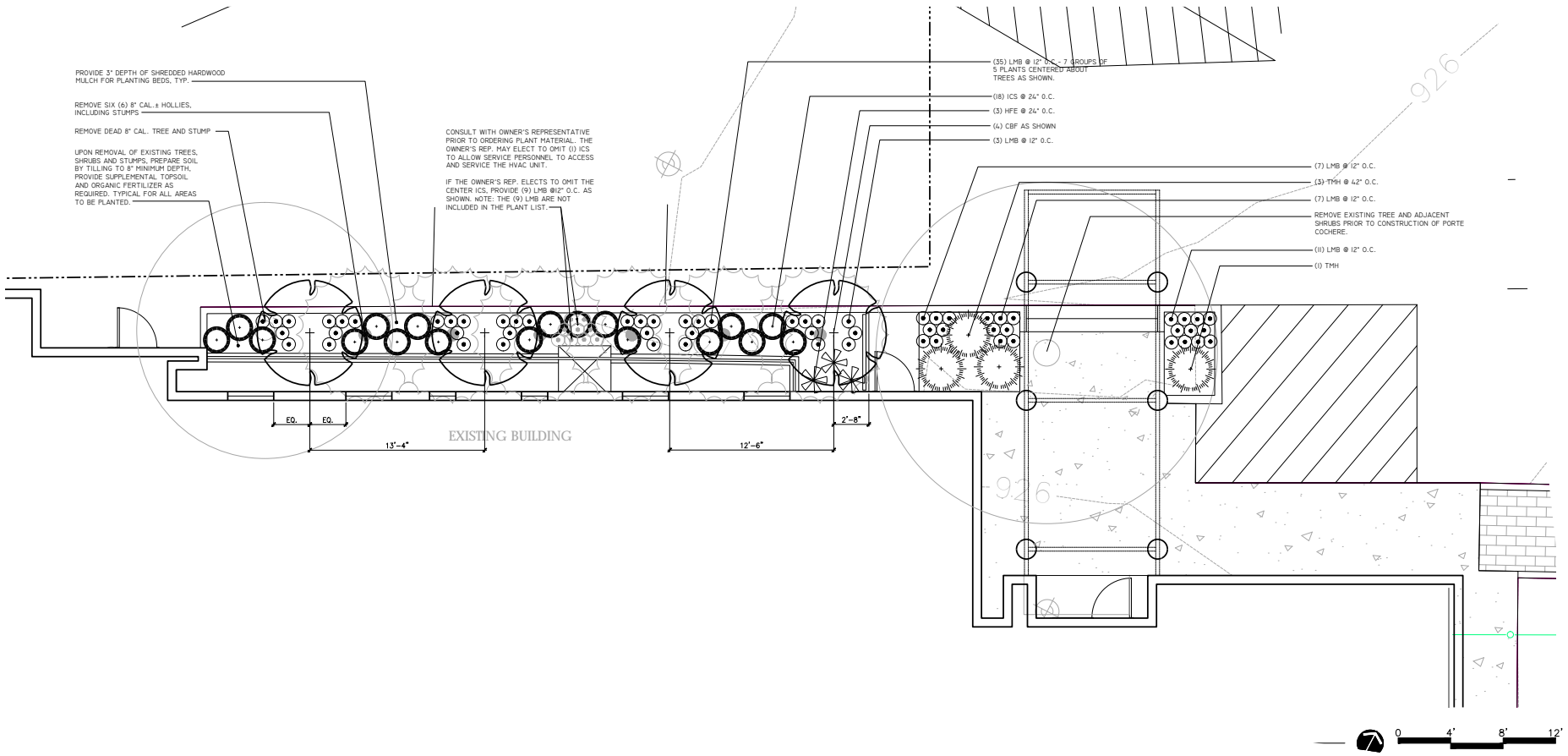
PROPOSED NORTH ELEVATION



EXISTING COURTYARD PORTAL



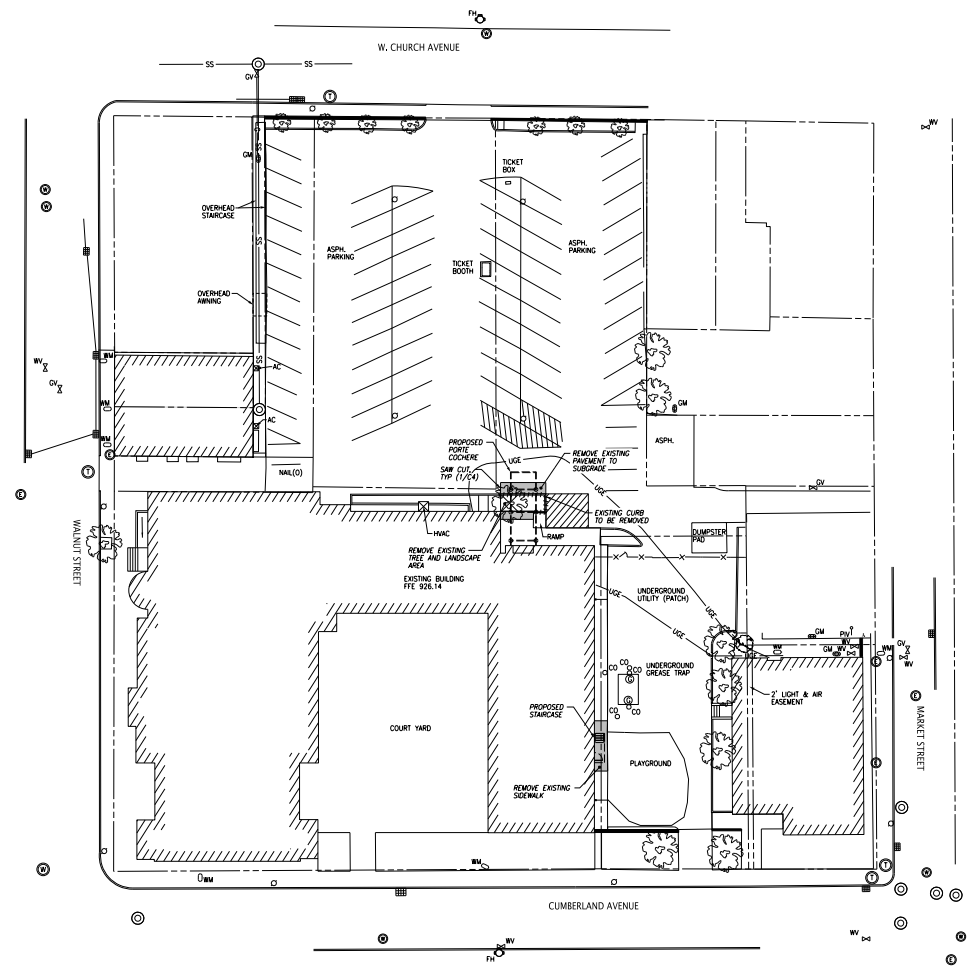
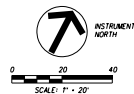
NEW PORTE COCHERE



BINDING EDGE

BINDING EDGE

BINDING EDGE



- DEMOLITION NOTES:**
1. ALL NECESSARY PERMITS FOR DEMOLITION SHALL BE OBTAINED BY THE CONTRACTOR SUBCONTRACTOR PRIOR TO BEGINNING WORK. CONTRACTOR SHALL PROTECT ALL ADJACENT LANDS FROM DAMAGE DURING DEMOLITION WORK. ANY OFF-SITE AREAS DISTURBED SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION.
 2. PAVEMENT SHALL BE REMOVED TO SUBGRADE. SAW CUT PAVEMENT WHERE DEMOLITION EXPOSES EXISTING PAVEMENT TO REMAIN.
 3. MATERIAL EXCEPT THAT BELONGING TO A PUBLIC OR PRIVATE UTILITY COMPANY SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE RESPECTIVE UTILITY COMPANIES AND/OR AUTHORITIES WHEN WATER GAS AND ELECTRIC METERS ARE READY FOR REMOVAL AND SHALL COORDINATE THE DISCONNECTION OF ALL UTILITIES IN COMPLIANCE WITH THE UTILITY COMPANIES.
 4. STRUCTURES NOT LABELED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. ANY STRUCTURES THAT ARE TO REMAIN THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION AT NO ADDITIONAL COST.
 5. NECESSARY BARRICADES, LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
 6. UNLESS OTHERWISE NOTED, UNDERGROUND UTILITIES SHALL BE ABANDONED IN PLACE AND FILLED WITH FLOWABLE FILL.

LEGEND:

	EXISTING CONCRETE/ASPHALT TO BE REMOVED
*****	EXISTING ITEM TO BE REMOVED
	EXISTING STRUCTURE/ITEM TO BE REMOVED
TYP	TYPICAL

**MCCARTY
HOLSAPLE
MCCARTHY**
MHM
ARCHITECTS
AN INTERIOR
DESIGNERS

180352
350 W. WALNUT STREET 3RD
KNOXVILLE, TENNESSEE 37902

CONTACT:	BOB JOHNSON
PHONE:	615.450.0091
FAX:	615.450.0000
EMAIL:	BOB@MCCARTHY.COM
WEBSITE:	MCCARTHY.COM

PROJECT INFORMATION
CONTRACT: 18C0000000000000

St. John's Cathedral
113 Cumberland Ave.
KNOXVILLE, TENNESSEE 37902

ACTIVE PERIOD PHASE

<input type="checkbox"/>	PRELIMINARY DESIGN
<input type="checkbox"/>	SCHEMATIC DESIGN
<input type="checkbox"/>	DESIGN DEVELOPMENT
<input checked="" type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	CONSTRUCTION ADMINISTRATION



CONSULTANT INFORMATION



CONTRACT: 18C0000000000000

CODES OFFICIAL REVIEW

NO.	DATE	DESCRIPTION

REVISION INFORMATION

NO.	DATE	DESCRIPTION

DRAWING INFORMATION

SCALE:	1" = 20'
SCALE CHECKS:	
DATE ISSUED:	JUNE 10, 2019
DESIGNER:	BOB JOHNSON
CHECKER:	P. JOHNSON
DATE CHECKED:	
DRAWING TITLE:	A-001

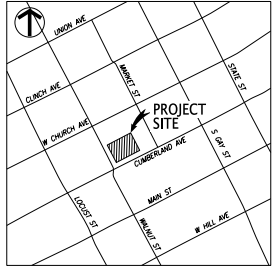
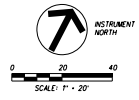
DEMOLITION PLAN
DRAWING NO: C001

BINDING EDGE

BINDING EDGE

BINDING EDGE

DATE PLOTTED: 2013.07.24 4:17:20PM



**MCCARTY
HOLSAPLE
MCCARTY**
MHM
ARCHITECTS
AND INTERIOR
DESIGNERS

18052

CONTACT:	BOB JOHNSON
EMAIL:	johnson@mhmc.com
PHONE:	(615) 242-2000
FAX:	(615) 242-2000
WEBSITE:	mhmc.com
PROJECT INFORMATION:	
PROJECT:	SEC-000000000000

St. John's Cathedral

413 Cumberland Ave
KNOXVILLE, TENNESSEE 37902

ACTIVE PERIOD PHASE:	
<input type="checkbox"/> PRELIMINARY CONCEPT	
<input type="checkbox"/> PRELIMINARY DESIGN	
<input type="checkbox"/> CONSTRUCTION DOCUMENTS	
<input type="checkbox"/> CONSTRUCTION ADMINISTRATION	
DATE:	



PROJECT INFORMATION:
OWNER: ST. JOHN'S EPISCOPAL CHURCH
413 CUMBERLAND AVENUE
KNOXVILLE, TENNESSEE 37902

CONSULTANT INFORMATION



10338 HARPER VALLEY ROAD
NORTH KNOXVILLE, TN 37921
OFFICE: 248.694.6410
FAX: 248.694.6400
www.fuglum.com
BOB JOHNSON, P.E.

REVISION INFORMATION

NO.	DATE	DESCRIPTION

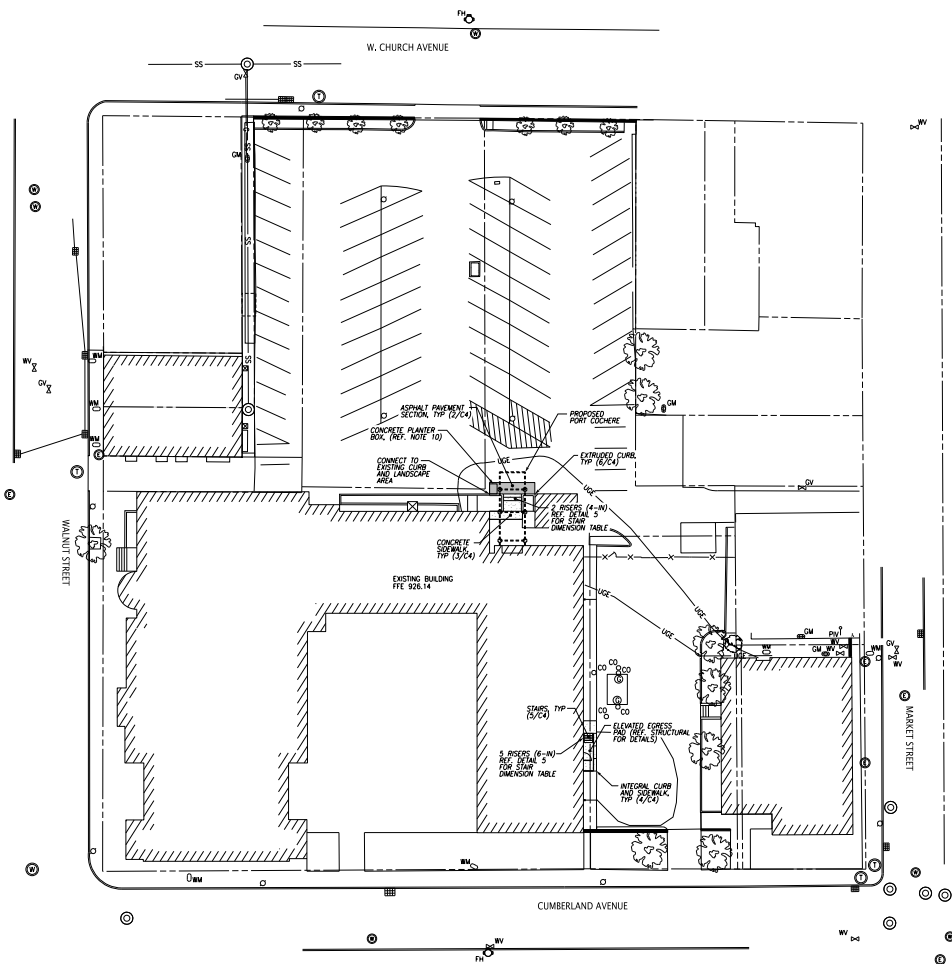
DRAWING INFORMATION

SCALE:	AS SHOWN
DATE PLOTTED:	JUNE 17, 2013
DESIGNER:	BOB JOHNSON
CHECKED:	P. JOHNSON
DRAWN BY:	A. GARY

SITE LAYOUT AND PAVING PLAN

CONTINUED TO:

C002



- NOTES:**
1. THE TOPOGRAPHIC DATA WAS TAKEN FROM LAND DEVELOPMENT SOLUTIONS DATED AUGUST 6, 2013.
 2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
 3. THE MINERAL AGGREGATE BASE AND ASPHALT SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
 4. CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
 5. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
 6. PROPERTY CONCERNED REFLECTS PARCEL 094 02029 AS SHOWN IN AVON COUNTY ZILL MAP #14, ZONING FOR THE WAREHOUSING DISTRICT, CITY BLOCK NO. 04063. MAP NO. 6, TOTAL AREA = 0.9024 AC. TOTAL DISTURBED AREA = 0.2302 AC.
 7. REMOVE OVER-PAVEMENT OF ASPHALT AND STONE FROM UNDERNEATH LANDSCAPE AREAS UP TO THE LINES THAT HAVE BEEN SPECIFIED (REFER TO THE CURB DETAIL) IN ORDER TO PROVIDE A SOLID BASE FOR THE CONCRETE CURB.
 8. REFER TO ARCHITECTURAL PLANS FOR ACTUAL PORT COCHERE DIMENSIONS.
 9. PRIOR TO INSTALLING NEW PIPING, CONTRACTOR SHALL LOCATE EXISTING UTILITIES/STRUCTURES WHERE NEW PIPES CROSS BY PROUING. AFTER EXPOSING EXISTING UTILITY STRUCTURE, CONTRACTOR SHALL OBTAIN HORIZONTAL AND VERTICAL LOCATIONS BY FIELD SURVEY, AND RESOLVE ANY CONFLICTS BETWEEN UNDERGROUND UTILITIES/STRUCTURES AND NEW PIPING UNDER THE SUPERVISION OF THE OWNER PRIOR TO INSTALLING NEW PIPING.
 10. CONCRETE PLANTER BOXES TO BE AURORA SERIES A-4848X46, CONTRACTOR TO COORDINATE COLOR AND FINISH WITH OWNER.
 11. IMPERVIOUS AREA FOR EXISTING CONDITIONS = 0.9024 AC. IMPERVIOUS AREA FOR POST CONDITIONS = 0.9024 AC.

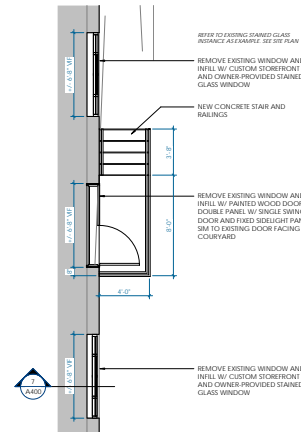
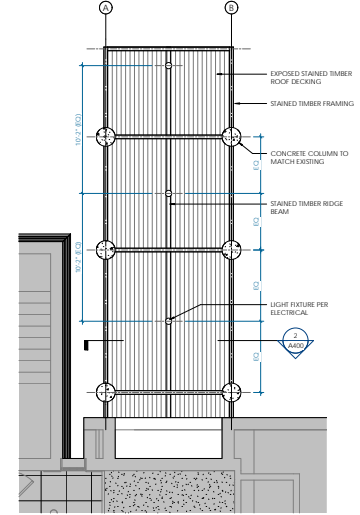
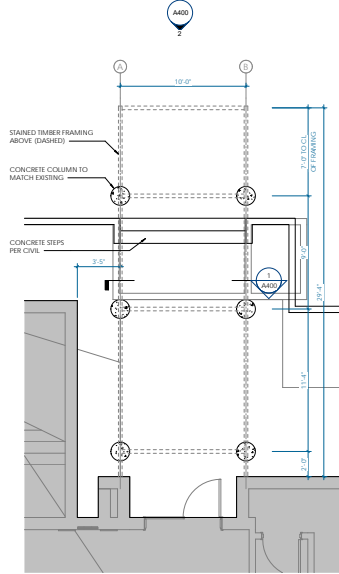
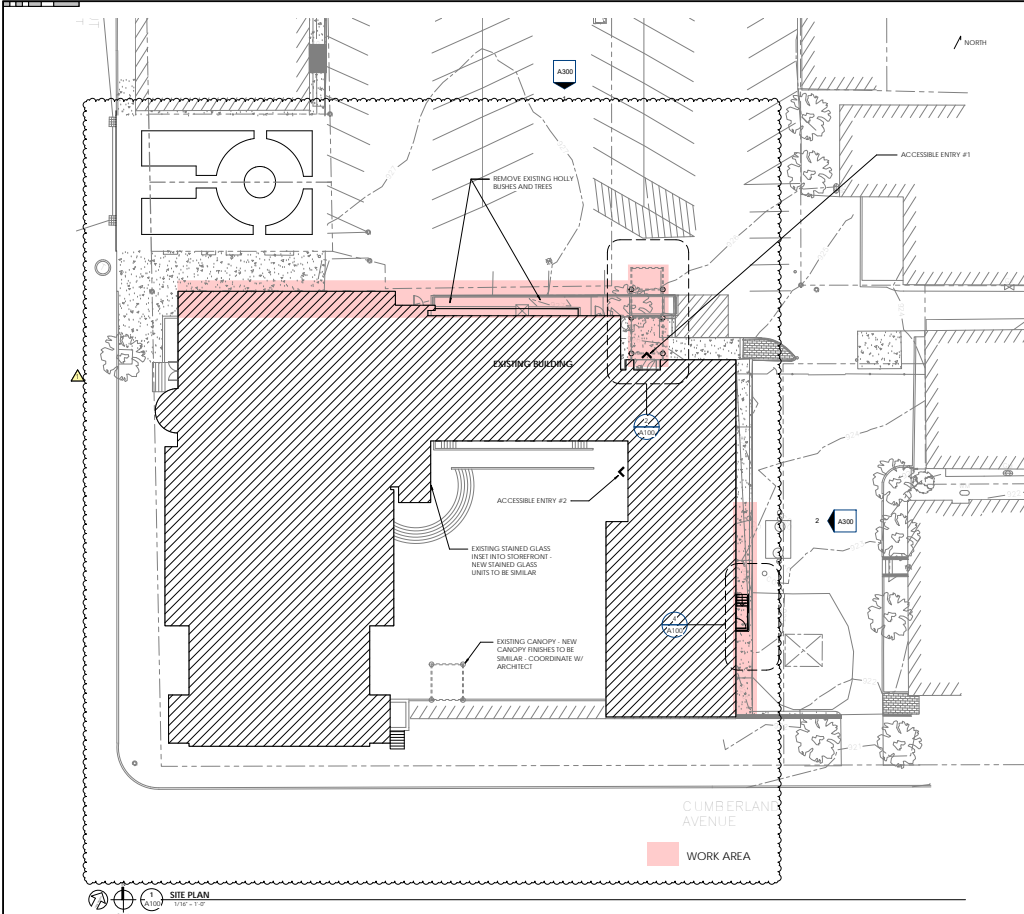
LEGEND:

 ASPHALT PAVEMENT
 CONCRETE PAVEMENT
 DETAIL REF. (DETAIL NO./SHT. NO.)
 TYPICAL

BINDING EDGE

BINDING EDGE

BINDING EDGE



St. John's Cathedral Entrance Canopy

111 Cumberland Ave., Knoxville, TN
KNOXVILLE, TENNESSEE 37902

ACTIVE DESIGN PHASE

1.0 PRELIMINARY DESIGN

2.0 SCHEMATIC DESIGN

3.0 CONSTRUCTION DOCUMENTS



1. Timothy D. Johnson is duly licensed as an architect in the State of Tennessee. This seal is valid only when used on drawings prepared by him or under his direct supervision and control in accordance with the laws and regulations of the State of Tennessee.

CONSULTANT INFORMATION

CODES OFFICIAL REVIEW

REVISION INFORMATION

NO.	DATE	DESCRIPTION

DRAWING INFORMATION

SCALE	NO. SHEETS
SCALE: AS SHOWN	18
DATE PLOTTED:	
DATE:	
SCALE:	
SCALE:	
SCALE:	
SCALE:	

SCALE	NO. SHEETS
SCALE: AS SHOWN	18
DATE PLOTTED:	
DATE:	
SCALE:	
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SCALE:	
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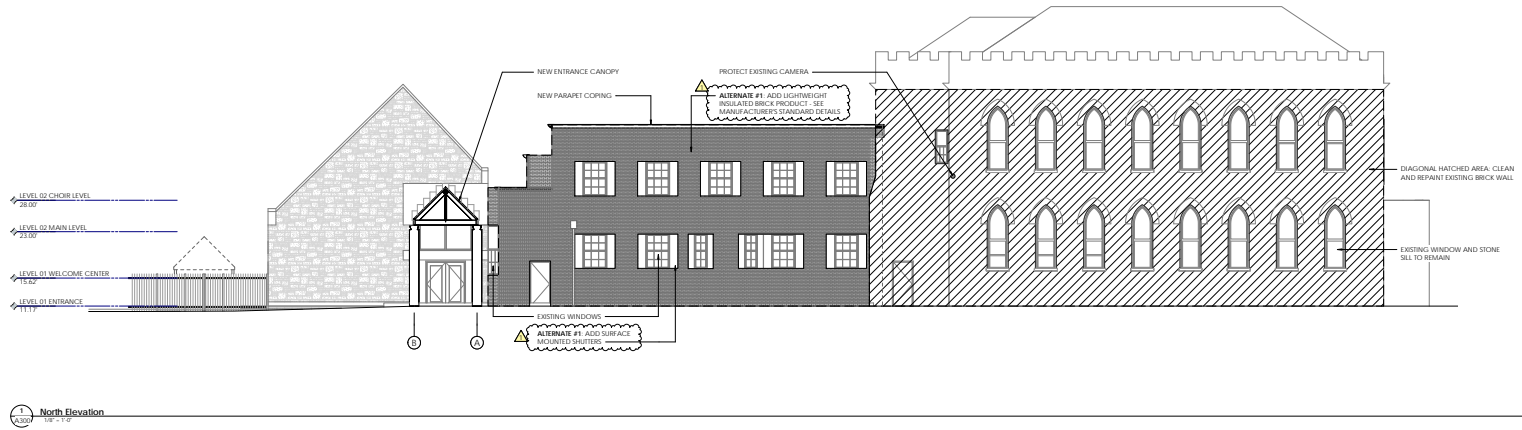
DRAWING NO. **A100**

PLAN

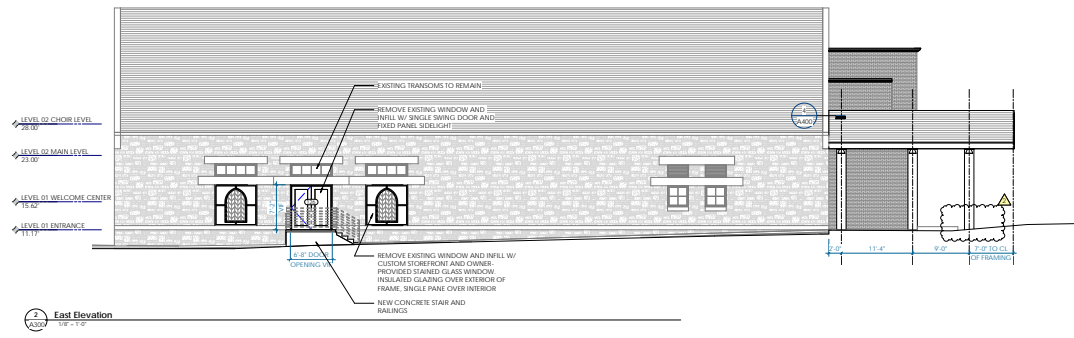
BINDING EDGE

BINDING EDGE

BINDING EDGE



1 North Elevation
1/8" = 1'-0"



2 East Elevation
1/8" = 1'-0"

MCCARTY
HOLSAPLE
MCCARTY
MHM
ARCHITECTS
& INTERIOR
DESIGNERS

18052

300 S. MAIN STREET, SUITE 200
KNOXVILLE, TENNESSEE 37902
PHONE: 615.528.9999
FAX: 615.528.9998
WWW.MHMARCHITECTS.COM

PROJECT INFORMATION
PROJECT: St. John's Cathedral
NO. 0000000000000000

**St. John's Cathedral
Entrance Canopy**
123 Cumberland Ave., Knoxville, TN
KNOXVILLE, TENNESSEE 37902

ACTIVE DESIGN PHASE
1.1 PRELIMINARY DESIGN
1.2 CONCEPT DEVELOPMENT
1.3 PERMITTING
1.4 CONSTRUCTION DOCUMENTS
1.5 CONSTRUCTION ADMINISTRATION



JEFFREY D. JOHNSON
MEMBER - ARCHITECTS AND PROFESSIONAL ENGINEERS OF THE STATE OF TENNESSEE
NO. 6714

CONSULTANT INFORMATION

CODES OFFICIAL REVIEW

REVISION INFORMATION

NO.	DATE	DESCRIPTION
1	02-21-19	ALTERNATE #1
2	03-15-19	COMMENTS

DRAWING INFORMATION
SCALE: 1/8" = 1'-0"
SCALE GUIDE
DATE PLOTTED: JUNE 11, 2019
DRAWN BY: J. JOHNSON
CHECKED BY: J. JOHNSON
DESIGNED BY: J. JOHNSON
DATE: 6/11/19

EXTERIOR
ELEVATIONS
DRAWING NO. A300

Lightweight Insulated Brick Veneer for Use on Exterior Vertical Walls

Description

Dryvit's NewBrick® offers superior insulating qualities in a high performance, durable, lightweight brick veneer. NewBrick consists of an insulated core encapsulated by reinforced, factory applied Dryvit coatings. A polymer modified joint mortar is field applied. NewBrick can be installed over a Dryvit Exterior Insulation and Finish System (EIFS) as well as over solid vertical surfaces such as concrete, masonry and more.

Available Options

Sizes: Modular, Utility, Norman, Economy

Colors: 16 standard and 4 blends

Textures: Smooth, Velour, Wire Cut and Coarse Cut

Effects: Flashed, Iron Spot, Flashed with Iron Spot

Configurations: Flat, Corner, End, Edge Cap, and

135° Corner (Modular size only)

Coverage

All coverages are approximate and depend upon details and individual application technique. NewBrick are packaged in either boxes or bundles. Please refer to the chart included with this document.

Adhesive: Primus® or Genesis®: approximately 260 ft² (24. m²) per pail.

Primus® DM or Genesis® DM: approximately 100 ft² (9 m²) per bag.

NewBrick Mortar Admix: approximately 45 ft² per 80 lbs of mortar.

Mortar (by others): Must meet ASTM C 270 Type N or S. Refer to the manufacturer's product data sheet for coverage information.

Properties

Drying Time - Drying of the adhesive and mortar is dependent on the air temperature and relative humidity. Under average drying conditions [70 °F (21 °C), 55% R. H.], the adhesive and mortar will dry in 24 hours. Protect work from rain during the drying period. To minimize mortar joint cracking, it is recommended that the bricks not

be disturbed for a minimum of 7 days following mortar application.

Testing Information

For test data and product properties refer to the chart included with this document.

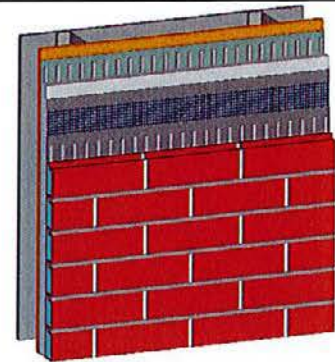
Application Procedure

Job Conditions - Air and surface temperatures must be 40 °F (4 °C) or higher and must remain so for a minimum of 24 hours. To prevent accelerated drying and minimize mortar joint cracking, it is recommended that the wall be covered or lightly fogged for the first 96 hours.

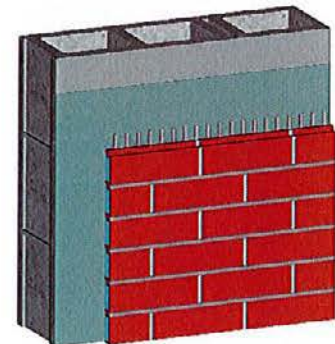
Temporary Protection - Provide temporary protection as required until the NewBrick adhesive and mortar are dry, and installation of permanent flashings, sealants, etc. are completed, and to protect the wall from inclement weather and other sources of damage.

Substrate Preparation

- Substrate must be free of voids, projections, and other conditions that may affect the installation of the NewBrick units.
- Exterior surfaces must be above 40 °F (4 °C) and must be clean, dry, structurally sound and free of efflorescence, grease, oil, form release agents and curing compounds.
- **Dryvit Reinforced Base Coat:** Shall be installed in accordance with the current literature for the specified Dryvit System. The base coat must dry and be cured for a minimum of 24 hours prior to application of NewBrick. Cure time may be longer depending on environmental conditions.
- **Concrete:** Shall be dry and cured for a minimum of 28 days prior to application of the NewBrick. If efflorescence, form release agents or curing compounds are present on the concrete surface, the surface shall be thoroughly washed with muriatic acid and flushed to remove residual acid.



NewBrick Applied Over Outsulation® Base Coat



NewBrick Applied Over a Solid Substrate

- All projections shall be removed and small voids filled with Dryvit Primus, Primus DM, Genesis or Genesis DM mixture (refer to published product data sheets for mixing and application).
- **Masonry:** Masonry shall be installed with joints struck flush. Highly porous or textured surfaces shall be "skim coated" with Primus, Primus DM, Genesis or Genesis DM mixture (refer to product data sheets for mixing and application) to produce a smooth, level surface.
- **Portland Cement Plaster:** Stucco brown coat shall be finished smooth and floated using a wood or hard rubber float resulting in a surface with adequate tooth to allow adhesion of the NewBrick adhesive. A slick, smooth trowel finish is not recommended. If additives are present in the stucco, a test patch shall be made and bond strength checked prior to application.