



Planning
KNOXVILLE | KNOX COUNTY

DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)



Meagan L. Grohol / R2R studio, llc
Applicant

11-13-19
Date Filed

Nov. 20th, 2019
Meeting Date (if applicable)

11-D-19-DF
File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner Contractor Engineer Architect/Landscape Architect

Meagan Grohol R2R studio, llc
Name Company

2575 Willow Point Way, ste 105 Knoxville TN 37931
Address City State Zip

865-769-8075 mgrohol@r2rstudio.com
Phone Email

CURRENT PROPERTY INFO

Hatcher-Hill NV-UC-Tim Hill 311 S. Weisgarber Rd. 865-249-8132
Owner Name (if different from applicant) Owner Address Owner Phone

125 E. Jackson Ave. 0954A023
Property Address Parcel ID

Old City (Downtown) C-2/D-1
Neighborhood Zoning

AUTHORIZATION

Michael Reynolds 11-13-19
Staff Signature Please Print Date

Meagan L. Grohol 11-13-19
Applicant Signature Please Print Date

REQUEST

DOWNTOWN DESIGN

Level 1:

- Signs Alteration of an existing building/structure

Level 2:

- Addition to an existing building/structure

Level 3:

- Construction of new building/structure Site design, parking, plazas, landscape

See required Downtown Design attachment for more details.

Brief description of work: Revision to submittal for COA 9-C-19-DT. Proposed changes include replacing landscape planter with seating area, adding a second bar to serve the upper terrace and modifying planting plan related to these changes. A revision to the front entry gate/entrance wall has also been included. The wall was widened to conceal the ramp & interior walls at each end.

HISTORIC ZONING

Level 1:

- Signs Routine repair of siding, windows, roof, or other features, in-kind; Installation of gutters, storm windows/doors

Level 2:

- Major repair, removal, or replacement of architectural elements or materials Additions and accessory structures

Level 3:

- Construction of a new primary building

Level 4:

- Relocation of a contributing structure Demolition of a contributing structure

See required Historic Zoning attachment for more details.

Brief description of work: _____

INFILL HOUSING

Level 1:

- Driveways, parking pads, access point, garages or similar facilities Subdivisions

Level 2:

- Additions visible from the primary street Changes to porches visible from the primary street

Level 3:

- New primary structure
 Site built Modular Multi-Sectional

See required Infill Housing attachment for more details.

Brief description of work: _____

STAFF USE ONLY

ATTACHMENTS

- Downtown Design Checklist
 Historic Zoning Design Checklist
 Infill Housing Design Checklist

ADDITIONAL REQUIREMENTS

- Property Owners / Option Holders

Level 1: \$50 • Level 2: \$100 • Level 3: \$250 • Level 4: \$500

FEE 1:	50	TOTAL:
FEE 2:		
FEE 3:		
		50.00



R2R studio, llc
2575 Willow Point Way
Suite 105
Knoxville, Tennessee 37931
865.769.8075 v.
865.769.8076 f.
www.r2rstudio.com w.

August 30, 2019

**Downtown Design Review Board
Mr. Mike Reynolds
400 Main Street
Knoxville, TN 37902**

Project: 125 E Jackson

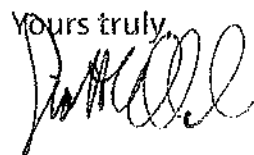
Re: Revision to Certificate of Appropriateness 9-C-19-DT

Mike: Please find attached drawings indicating proposed revisions to the COA 9-C-19-DT for the property located at 125 E. Jackson Avenue in Knoxville, Tennessee.

Changes from the original submission are to be located within the courtyard. The large planter located on the central axis in the upper terrace has been removed to provide additional seating around a fire table element. A bar has also been added at the upper terrace. These elements have been added to provide more equal amenities for the two future restaurant tenants. Please see sheet L101 for the current layout plan. Plantings have been revised in response to these changes and are reflected on sheet L104.

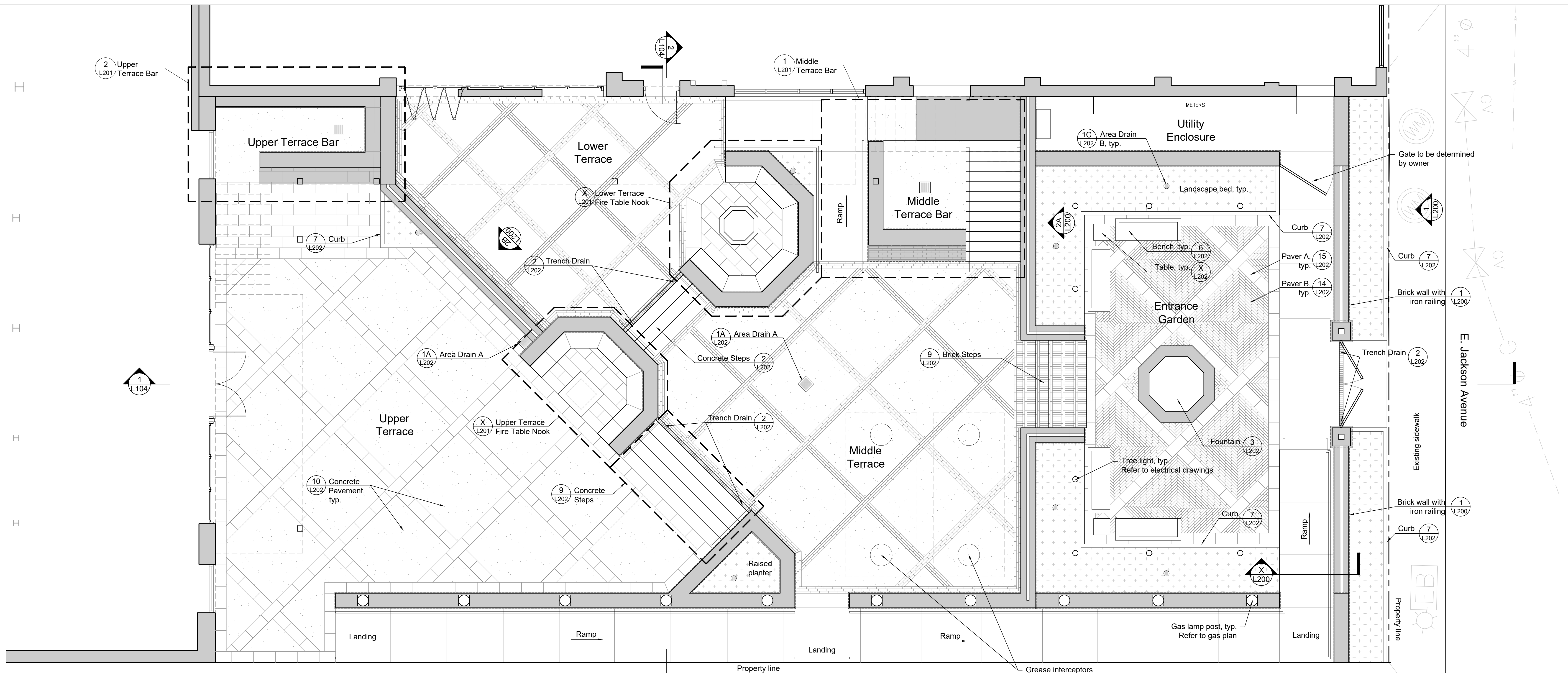
In addition, the entry wall adjacent to Jackson Avenue has been modified to address the changes in elevation and screen the low interior walls and ramp elements. Please see revised L200 for the current entry wall details.

Please feel free to contact me if any additional information is required.

Yours truly,


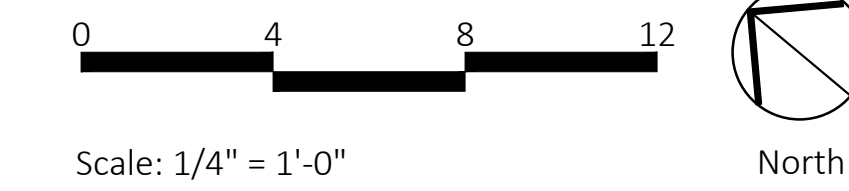
Scott E. Osborn, AIA

Cc: project file_2019-104_Correspondence_125EJackson_D1SubmissionLetter_revision



Materials Notes

- 1. X



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Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications, and site conditions shall be immediately reported to the Landscape Architect in writing. The Landscape Architect will promptly correct the same in writing. Work done by the Contractor after discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the Contractor's risk.

Jackson Avenue Courtyard
125 E. Jackson Ave.
Knoxville, TN



Date: 10.11.19
Job Number: 19-042
Drawn By: WEC CK'd By:

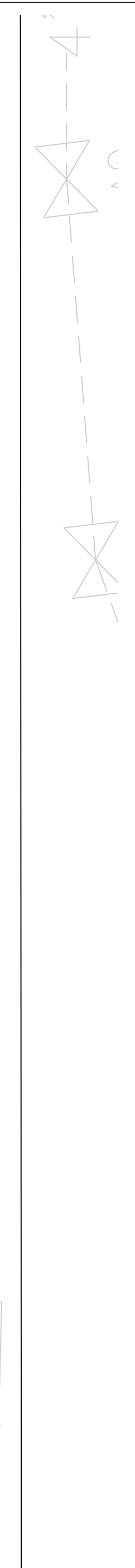
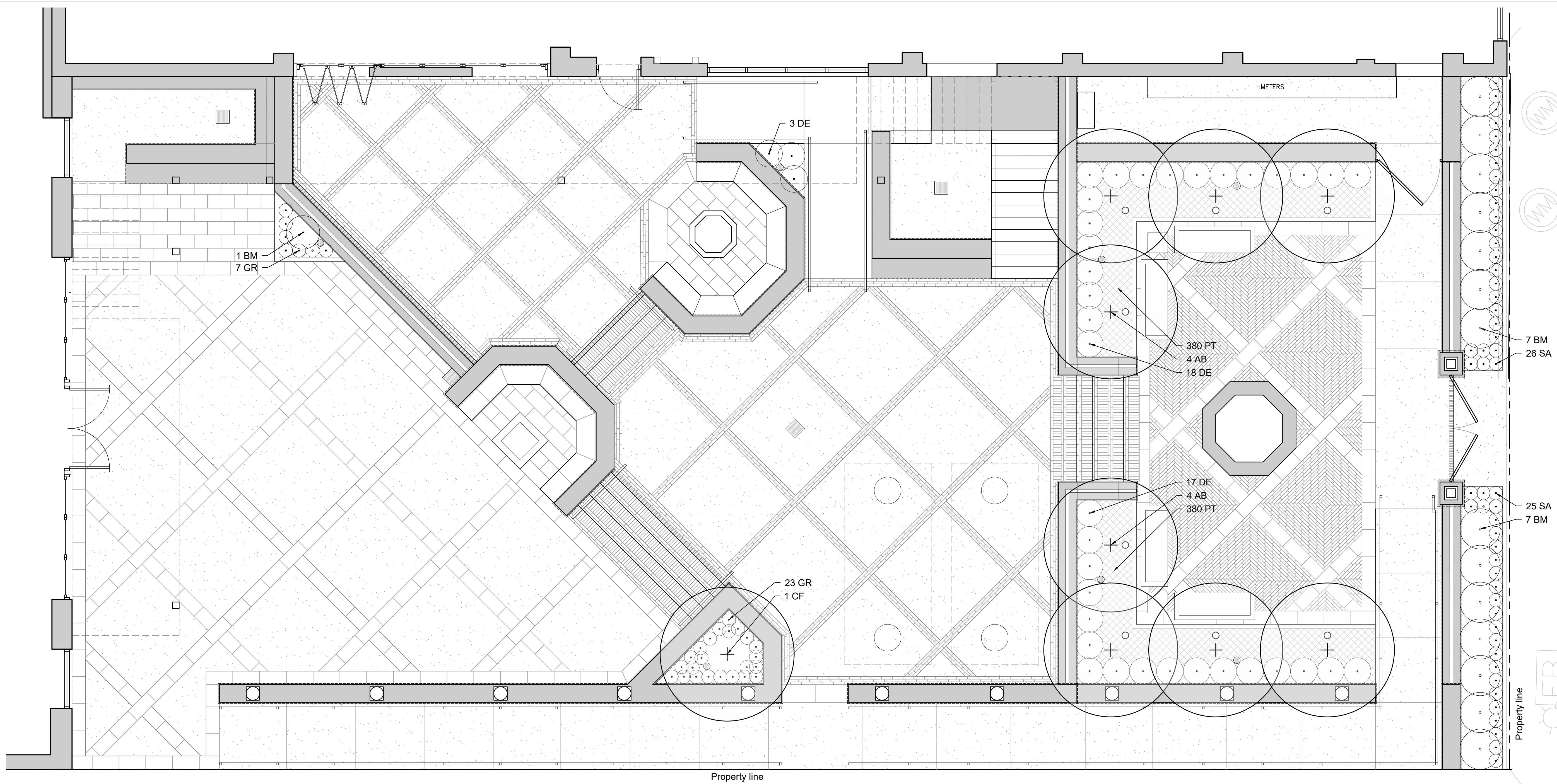
Rev	Description	Date

Sheet Name:
Materials Plan

Sheet Number:
L101

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Plant Schedule

Key	Quantity	Botanical Name	Common Name	Size	Notes
SHADE TREES					
AB	8	<i>Acer buergerianum</i> 'Aeryn'	Aeryn Trident Maple	3" cal.	6' CT- Central leader, full and well branched
ORNAMENTAL TREES					
CF	1	<i>Cornus florida</i> 'Appalachian Snow'	Appalachian Snow Dogwood	3" cal.	6' CT- Central leader, full and well branched
SHRUBS					
BM	15	<i>Buxus microphylla japonica</i> 'Wintergreen'	Wintergreen Korean Boxwood	3'x3' B&B	3' o.c., full and dense
GROUNDCOVERS & PERENNIALS					
DE	38	<i>Dryopteris erythrosora</i> 'Brilliance'	Brilliance Autumn Fern	1 gal.	24" o.c., full and dense
GR	30	<i>Geranium</i> 'Rozanne'	Rozanne Cranesbill	1 gal.	12" o.c., full and dense, purple flowers
PT	760	<i>Pachysandra terminalis</i>	Japanese Pachysandra	1 qt.	6" o.c., full and dense
SA	51	<i>Sedum</i> 'Angelina'	Angelina Stonecrop	1 gal.	12" o.c., full and dense

Planting Notes

- Contractor shall verify all existing conditions in the field and report any discrepancies to the Landscape Architect or Owner's Representative prior to starting work.
- No planting shall occur until sample results for new soil have been received, properly amended, and approved based on the results of the soil tests. See this sheet for Soil Sampling Instructions.
- No planting shall occur until percolation testing has been completed and soils have been properly amended to drain. See Percolation Test Notes on this sheet.
- Prior to purchase and installation of plants, Contractor to perform site walk with Landscape Architect to confirm plant selections are appropriate based on sun/shade conditions after site disturbance and construction.
- All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality. Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Landscape Architect or Owner's Representative.
- Do not assume trunk flare will be exposed at the nursery. Contractor to expose trunk flares to check for root girdling. Pull mulch away from the trunk flare of trees and from the base of all shrubs.
- No plant material shall be planted before acceptance of rough grading. The finished grade shall not cover any part of the tree trunk flare. See Tree Planting Detail on this sheet.
- All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
- The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Landscape Architect or Owner's Representative.
- Stake location of all proposed trees for approval by the Landscape Architect or Owner's Representative prior to the commencement of planting.
- Planting plans are not layout plans. Plants may need to be shifted in the field based on the existing conditions. Coordinate with the Landscape Architect or Owner's Representative prior to any changes.
- Prepare all shrub beds with planting soil to a minimum depth matching the depth of shrub root balls. Prepare perennial beds with a minimum of 12" planting soil. Prepare groundcover beds with a minimum of 6" planting soil.
- All plant beds are to receive one and a half inches (1.5") of double shredded hardwood mulch.
- Thoroughly water trees and shrubs during the first 24 hours after planting. Wet the soil to a depth of 18-24". When runoff starts, stop watering, let the water soak in, and repeat until the proper depth is wet.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Landscape Architect or Owner's Representative.
- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the Contract Documents.
- Contractor to complete work within schedule established by Owner.
- Contractor to provide one year warranty for all material from date of substantial completion. Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until substantial completion notice is provided by the Landscape Architect or Owner's Representative. Application of insecticides/herbicides must be approved by Landscape Architect or Owner's Representative prior to use on site.

Instructions for Soil Sampling

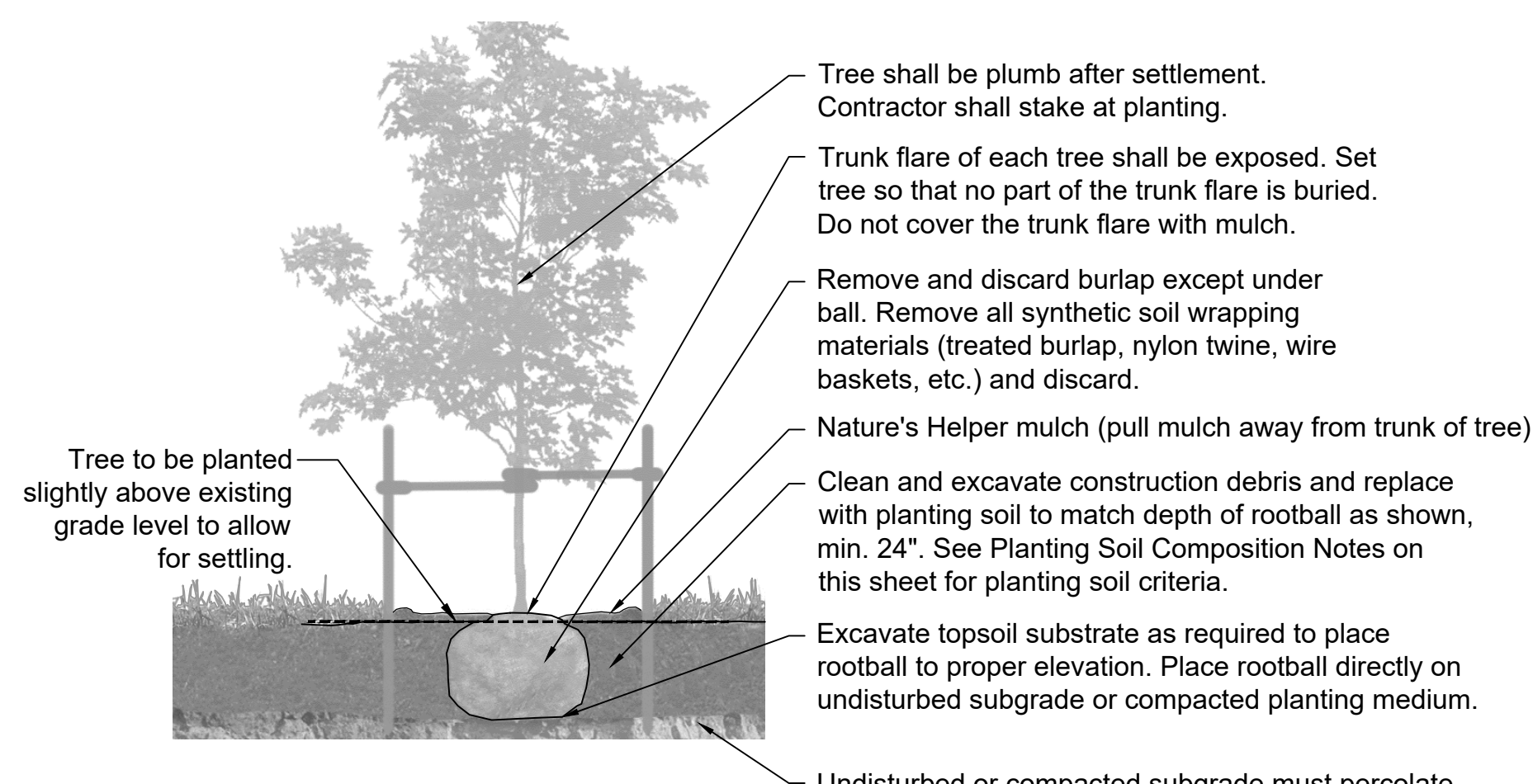
- Using a spade, dig a v-shape hole to a 6" depth, then cut a thin slice of soil from one side of the hole. Place the slice in a plastic bucket, do not use a metal bucket. Mix slices together and fill a plastic sample bag with three (3) cups of dirt. The sample bags can be Ziploc bags that are labeled with the project name and sample number.
- A well-mixed composite from 10 to 20 random locations should be subsampled to make the three (3) cup sample.
- Mark the plan to show soil sample locations.
- Send samples to Waypoint Analytical Labs, Inc., 2790 Whitten Road, Memphis, Tennessee 38133, 800-264-4522, www.al-labs.com.
- Results to be copied to the Owner.

Percolation Test Notes

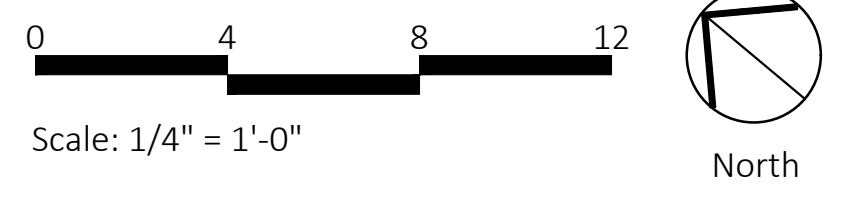
- Dig a hole 18-24" deep and a minimum of 6" wide.
- Fill hole with water to the top and let drain for several hours. Ideally let the hole pre-wet overnight and test the following day.
- Refill hole to within a couple inches of the top.
- To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level; mark side of hole or mark soil on side of hole with nail or stick.
- Measure drop in water level after 30 minutes and one hour. If possible measure drop in water level the next day.
- Determine drop in water level per hour. If water level in hole drops more than one inch per hour, it is well drained and suitable for all plant species.

Planting Soil Composition Notes

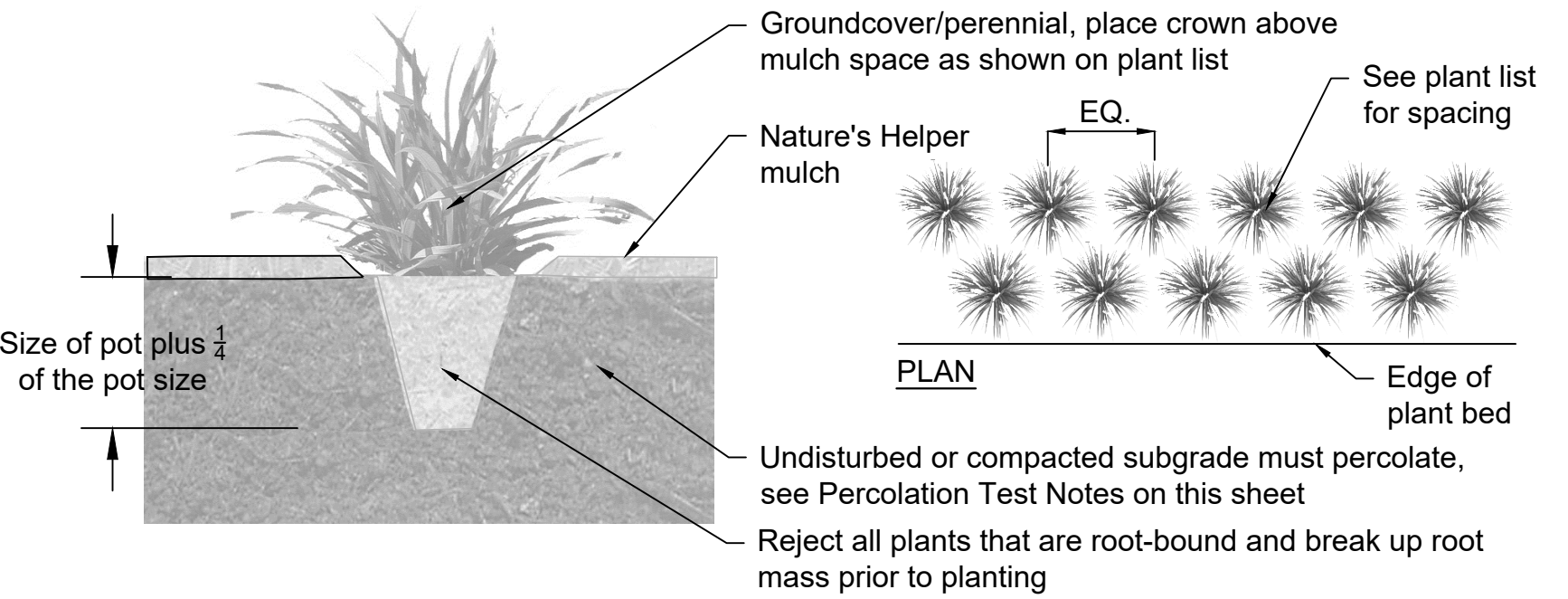
- The Landscape Subcontractor shall provide sufficient planting soil to fulfill all planting operations required of the Contract Documents. Planting soil shall comply with the following notes.
- Planting soil shall be topsoil stripped and stockpiled and meeting, or modified to meet, these notes.
- Textural analysis of soil to be between sandy clay loam and clay loam, with a clay content between 15 and 25% and an organic content a minimum of 40% by dry weight.
- Planting soil shall be free of plants and their roots, debris, and other extraneous matter. It shall be uncontaminated by salt water, foreign matter, and substances harmful to plant growth. All soil to be free of all rocks, limestone, gravel, and foreign construction debris.
- Soil additives shall be used to counteract soil deficiencies as recommended by the soils analysis conducted by Waypoint Analytical. See Soil Sampling Notes on this sheet.
- Soil pH target to be 6.0.
- Soil compaction rating to be 80-85%.
- Soil particle size shall have 90% passing rate on 1/2" screen and 100% of material shall pass 1" screen.



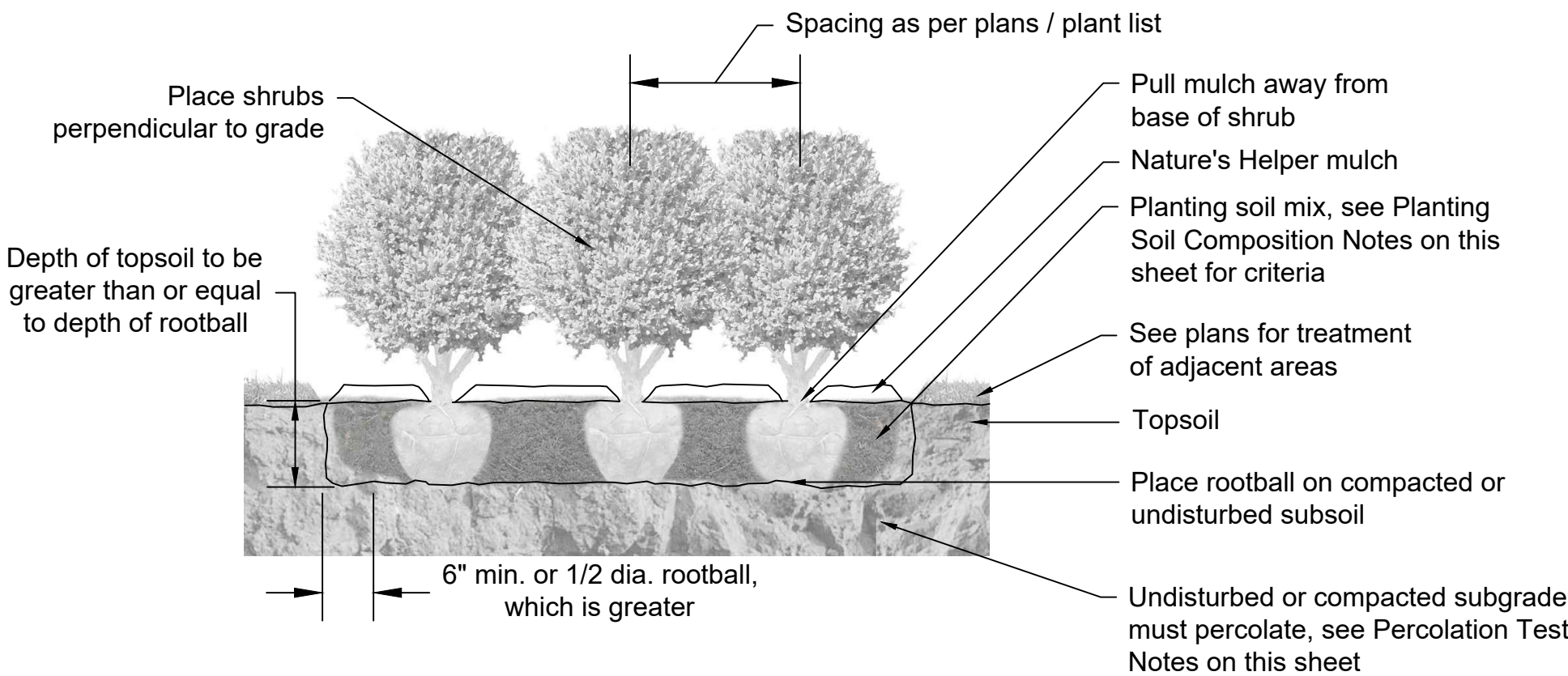
1 Tree Planting Detail
Scale: NTS



Scale: 1/4" = 1'-0"



3 Groundcover/Perennial Planting Detail
Scale: NTS



2 Shrub Planting Detail
Scale: NTS

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Knoxville, TN



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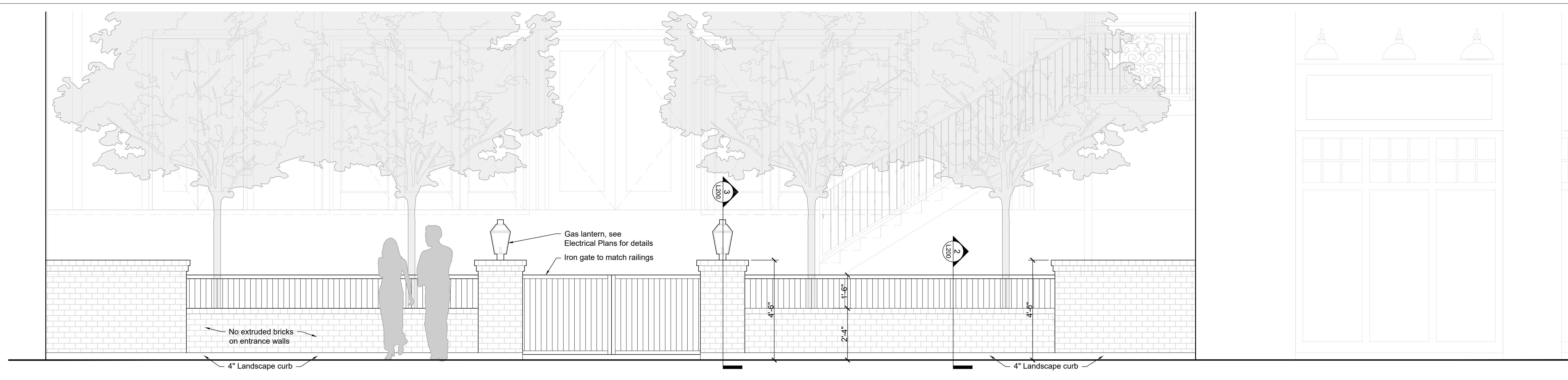
Rev	Description	Date

Sheet Name:
Planting Plan

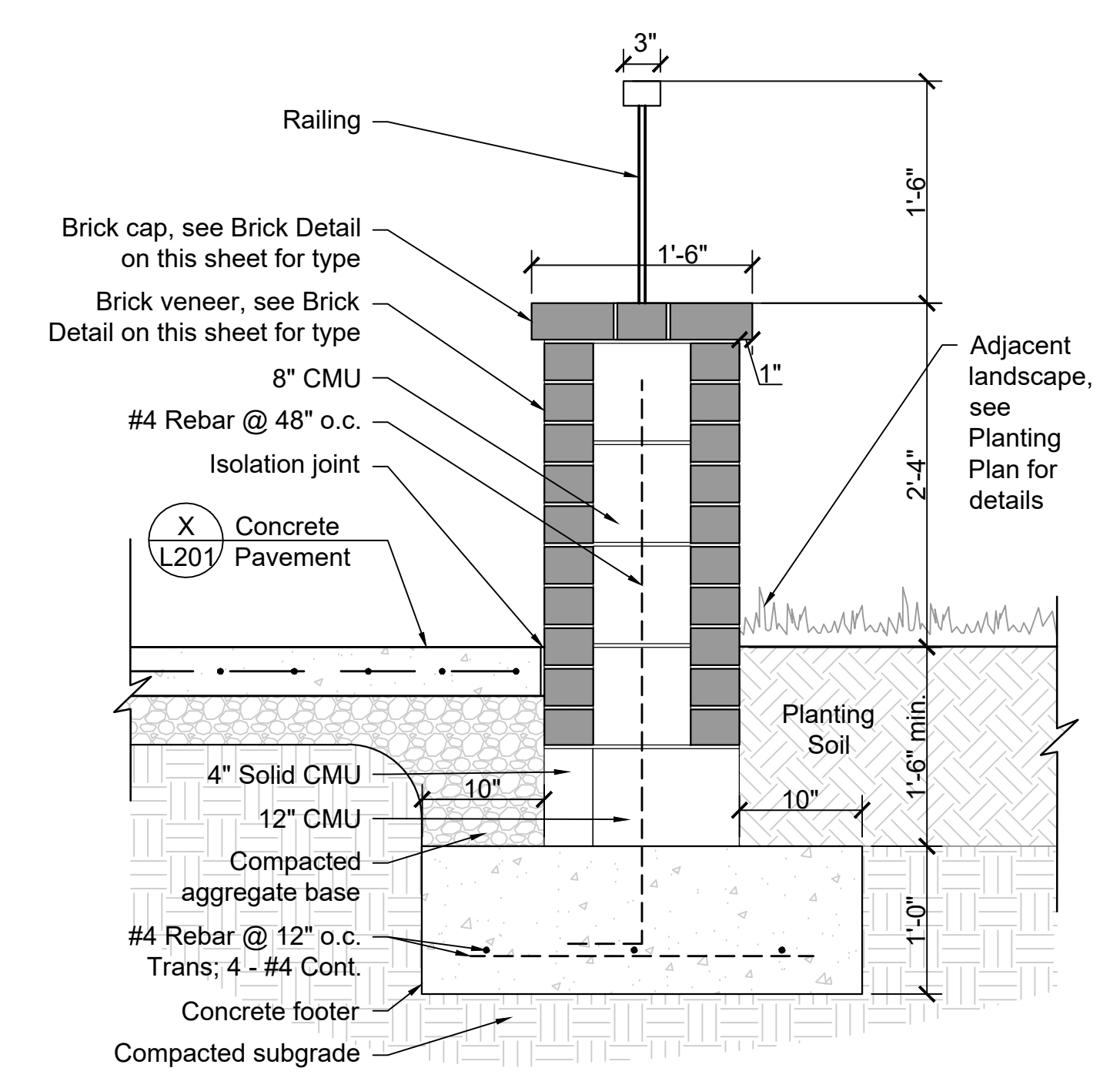
Sheet Number:
L104

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1 Front Elevation: Entrance Wall
Scale: 1/4" = 1'-0"



2 Entrance Wall with Railing
Scale: 1" = 1'-0"



Milano Iron Railing
Manufacturer: House of Forgings
Model: Milano HDMO A1
Material: Iron
Color: Powder Coated Black

Milano Iron Balusters
Manufacturer: House of Forgings
Model: Gothic Baluster (Single and Double Knuckle)
Material: Iron
Color: Powder Coated Black

Quantity: If

www.houseofforgings.net
(281) 443-4848



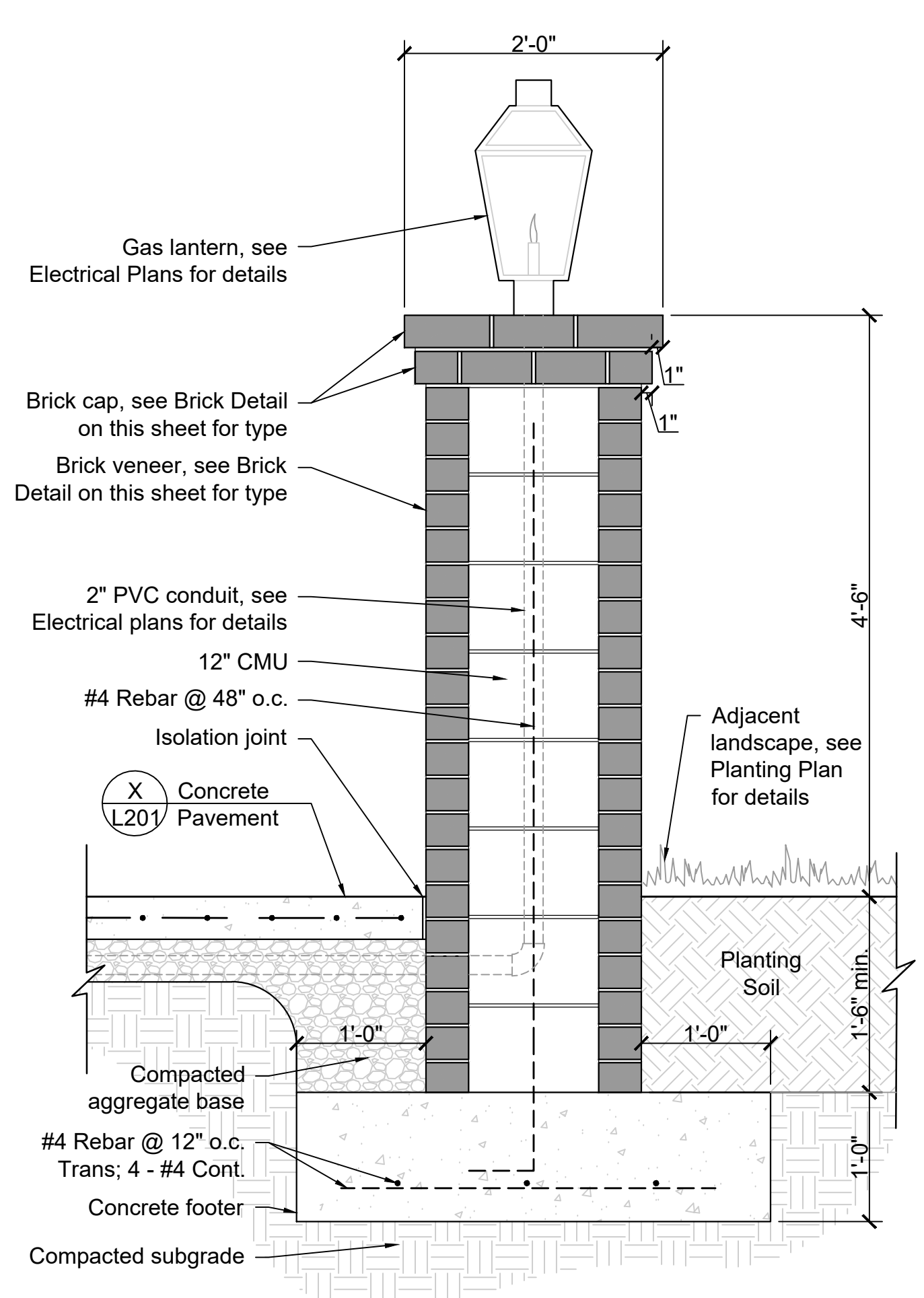
Brick A
Manufacturer: Pine Hall Brick or approved equal
Model: Chesapeake Pearl
Size: Oversize Tumbled (7-5/8" x 2-3/4" by 3-1/2")

Brick B
Use darker toned bricks from Brick A blend

www.pinehallbrick.com
(800) 952-7425

Note: Contractor to provide brick samples and mock-up prior to purchase and installation

5 Brick
Scale: NTS



3 Entrance Column
Scale: 1" = 1'-0"

4 Iron Railing
Scale: NTS

6A Entrance Garden Wall (4'-0" Height)

6 Wall Details
Scale: 1" = 1'-0"

6B Typical Landscape Wall Treatment (varying heights)



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125 E. Jackson Ave.
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Date: 10.11.19
Job Number: 19-042
Drawn By: WEC CK'd By:

Rev	Description	Date

Sheet Name:
Wall Details

Sheet Number:

L200