



# DESIGN REVIEW REQUEST

- DOWNTOWN DESIGN (DK)
- HISTORIC ZONING (H)
- INFILL HOUSING (IH)



Patrick Core

Applicant

11/01/19

11/20/19

11-C-19-DT

Date Filed

Meeting Date (if applicable)

File Number(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Owner  Contractor  Engineer  Architect/Landscape Architect

Patrick Core

Design Innovation

Name

Company

402 S. Gay Street

Knoxville

TN

37902

Address

City

State

Zip

(865) 243-8447

pcore@dia-arch.com

Phone

Email

## CURRENT PROPERTY INFO

Dover Development

4921 Homberg Drive

(865) 924-0791

Owner Name (if different from applicant)

Owner Address

Owner Phone

530 S. Gay Street

095IG019

Property Address

Parcel ID

Downtown, Gay Street

C-2 / D-1

Neighborhood

Zoning

## AUTHORIZATION

*Sherry Michienzi*

Staff Signature

SHERRY MICHIEZI

Please Print

11-1-19

Date

*Patrick R. Core*

Applicant Signature

Patrick Core

Please Print

11/01/19

Date



**Design Innovation**

ARCHITECTS + INTERIORS + PLANNING

Project Name: **Hyatt Place Rooftop Expansion**

Project No: **15012REXP**

File No.: 101

Date / Time: 2019-11-01

To: Mike Reynolds, Knoxville-Knox County Planning

From: Patrick Core, Design Innovation (DIA)

**PROJECT INFORMATION**

Project location - 530 S. Gay St.

Existing use – mixed use, hotel and mercantile at ground level, rooftop amenity space

Proposed use – same as existing

Per Downtown Knoxville Design Guidelines, the property is within the Grid District, within National Register Historic District, and is a National Register Historic Site.

From Downtown Knoxville Design Guidelines

**B. PRIVATE REALM**

**3. BUILDING MATERIALS**

*New building materials should relate to the scale, durability, color, and texture of the predominate building materials in the area.*

**GUIDELINES:**

*3a. Use complimentary materials and elements, especially next to historic buildings.*

*3b. Rehabilitate historic structures in accordance with the Secretary of Interior's Standards (see Appendix A)*

Durable materials such as fiber cement board siding to match existing rooftop construction will be used for exterior walls. Colors will match adjacent existing construction. Windows will be black aluminum storefront to match existing.

**4. ARCHITECTURAL CHARACTER**

*Buildings should be visually interesting to invite exploration by pedestrians. A building should express human scale through materials and forms that were seen traditionally. This is important because buildings are experienced at proximity by the pedestrian.*

**GUIDELINES:** *4f. Encourage the use of 'green roofs' and other sustainable practices, while minimizing the visual impact from the street.*

Planters will be included at exterior deck. Existing deck has planters currently.

**7. MECHANICAL EQUIPMENT AND SERVICE UTILITIES**

*Utilities can include telephone and electrical lines, ventilation systems, gas meters, air conditioners, fire protection, telecommunication and alarm systems. Adequate space for these utilities should be planned in a project from the outset and they should be designed such that their visual and noise impacts are minimized.*

No new penetrations are planned at the Gay St. or Clinch Ave. elevation. If feasible, some of the existing equipment / conduit / piping etc. will be organized or concealed. New equipment and utilities will be concealed within the building or screened to the greatest degree possible.

**C. HISTORIC RESOURCES**

**1. ROOFLINES AND ADDITIONS**

*Alterations of the rooflines of historic buildings are not appropriate. A one-story rooftop addition, including railings, may be possible on taller buildings if it is inconspicuous from the public right-of-way. Additions should be set back from the primary elevation of the building, and should not damage character-defining features, including parapets and side walls. These walls are often topped by coping stones offering contrasting color or texture, or contain cornices, decorative grills, chimneys, corbelled brickwork and other architectural elements. Rooftop additions are almost never appropriate on buildings less than four stories in height.*

*1a. Preserve or restore historic roofline features, including parapet walls and cornices.*

*1b. Design rooftop additions to be complimentary to the historic building in terms of materials and color.*

*1c. Avoid construction that maintains only the historic facade.*

*1d. Do not alter, obscure or destroy significant features of historic resources when constructing additions.*

*1e. Design rooftop additions so that they are not seen from adjoining streets and sidewalks.*

There will be no modifications to the Gay St. or Clinch Ave. elevation. The new addition will not be visible from the pedestrian level of Gay St. Roof profile will be as shallow as possible to minimize visibility.

### **C. HISTORIC RESOURCES**

#### **9. LIGHTING**

*Storefront windows may be lit with interior fixtures, entrances may be lit with overhead fixtures, and gooseneck fixtures can be used to highlight signs. Illumination may also be used to wash the building in light, emphasizing its distinctive architectural finishes*

No building lighting will be added along Gay St. Lighting at the addition will be recessed can lights in new ceilings. Exterior lighting at exterior rooftop areas will match existing and will not be visible from street level.

End of memo



**11-C-19-DT**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

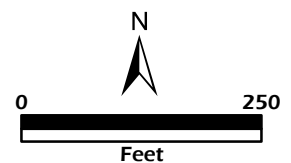
Petitioner: Design Innovation Architects,  
Patrick Core

**DOWNTOWN  
DESIGN  
REVIEW  
BOARD**



**530 S. Gay St.**  
**Level 2: Addition to an existing  
building/structure**

Original Print Date: 11/4/2019  
Revised:  
Knoxville/Knox County Planning · Downtown Design Review Board





**Design Innovation**

ARCHITECTS + INTERIORS + PLANNING

Project Name: **Hyatt Place Rooftop Expansion**  
 Project No: **15012REXP** File No.: I01  
 Date / Time: 2019-11-01  
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 From: Patrick Core, Design Innovation (DIA)

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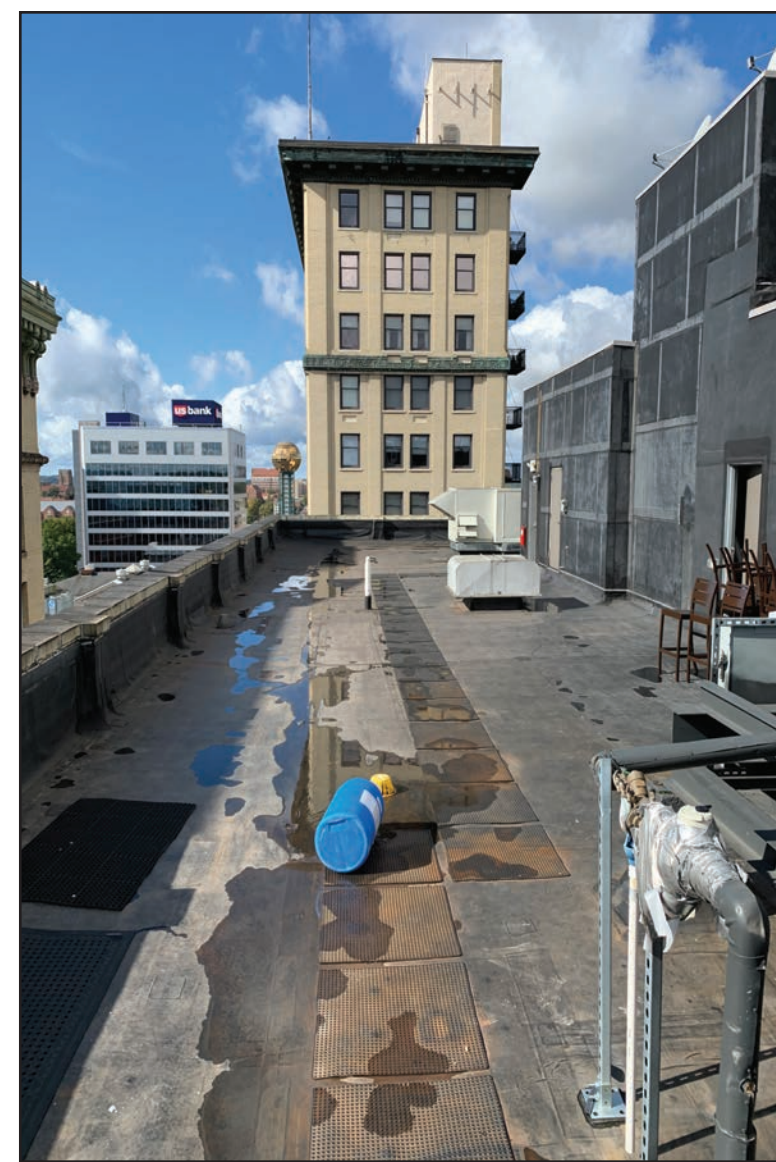
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End of memo



EXISTING ROOFTOP LOOKING EAST



EXISTING ROOFTOP BAR LOOKING SOUTHWEST



EXISTING ROOFTOP BAR LOOKING WEST



EXISTING ROOFTOP LOOKING WEST



EXISTING ROOFTOP BAR LOOKING NORTHWEST



EXISTING ROOFTOP LOOKING WEST



EXISTING ROOFTOP LOOKING NORTH AT ERV



AERIAL VIEW LOOKING NORTHWEST



AERIAL VIEW LOOKING SOUTH

PRELIMINARY NOT FOR CONSTRUCTION

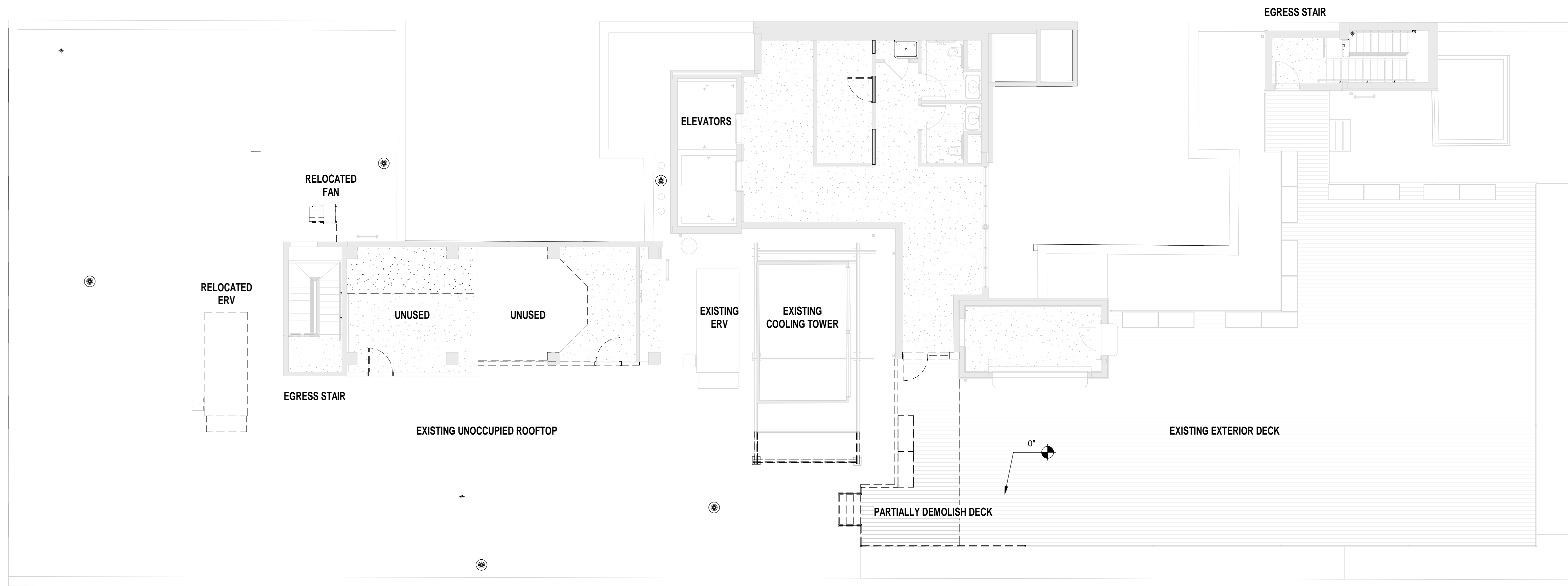
DATE	11/01/19
PROJECT #	15012REXP
SHEET NUMBER	0

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01

PENTHOUSE LEVEL PLAN - DEMO

1/8" = 1'-0"



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DATE	11/01/19
PROJECT #	15012REXP
SHEET NUMBER	1

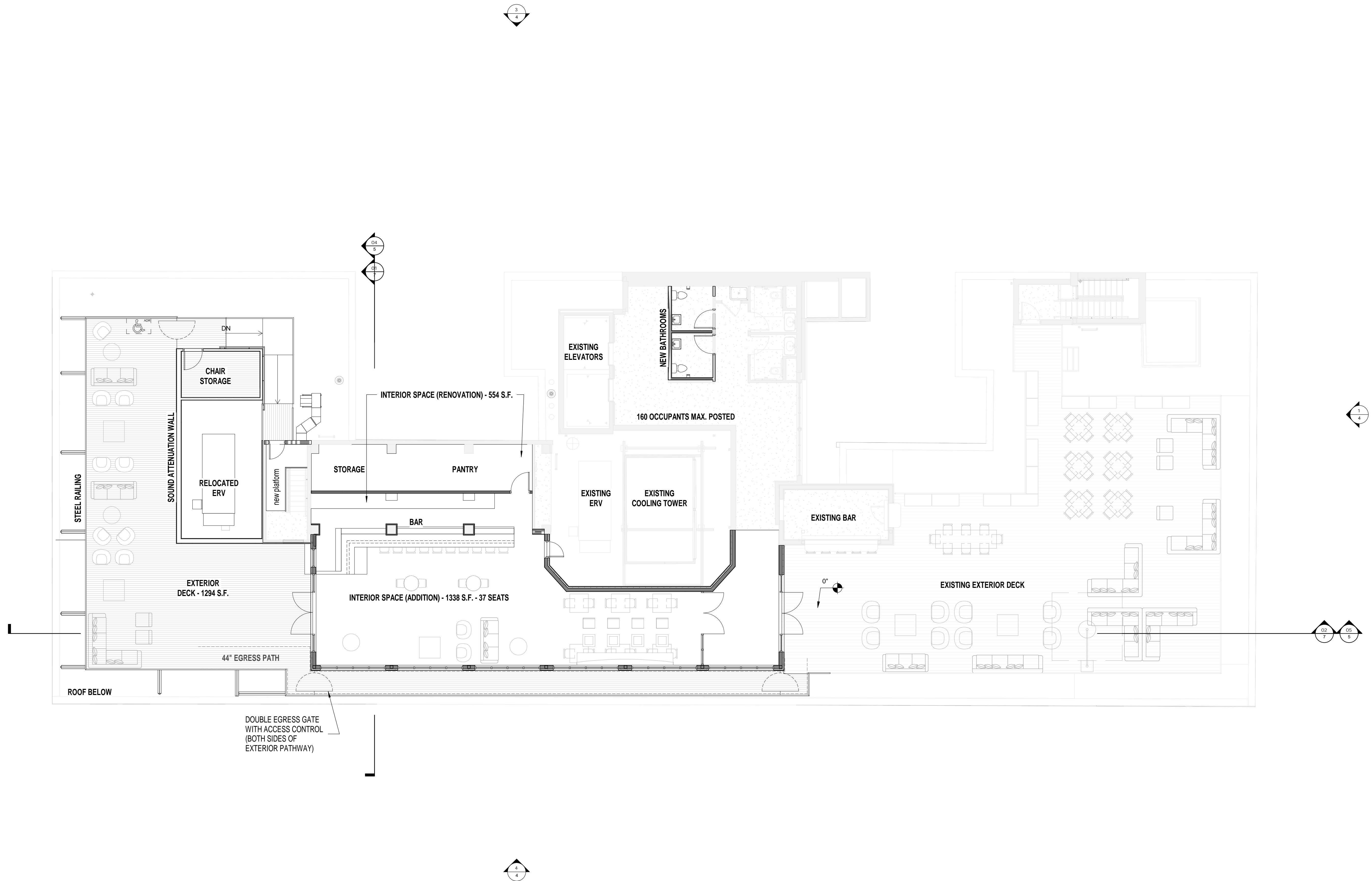
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**01** PENTHOUSE LEVEL PLAN

1/8" = 1'-0"

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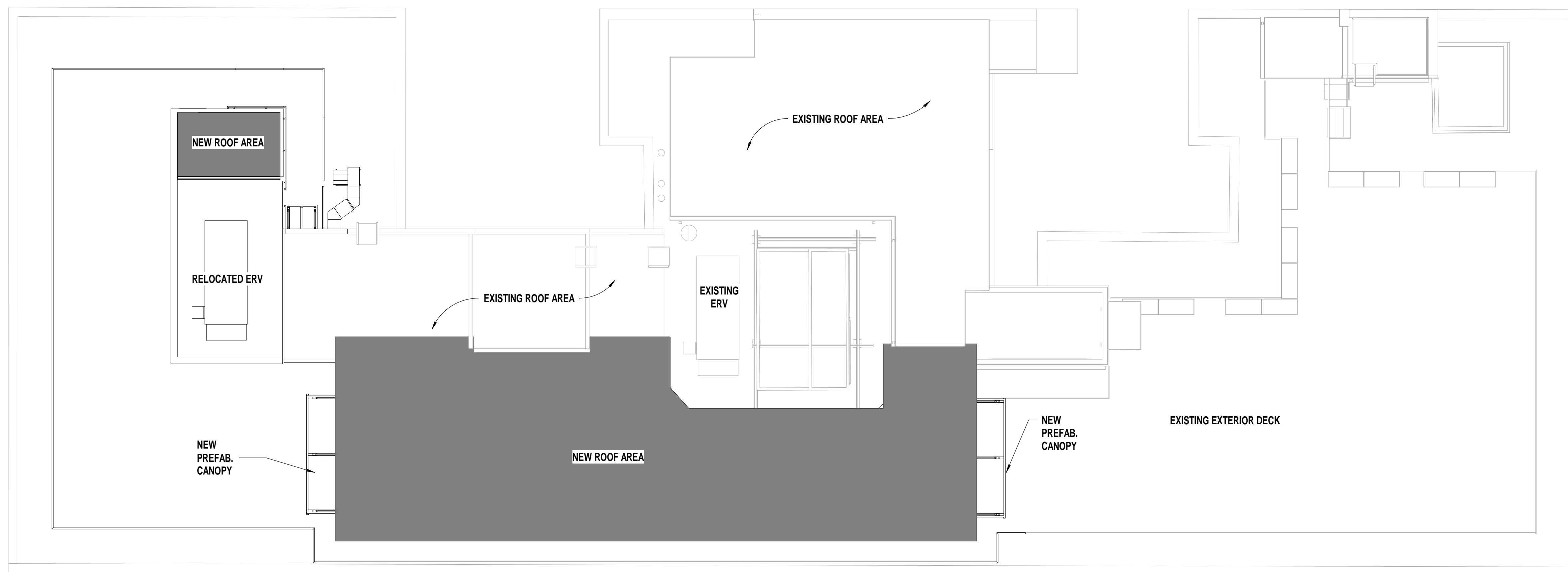
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PROJECT #	15012REXP
SHEET NUMBER	2

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01

HIGH ROOF PLAN

1/8" = 1'-0"

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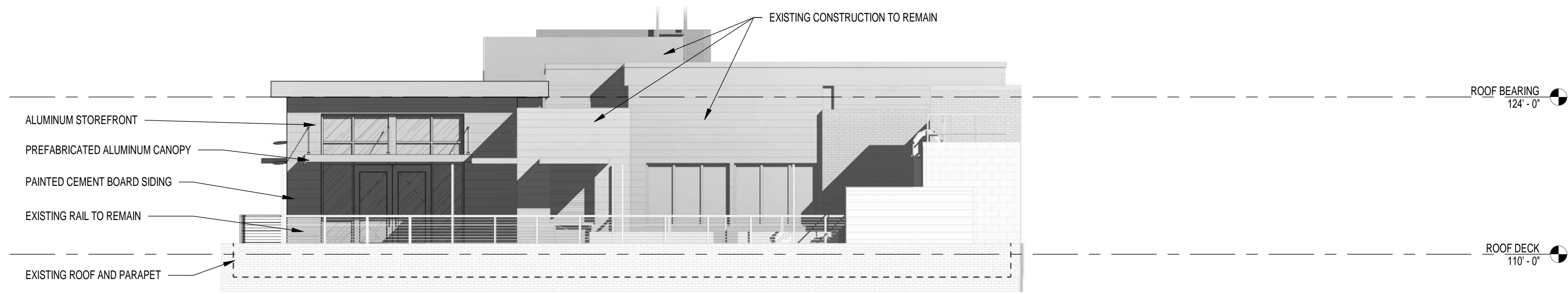
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PROJECT #	15012REXP
SHEET NUMBER	3

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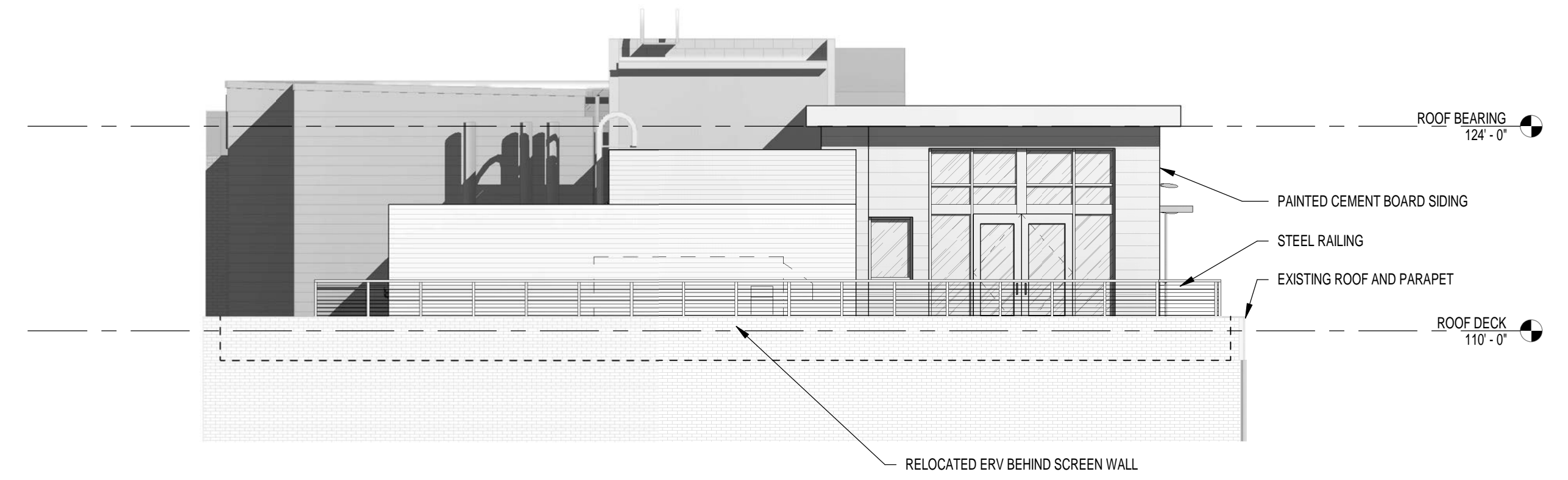
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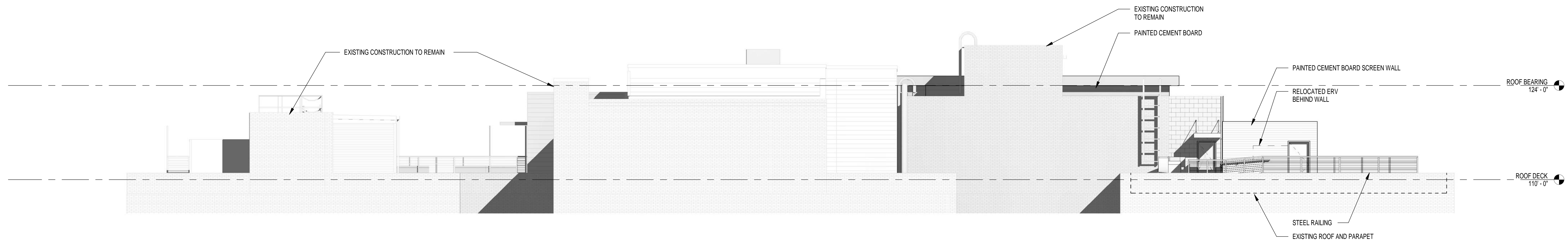
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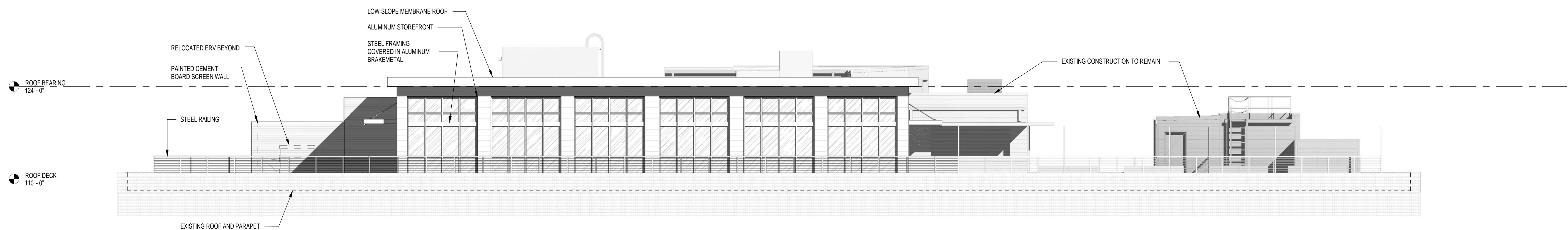
**1** EXTERIOR ELEVATION - EAST  
1/8" = 1'-0"



**2** EXTERIOR ELEVATION - WEST  
1/8" = 1'-0"



**3** EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0"



**4** EXTERIOR ELEVATION - SOUTH  
1/8" = 1'-0"

Revised: 11/8/2019

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DATE	11/01/19
PROJECT #	15012REXP
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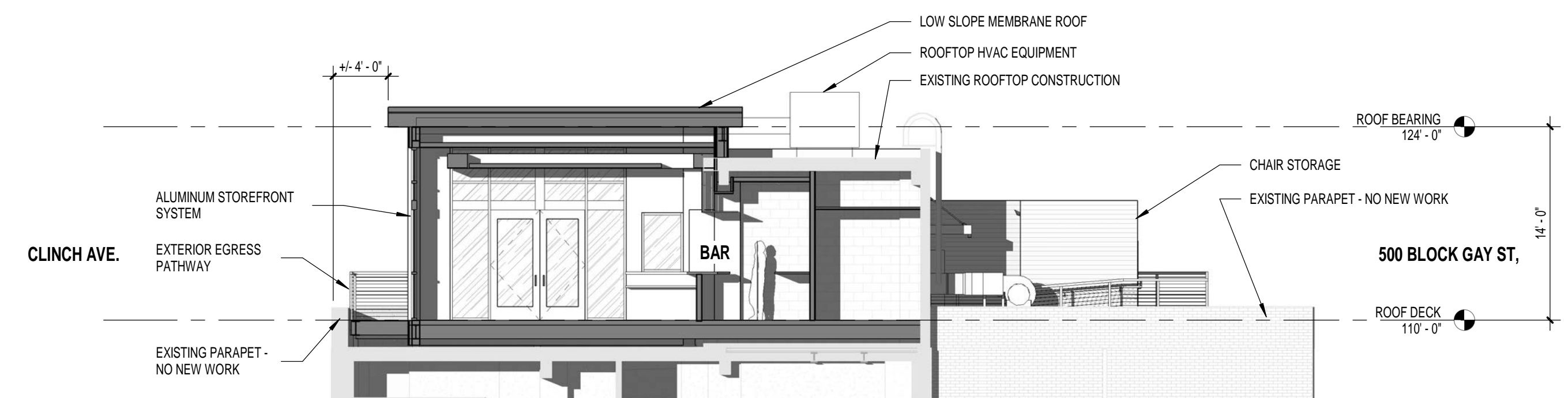
**01** PERSPECTIVE



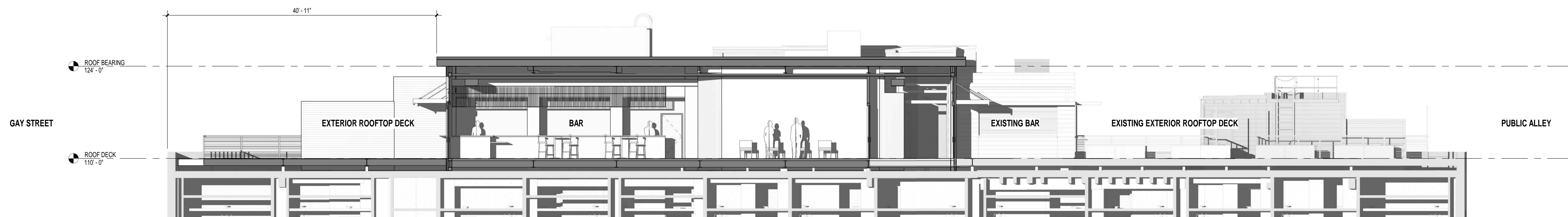
**02** PERSPECTIVE



**03** PERSPECTIVE



**04** BUILDING SECTION  
1/8" = 1'-0"



**05** BUILDING SECTION  
1/8" = 1'-0"

**PRELIMINARY NOT FOR CONSTRUCTION**

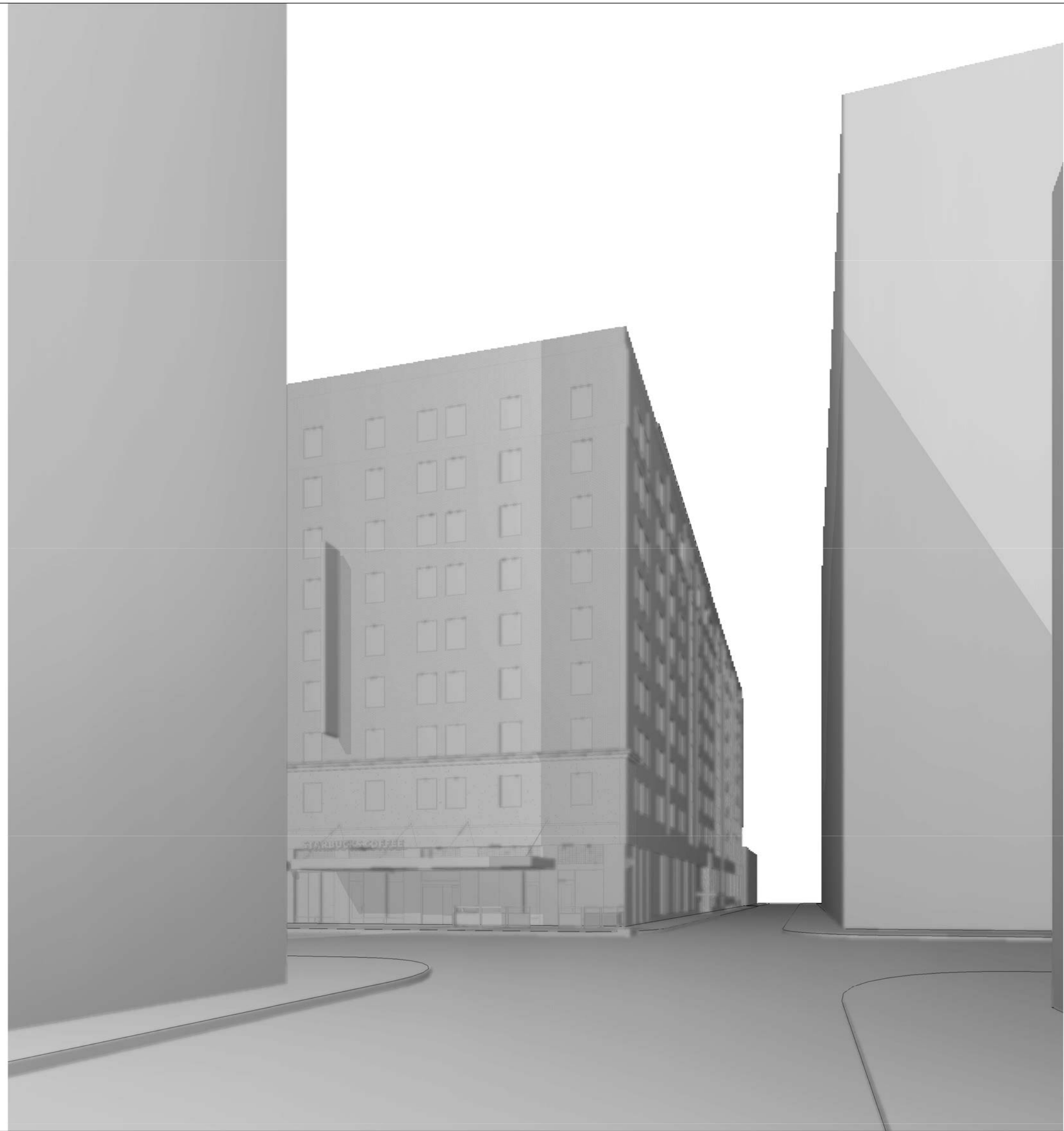
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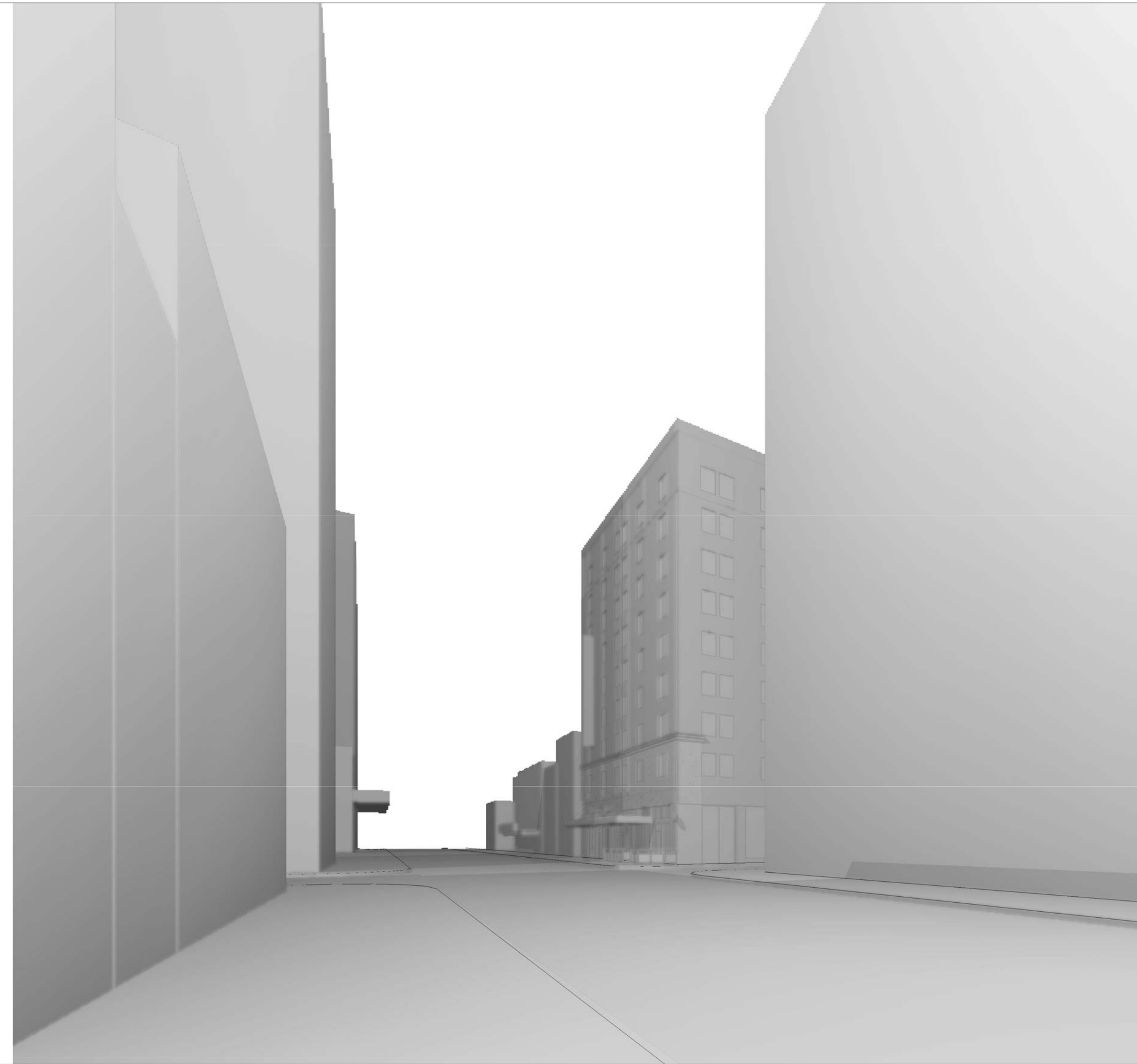
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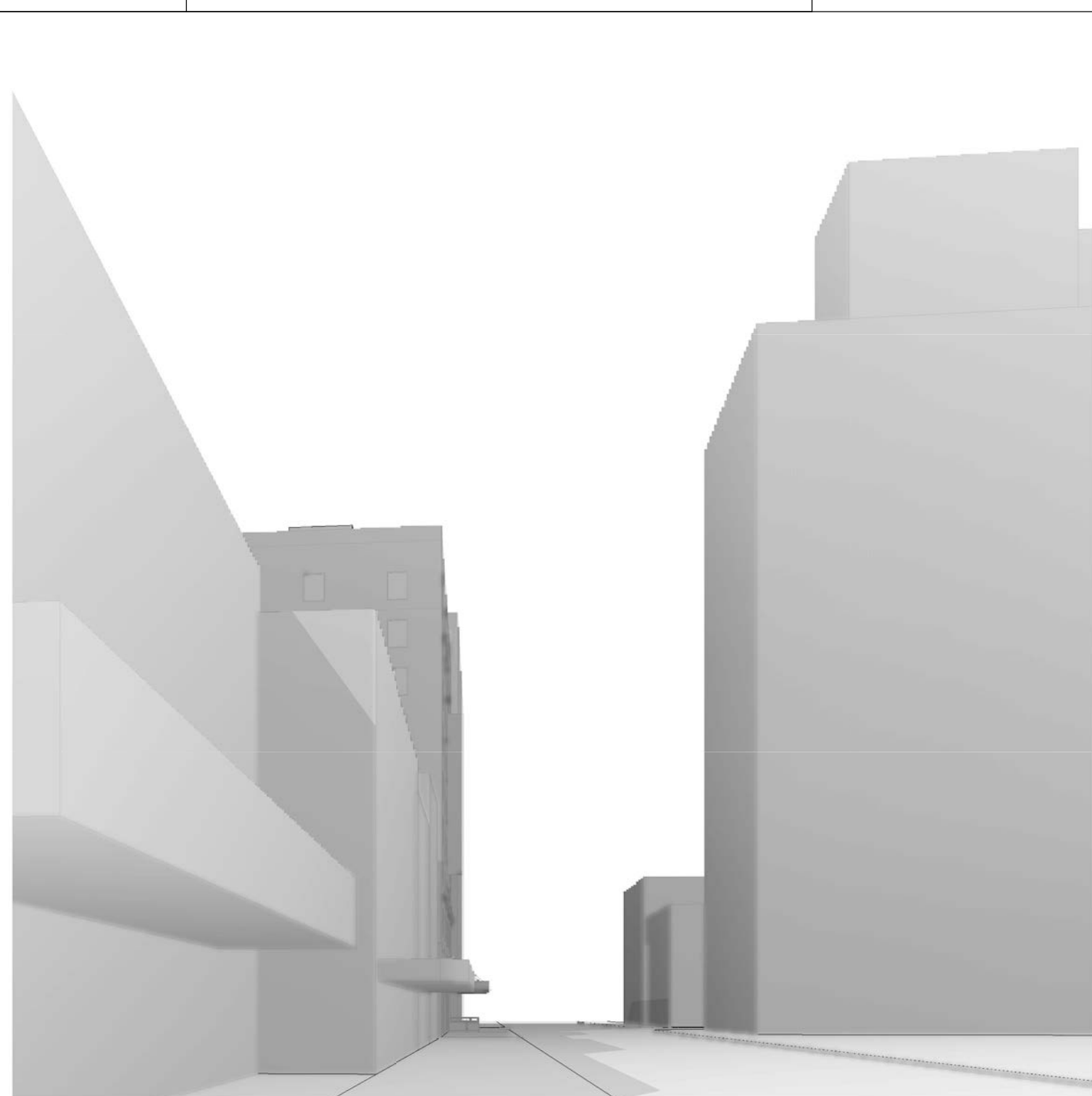
**01** VIEW FROM CLINCH AVE. LOOKING EAST



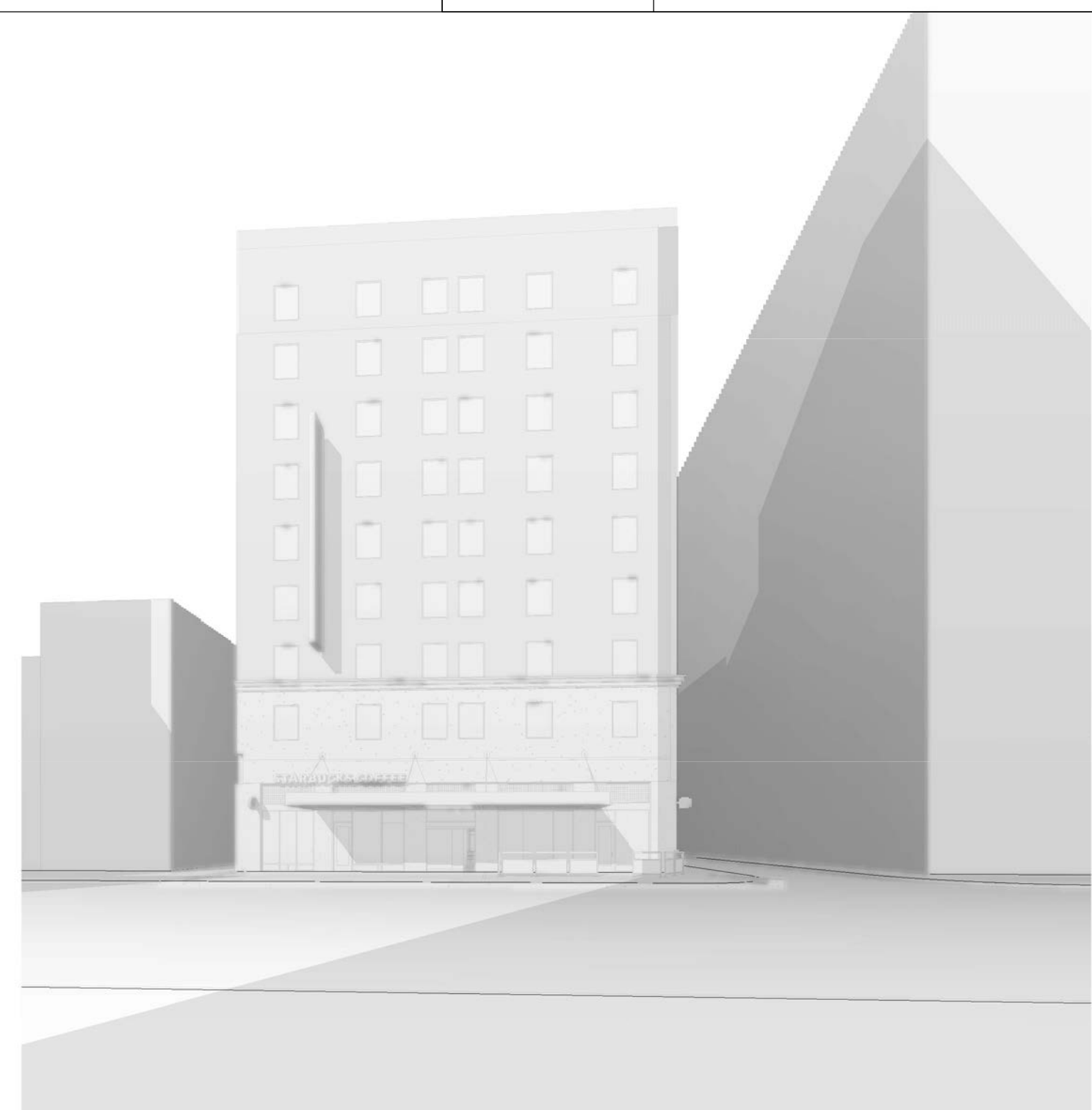
**02** VIEW FROM GAY ST. LOOKING NORTH



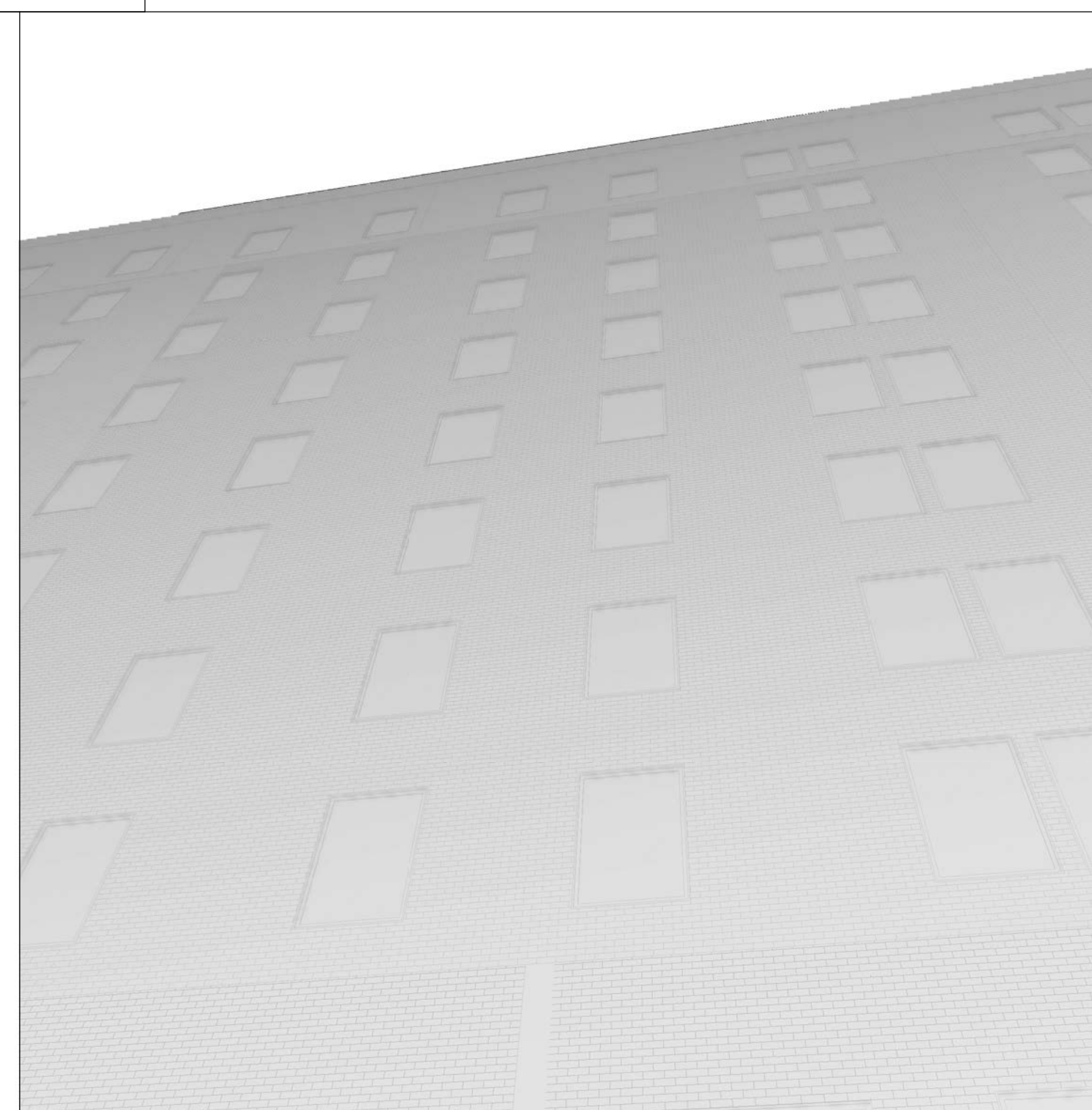
**03** VIEW FROM GAY ST. LOOKING SOUTH



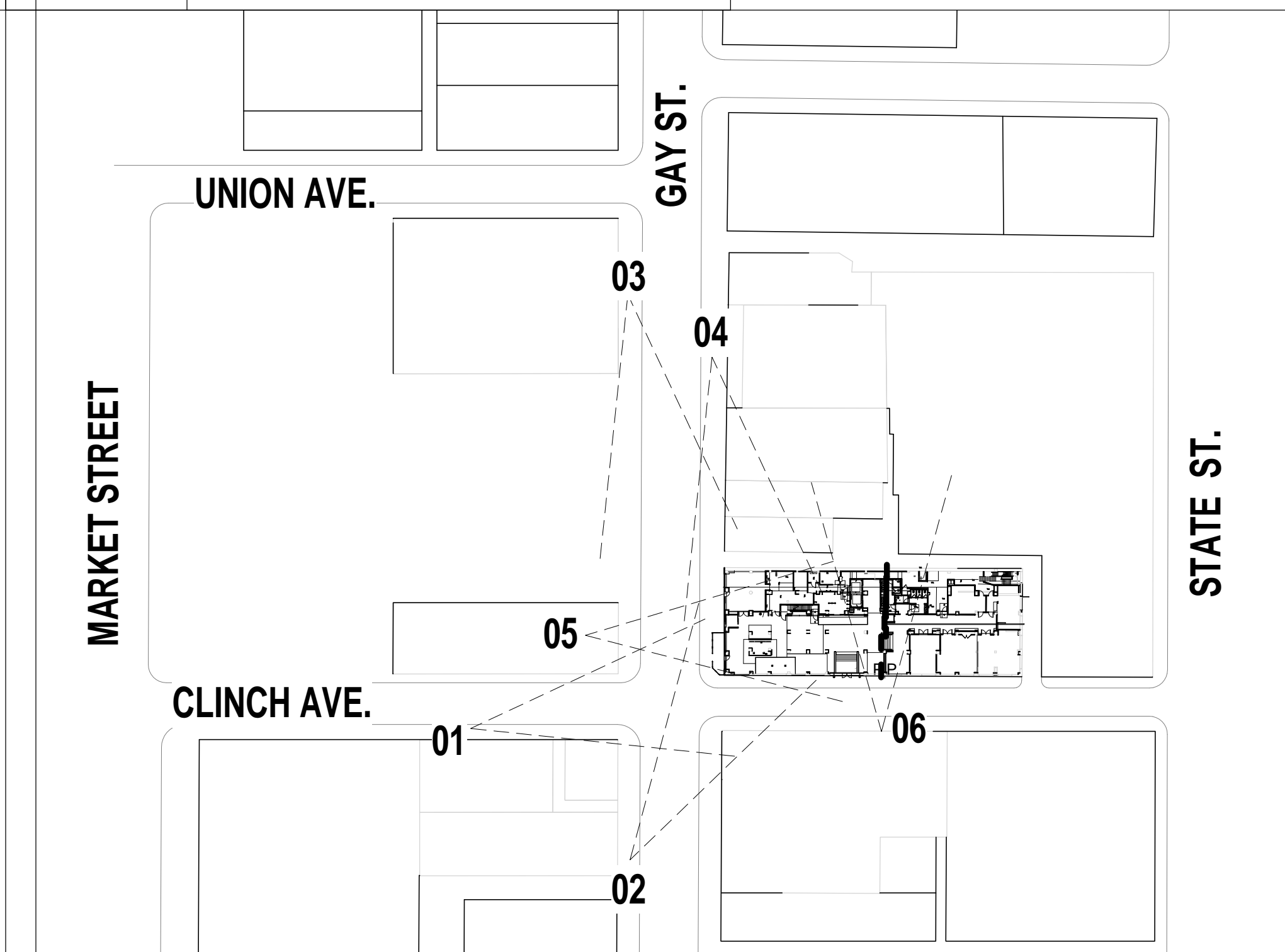
**04** VIEW FROM GAY ST. LOOKING SOUTH



**05** VIEW FROM GAY ST. LOOKING EAST



**06** VIEW FROM CLINCH AVE. LOOKING NORTH



**07** KEY PLAN  
1" = 80'-0"

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DATE	11/01/19
PROJECT #	15012REXP
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IPE WOOD SCREEN WALL WITH PLANTERS



IPE WOOD DECKING, FURNITURE AND CABLE RAIL



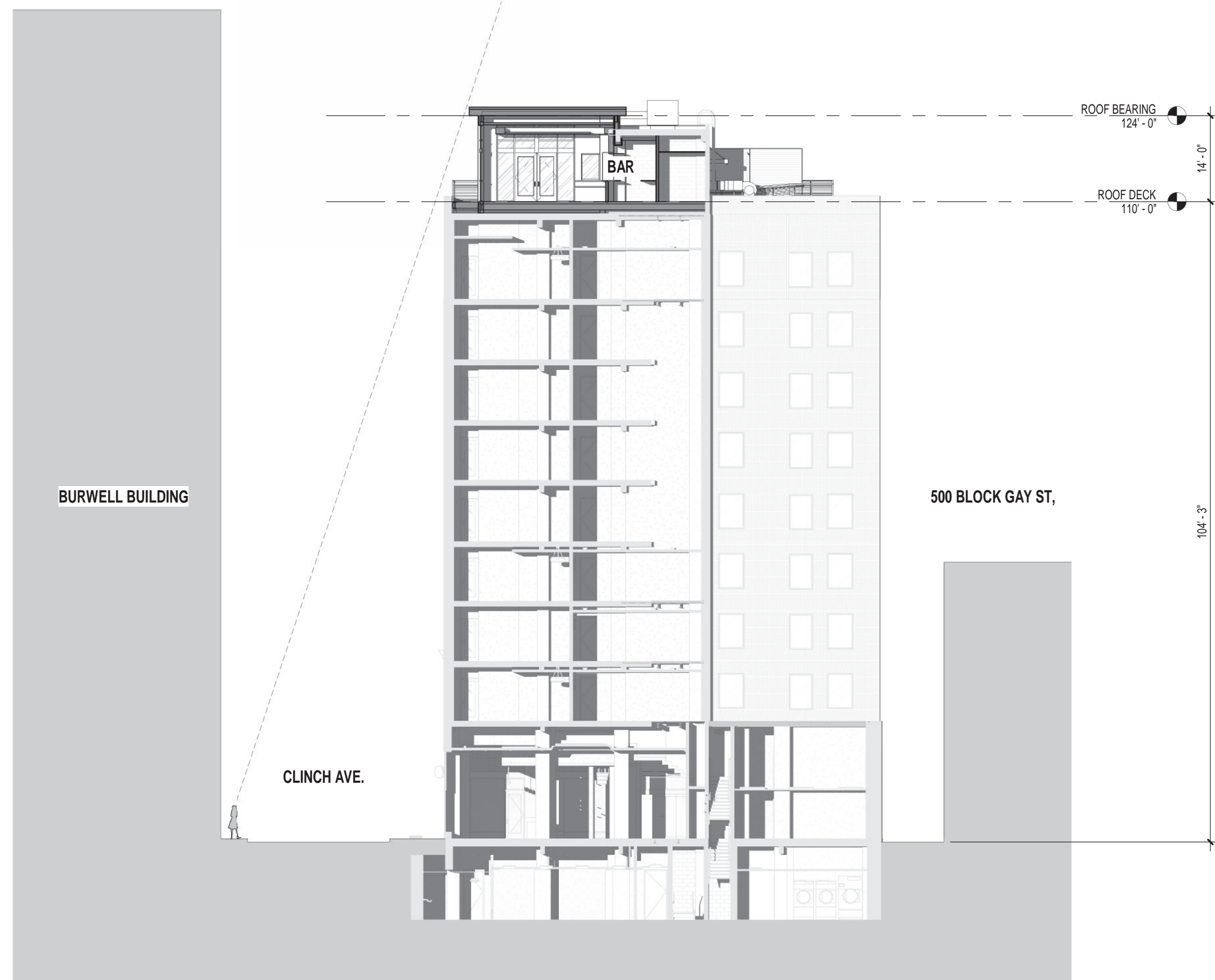
PREFINISHED ALUMINUM CANOPY, PAINTED CEMENT BOARD SIDING



PREFINISHED ALUMINUM STOREFRONT AND ENTRANCES - BLACK

03

PROPOSED MATL'S - MATCH EXISTING



01

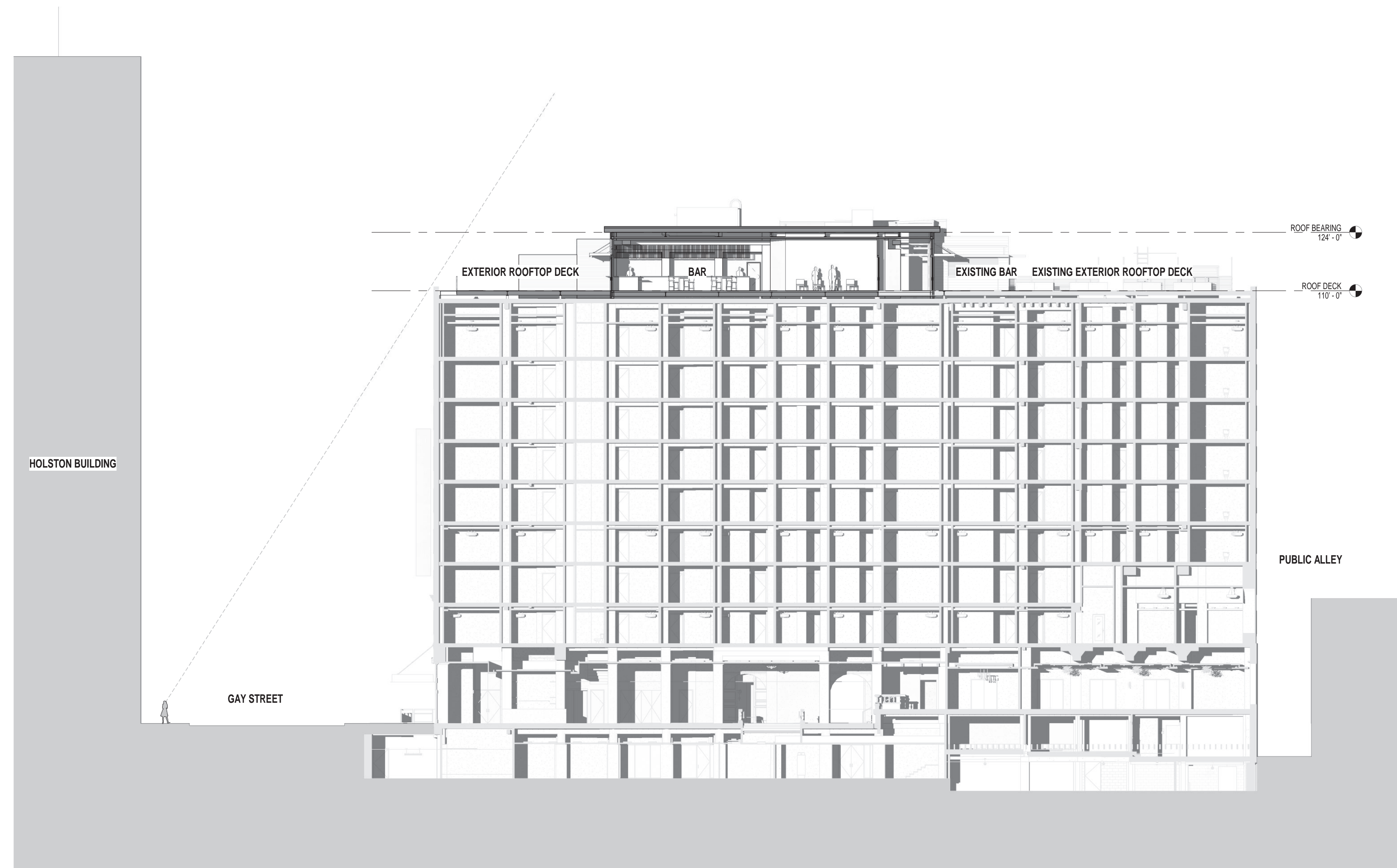
BUILDING SECTION

1/16" = 1'-0"

02

BUILDING SECTION

1/16" = 1'-0"



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DATE	11/01/19
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