

Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: MICHAEL VERSEN & ASSOCIATES

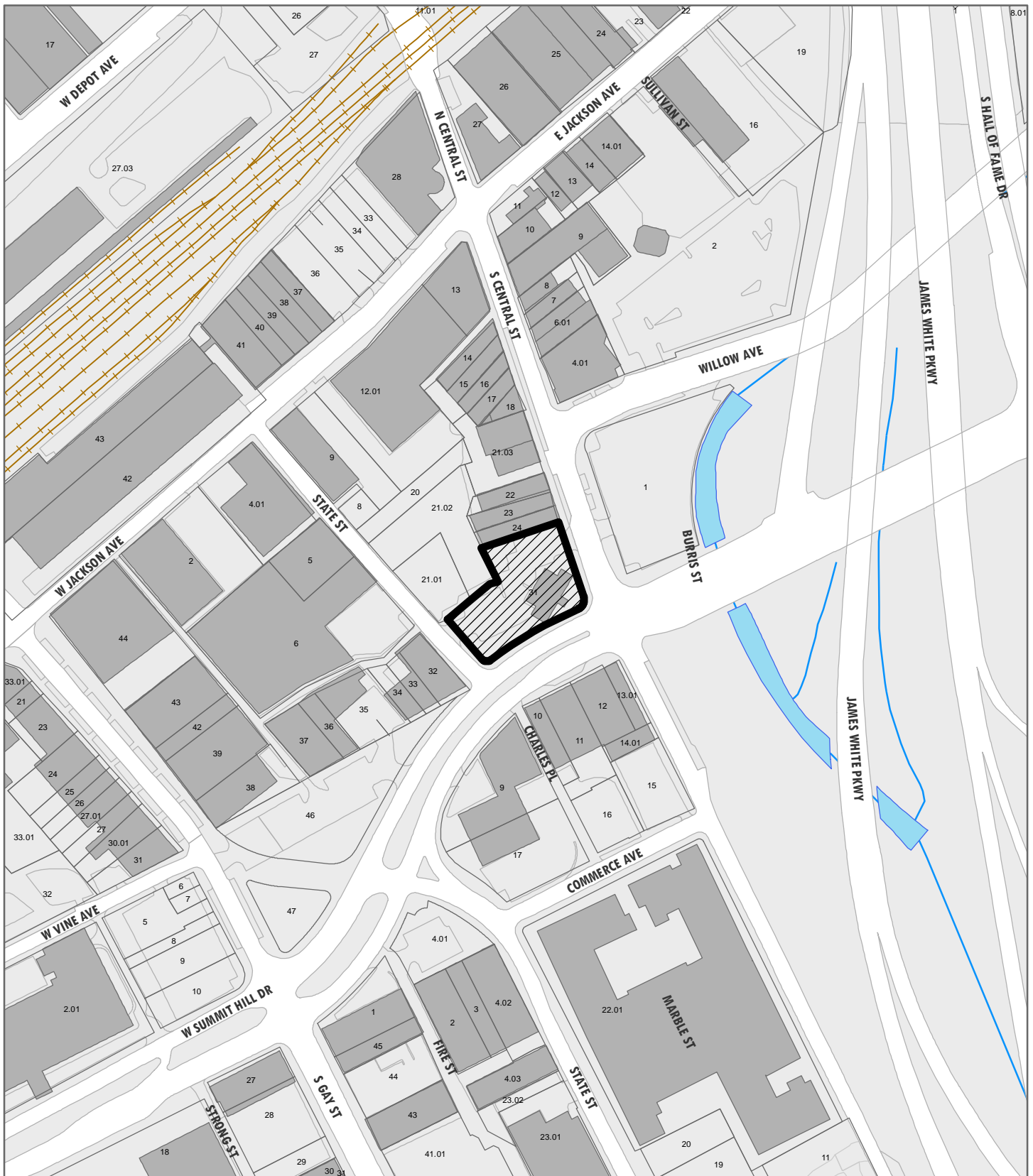
Owner Contractor Architect Engineer Other LANDSCAPE ARCHITECT

Date Filed: 3/29/19 Application accepted by: Mike Reynolds

Fee Amount: 50⁰⁰ Review Date: 4/17/2019 File Number: 4-C-19-DT

PRE-APPLICATION CONFERENCE		Date Completed: _____
<p style="text-align: center;">PROPERTY INFORMATION</p> <p>Building or Project Name: <u>MERCHANTS OF BEER</u></p> <p>Street Address: <u>137 S. CENTRAL ST.</u></p> <p>Parcel Identification Number(s): <u>094EG031</u></p>	<p style="text-align: center;">PROJECT ARCHITECT/ENGINEER</p> <p>PLEASE PRINT Name: <u>MICHAEL VERSEN</u></p> <p>Company: <u>MICHAEL VERSEN & ASSOCIATES</u></p> <p>Address: <u>299 N. WEISGARDER RD.</u></p> <p>City: <u>KNOXVILLE</u> State: <u>TN</u> Zip: <u>37919</u></p> <p>Telephone: <u>865/588-1331</u></p> <p>Fax: _____</p> <p>E-mail: <u>MICHAEL@VERSENASSOCIATES.COM</u></p>	
<p style="text-align: center;">PROPERTY OWNER</p> <p>PLEASE PRINT Name: <u>THOMAS BOYD</u></p> <p>Company: <u>BOYD'S GROUP PROPERTIES, LLC</u></p> <p>Address: <u>1101 LATRILL ST.</u></p> <p>City: <u>KNOXVILLE</u> State: <u>TN</u> Zip: <u>37917</u></p> <p>Telephone: <u>865/591-3576</u></p> <p>Fax: _____</p> <p>E-mail: <u>THOMAS@BOYDSGROUP.COM</u></p>	<p style="text-align: center;">PROJECT CONTRACTOR</p> <p>PLEASE PRINT Name: <u>NONE AT THIS TIME</u></p> <p>Company: _____</p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>Fax: _____</p> <p>E-mail: _____</p>	
<p style="text-align: center;">ACCOMPANYING MATERIALS</p> <p>Please see the reverse side of this form for a list of information required as part of this application.</p>		
FOR OFFICE USE ONLY		
<p style="text-align: center;">PROJECT INFORMATION</p> <p>LEVEL 1: \$50</p> <p><input checked="" type="checkbox"/> Minor Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Sign</p> <p>LEVEL 2: \$100</p> <p><input type="checkbox"/> Major Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Addition to an Existing Building/Structure</p> <p>LEVEL 3: \$250</p> <p><input type="checkbox"/> Construction of New Building/Structure</p>	<p style="text-align: center;">PROJECT CONTACT</p> <p>All application-related correspondence should be directed to:</p> <p>PLEASE PRINT Name: <u>MICHAEL VERSEN</u></p> <p>Company: <u>MICHAEL VERSEN & ASSOCIATES</u></p> <p>Address: <u>299 N. WEISGARDER RD.</u></p> <p>City: <u>KNOXVILLE</u> State: <u>TN</u> Zip: <u>37919</u></p> <p>Telephone: <u>865/588-1331</u></p> <p>Fax: _____</p> <p>E-mail: <u>MICHAEL@VERSENASSOCIATES.COM</u></p>	

NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.



4-C-19-DT

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

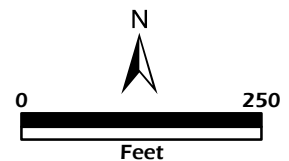
**DOWNTOWN
DESIGN
REVIEW
BOARD**



137 S Central St
Level 1: Minor alteration of an existing building/structure

Petitioner: Michael Versen / Michael Versen & Associates

Original Print Date: 4/10/2019
 Revised:
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902



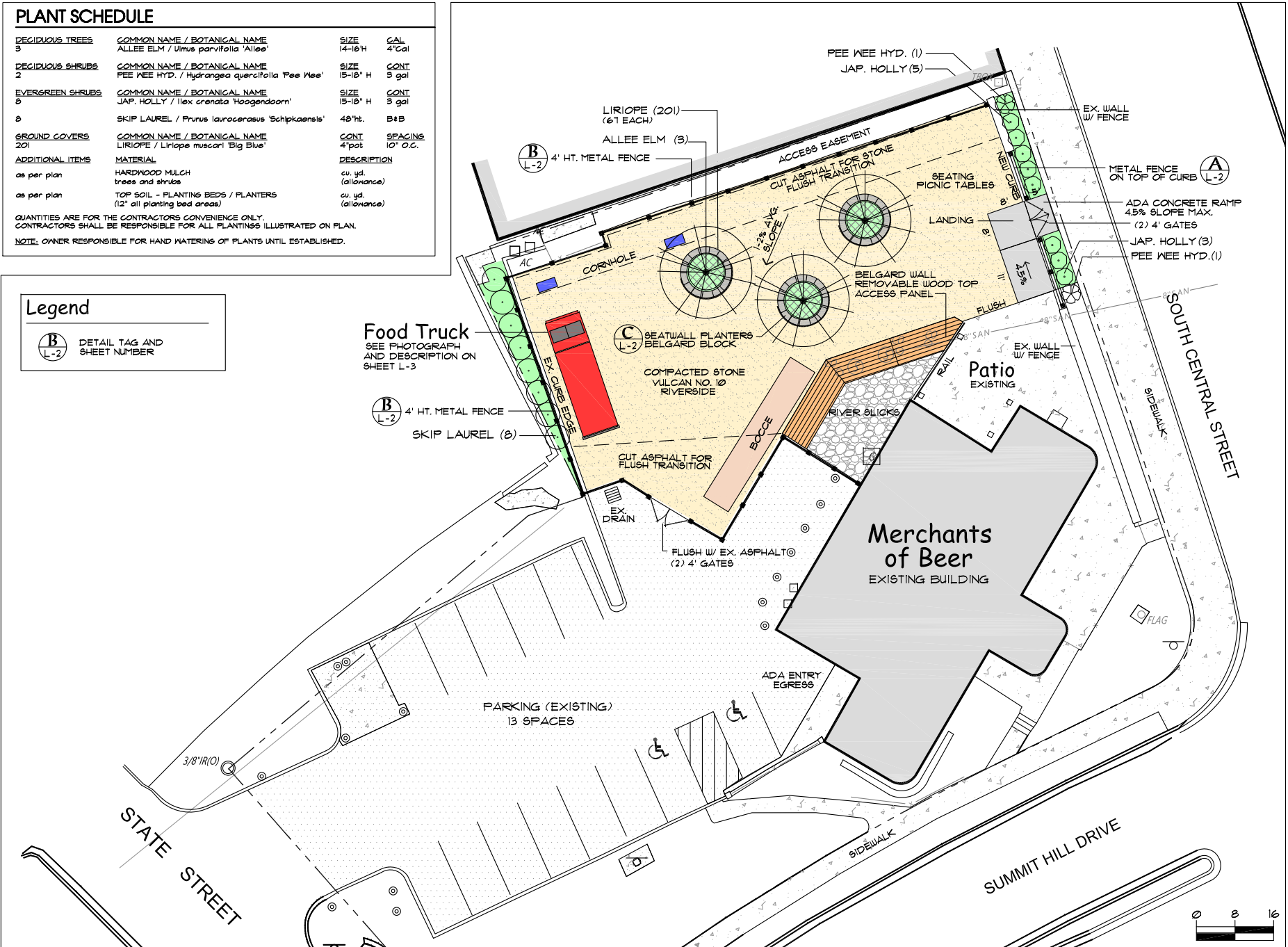
PLANT SCHEDULE

DECIDUOUS TREES	COMMON NAME / BOTANICAL NAME	SIZE	GAL
5	ALLEE ELM / <i>Ulmus parvifolia</i> 'Allee'	14-16'H	4'Gal
DECIDUOUS SHRUBS	COMMON NAME / BOTANICAL NAME	SIZE	CONT
2	PEE WEE HYD. / <i>Hydrangea quercifolia</i> 'Pee Wee'	15-18" H	3 gal
EVERGREEN SHRUBS	COMMON NAME / BOTANICAL NAME	SIZE	CONT
8	JAP. HOLLY / <i>Ilex crenata</i> 'Hoogendoorn'	15-18" H	3 gal
8	SKIP LAUREL / <i>Prunus laurocerasus</i> 'Schipkaensis'	48"ht.	B4B
GROUND COVERS	COMMON NAME / BOTANICAL NAME	CONT	SPACING
201	LIRIOPE / <i>Liriope muscari</i> 'Big Blue'	4'pot	10" O.C.
ADDITIONAL ITEMS	MATERIAL	DESCRIPTION	
as per plan	HARDWOOD MULCH	cu. yd. (allowance)	
as per plan	TOP SOIL - PLANTING BEDS / PLANTERS	cu. yd. (allowance)	

QUANTITIES ARE FOR THE CONTRACTORS CONVENIENCE ONLY. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL PLANTINGS ILLUSTRATED ON PLAN. NOTE: OWNER RESPONSIBLE FOR HAND WATERING OF PLANTS UNTIL ESTABLISHED.

Legend

(B)
L-2
DETAIL TAG AND SHEET NUMBER



MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE LAND PLANNING
299 N. WELLSBARGER RD., SUITE 201, KNOXVILLE, TN 37919
PH: 865-598-1931

Concept Plan - Garden Courtyard
Merchants of Beer
137 South Central Street Knoxville, Tennessee



SCALE 1/16" = 1'-0"

JOB NO. 219216
DRAWN: MAV/RLM
DATE: MAY 2, 2019

SHEET:
L-1



view from Summit Hill Drive



view from South Central Street



MICHAEL VERSEN & ASSOCIATES
 LANDSCAPE ARCHITECTURE • LAND PLANNING
 299 N. WESGARDNER RD., SUITE 201, KNOXVILLE, TN 37919
 PH: 865-588-1931

Site Details & Street Photographs

Merchants of Beer
 137 South Central Street Knoxville, Tennessee



SCALE 1/16" = 1'-0"

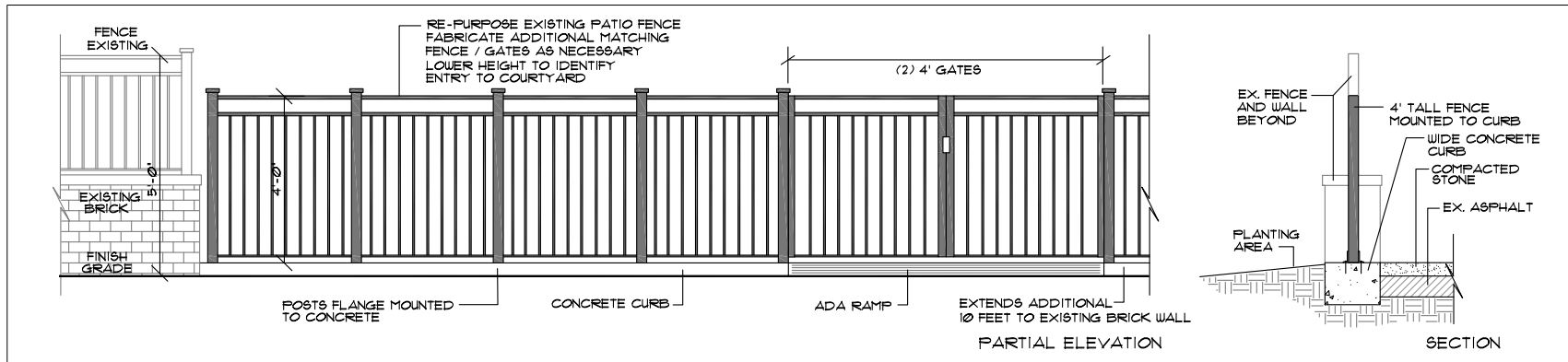
JOB NO. 219016

DRAWN: MAV/RJM

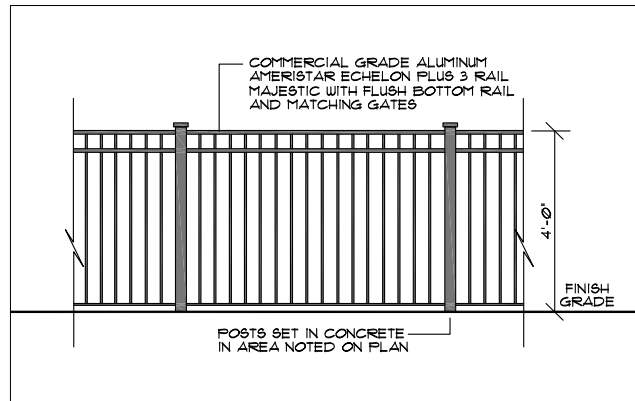
DATE: MAY. 2, 2019

SHEET:

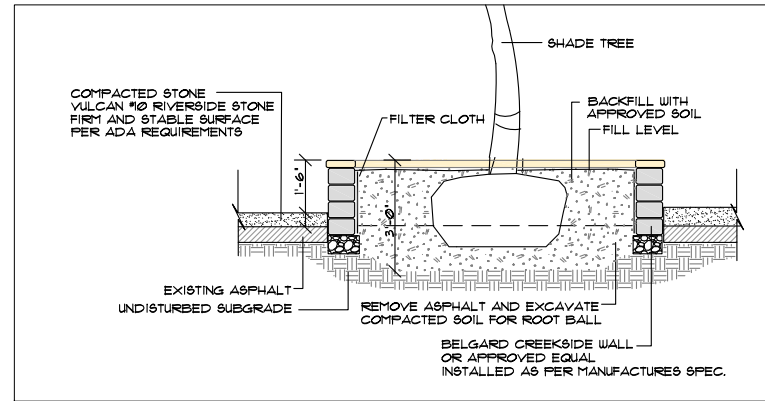
L-2



Metal Fence - South Central St. (A)
 NOT TO SCALE



Metal Fence - perimeter, west side & parking (B)
 NOT TO SCALE



Planter / Seatwall (C)
 NOT TO SCALE

food truck description

- RENOVATED FOOD TRUCK.
- NEW WASTE WATER LINE TO EXISTING SANITARY SEWER LINE AND GREASE TRAP.




food truck

compacted stone description

- VULCAN MATERIALS #10 RIVERSIDE STONE 3 INCH DEPTH COMPACTED.

No. 10



The designation for screenings is No. 10, and it consists of material ranging from 1/2" down to fine dust. Screenings are often used for pedestrian walkways, pipe backfill, concrete block, and in livestock areas.

Specifications

Sieve Size	% Passing
3/8"	100
No. 4	85-100
No. 100	10-30

Applications

Pedestrian Walkways
Livestock Areas
Pipe Backfill

segmental wall material description

- SEATWALL / PLANTERS AND WOOD BENCH SIDE WALLS.
- BELGARD CONCRETE BLOCK INSTALLED ON COMPACTED GRAVEL BASE ASPHALT REMOVED AS NECESSARY.



segmental wall material



MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTURE LAND PLANNING
299 N. WELLSGARDER RD., SUITE 201, KNOXVILLE, TN 37919
PH: 865-588-1331

Site Elements & Materials

Merchants of Beer
137 South Central Street Knoxville, Tennessee

JOB NO. 219016

DRAWN: MAV/RJM

DATE: MAY, 1, 2019

SHEET:

L-3

NOTES

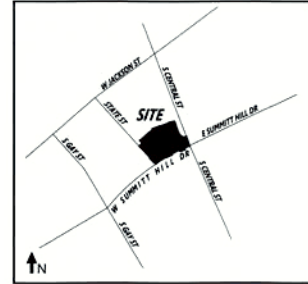
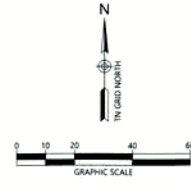
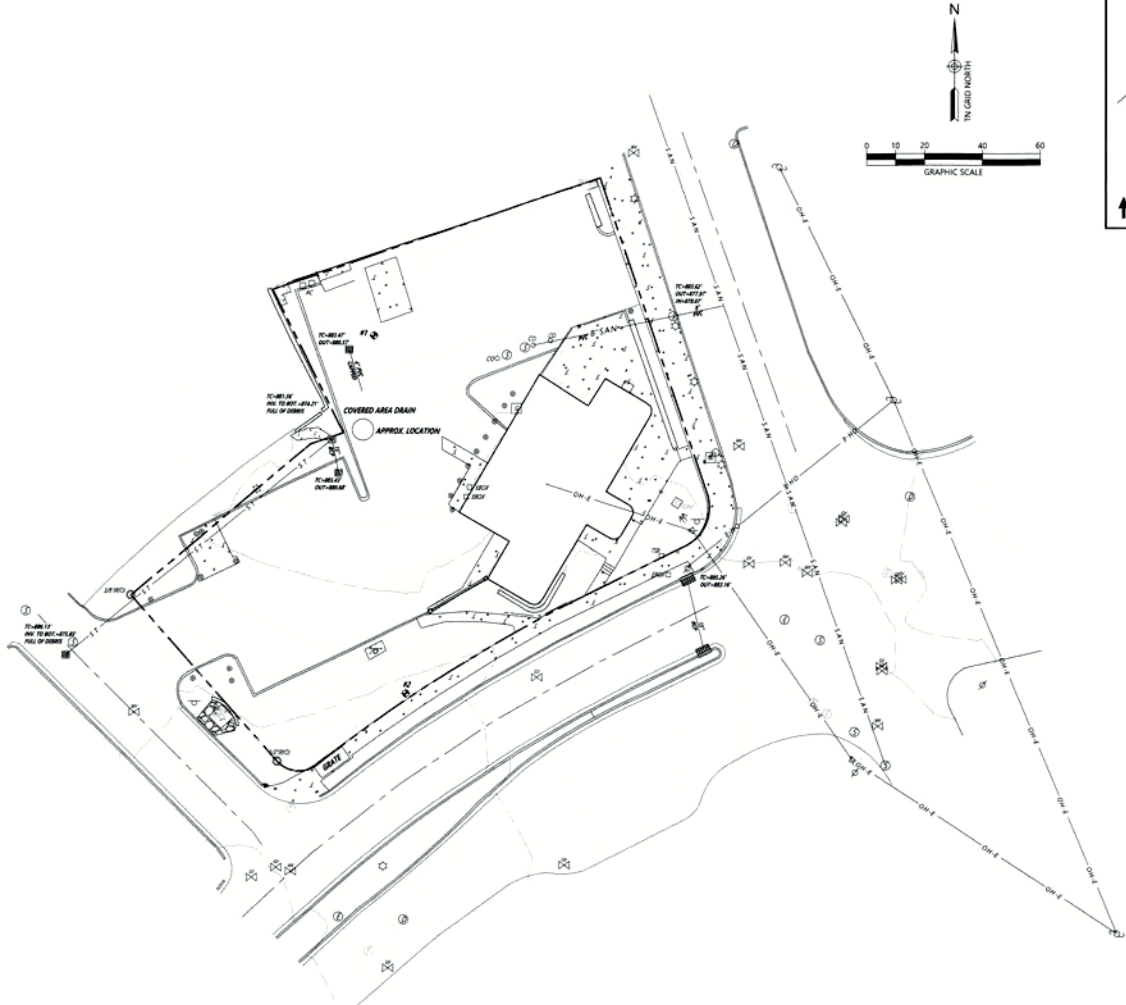
1. SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE OWNER ON THE DATE OF THE SURVEY AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITIES WITHOUT AN EXPRESSED RE-CERTIFICATION BY WHOSE SIGNATURE APPEARS UPON THE SURVEY.
2. ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
3. THE PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL NUMBERS 47093C0281G, DATED 08/05/2013 & 47093C0283G, DATED 08/05/2013.
4. THIS SURVEYOR WAS NOT PROVIDED WITH A TITLE COMMITMENT, THEREFORE THE PROPERTY IS SUBJECT TO THE FINDINGS OF A DETAILED TITLE SEARCH.
5. PRIOR TO ANY CONSTRUCTION, EXCAVATION OR ANY DISTURBANCE OF THE EXISTING GROUND ELEVATION, THE OWNER AND /OR CONTRACTOR SHOULD ASSUME RESPONSIBILITY OF CONTACTING THE LOCAL UTILITY AUTHORITIES FOR EXACT LOCATION OF UNDERGROUND GAS LINES, TELEPHONE LINES, ELECTRIC CABLES, WATER LINES, ETC. TO AVOID ANY HAZARD OR CONFLICT. IN TENNESSEE, IT IS A REQUIREMENT PER THE "UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE (3) NOR MORE THAN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR EXCAVATION TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. DIAL 811 FOR A ONE CALL CENTER.
6. UTILITIES SHOWN WERE TAKEN FROM FIELD LOCATIONS THAT WERE APPARENT AND CORDED FROM APPROPRIATE GOVERNING AGENCIES MAPS AND ARE APPROXIMATE AT BEST. THERE MAY BE UTILITIES, THE EXISTENCE OF WHICH IS UNKNOWN TO THE SURVEYOR.
7. TOPOGRAPHIC INFORMATION WAS DERIVED BY RANDOM SHOTS PER FIELD SURVEY; CONTOUR INTERVAL IS 1'; DATUM BASED ON NAVD88.
8. SURVEY FIELD DATA COLLECTED ON 04/15/2019

- #1
 SITE BM MAG NAIL
 ELEV. 883.55

 #2
 SITE BM 600 NAIL
 ELEV. 891.25

LEGEND

PAVED RD	(W)
LOT NO	(1)
IRON ROD C/D	⊙
IRON ROD SET	⊗
IRON PIPE C/D	⊙
PIPE C/D	⊗
CONCRETE MON C/D	⊙
PROPERTY LINE	---
FENCE LINE	- - -
CONTOUR LINE	—
OVERHEAD POWER LINE	—O—O—O—
UNDERGROUND POWER LINE	—x—x—x—
UNDERGROUND WATER LINE	—w—w—w—
UNDERGROUND GAS LINE	—g—g—g—
TELEPHONE WIRELESS	—t—t—t—
TELEPHONE WIRE	—w—w—w—
TELEPHONE FIBER	—f—f—f—
ELECTRIC WIRE	—e—e—e—
ELECTRIC METER	⊞
TELEPHONE SIGNAL POST	⊞
UTILITY POLE	⊞
UTILITY WIRE	—
UTILITY POLE W/ LIGHT	⊞
UNDERGROUND WATER WIRELESS	—w—w—w—
UNDERGROUND GAS WIRELESS	—g—g—g—
CLUB PALET	⊞
CATCH BASIN	⊞
CURB/OUT	⊞
PIPE W/STAMP	⊞
WATER METER	⊞
WATER VALVE	⊞
IRRIGATION CONTROL VALVE	⊞
SEA METER	⊞
SEA POST	⊞
BOUNDARY	⊞
CONCRETE	⊞



SURVEYOR'S CERTIFICATE
 I hereby certify that the foregoing is a true and correct copy of the original survey and believe the herein shown boundary & topographic information is a Category "1" survey having an unadjusted ratio of accuracy of 1:10,000 and is true and correct.
 By: *Robert D. Sanders* Date: *4/15/19*
 ROBERT D. SANDERS, Surveyor No. 1588

 6515 NORTHGATE LANE KNOXVILLE, TN 37909 (865) 970-0000	
BOYD'S GROUP PROPERTIES LLC 1101 LUTHERAL STREET KNOXVILLE, TN 37917 (865) 591-1374	
TOPOGRAPHIC SURVEY	
MERCHANTS OF BEER 137 S CENTRAL STREET TAX MAP 94E-G, PARCEL 31 KNOXVILLE, KNOX COUNTY, TENNESSEE	
PROJECT NUMBER 554319007	DRAWING NUMBER S1.0

SITE & GRADING

- 1. SURVEY**
SURVEY DATA PROVIDED BY OWNER.
- 2. SITE FAMILIARITY**
REVIEW AND BECOME FAMILIAR WITH SITE BEFORE COMMENCING WORK. VERIFY LOCATIONS OF ALL UTILITIES, SUBSURFACE DRAINAGE AND CONDITIONS, WHICH MAY BE IN THE WAY OR AFFECT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL TENNESSEE ONE CALL TO REQUEST EXACT FIELD LOCATION OF UTILITIES. PROTECT AND MAINTAIN EXISTING UTILITIES AND SITE FEATURES AS REQUIRED.
- 3. CODES, PERMITS AND STANDARDS**
CONTRACTOR SHALL OBTAIN AND SUBMIT ALL NECESSARY CONSTRUCTION PERMITS FOR WORK. CONTRACTOR SHALL CONFORM TO ALL STATE AND LOCAL CODES AND RECEIVE GOVERNMENTAL APPROVAL, WHERE NECESSARY PRIOR TO CONSTRUCTION. SUBMIT COPIES OF PERMITS TO OWNER PRIOR TO CONSTRUCTION. INSTALL MATERIALS AND EQUIPMENT AS PER SPECIFICATIONS, INDUSTRY STANDARDS AND MANUFACTURER'S INSTRUCTIONS.
- 4. REFERENCE STANDARDS**
TENNESSEE DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAYS (TENN. DOT)
STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION MARCH 1, 1991
AMERICAN CONCRETE INSTITUTE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS EROSION AND SEDIMENT CONTROL HANDBOOK."
- 5. LAYOUT**
THE CONTRACTOR SHALL CONFINE ALL CONSTRUCTION ACCESS AND ACTIVITY TO AREAS DESIGNED BY THE LANDSCAPE ARCHITECT / OWNER WITHIN LIMITS OF CONSTRUCTION ZONE.

THE SITE LAYOUT IS BASED ON EXISTING SITE FEATURES AS NOTED ON PLAN. MINOR LAYOUT ADJUSTMENTS MAY BE NECESSARY IN THE FIELD TO ACHIEVE THE DESIGNED ALIGNMENT.

THE CONTRACTOR SHALL VERIFY ALL GRADES AND FINAL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT IMMEDIATELY FOR DECISION.

WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE DRAWINGS. SHOULD ANY DISCREPANCIES OCCUR, REPORT TO LANDSCAPE ARCHITECT FOR CLARIFICATION.

LAYOUT AND STAKE PROJECT PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS IN FIELD. CONTRACTOR LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS IN ADVANCE TO SCHEDULE SITE INSPECTION AND APPROVAL OF LAYOUT.

6. GRADING AND DRAINAGE
UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISH GRADE. EXISTING CONTOURS ARE SHOWN AT 1 FT. INTERVALS.

LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST GRADES AND LAYOUT TO ACCOMMODATE LOCAL CONDITIONS, SUCH ADJUSTMENTS, IF MADE WILL BE DEEMED CLARIFICATIONS AND NOT CHANGE ORDERS.

ELEVATIONS AT INTERSECTIONS WITH EXISTING PAVEMENT ARE ASSUMED. ASSURE SMOOTH WELL-DRAINED TRANSITIONS BETWEEN PROPOSED AND EXISTING PAVEMENTS. PROVIDE EVEN GRADE TO DESIGNATED LOW POINTS. CONTRACTOR SHALL GET LANDSCAPE ARCHITECT'S APPROVAL OF FINAL GRADING LAYOUT PRIOR TO PAVING INSTALLATION.

ENSURE POSITIVE DRAINAGE ON PAVING (NO PUDDLING) AND AWAY FROM BUILDING.

7. SIDEWALKS
CONCRETE SHALL BE 4000 PSI 4 INCHES THICK PLACED ON A MINIMUM OF 4 INCH STONE BASE. REINFORCEMENT SHALL BE 6X6 NO. 1010 WWM. FINISH IS TO BE MEDIUM BROOM.

REMOVE TOPSOIL LAYER AND COMPACT SUBGRADE BASE. CROSS FROM WALKS EXPANDED TOWARD ROADWAY OR AS INDICATED.

EXPANSION JOINTS SHALL BE PROVIDED FOR SIDEWALKS AT 20 FEET O.C. AND TOOLED CONTROL JOINTS EVERY 5 FEET O.C.

EXPANSION JOINTS SHALL BE PROVIDED AT ALL JUNCTIONS BETWEEN CONCRETE PAVEMENT, WALLS, STEPS, BUILDING OR OTHER SITE STRUCTURES.

8. EROSION CONTROL
CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AS REQUIRED DURING CONSTRUCTION OPERATIONS TO COMPLY WITH STATE OF TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK AND THE TDEC AQUATIC RESOURCE ALTERATION PERMIT REQUIREMENTS.

CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCES TO PREVENT DIRT AND MUD FROM TRACKING ONTO STREET.

INSPECT PAVING AND ADJACENT PROPERTY DAILY TO INSURE EROSION CONTROL.

SEDIMENT DEPOSITED ON STREETS BY CONSTRUCTION ACTIVITIES SHALL BE CLEANED-UP IMMEDIATELY.

PROVIDE AND MAINTAIN INLET PROTECTION AROUND EXISTING CATCH BASINS TO PREVENT SILTATION THROUGHOUT CONSTRUCTION.

9. DEMOLITION
CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH BUILDING OPERATIONS.

CONDUCT OPERATIONS TO PREVENT DAMAGE TO EXISTING STRUCTURE AND IN ACCORDANCE WITH O.S.H.A. STANDARDS, CODES AND LOCAL ORDINANCES.

REMOVE DEBRIS, RUBBISH AND OTHER MATERIAL, RESULTING FROM DEMOLITION FROM THE SITE. DISPOSE OF MATERIAL IN A LEGAL MANNER. RECYCLE MATERIAL WHENEVER POSSIBLE.

REMOVE EXISTING CONSTRUCTION WHERE INDICATED OR AS REQUIRED FOR MODIFICATION OR INSTALLATION OF NEW CONSTRUCTION.

REMOVE WITH CARE THOSE ITEMS INDICATED TO BE REUSED OR SALVAGED. SAVE ALL PARTS, HARDWARE, MOUNTING ACCESSORIES, AND OTHER ITEMS NEEDED FOR REINSTALLATION.

REMOVE ASPHALT AS NECESSARY TO PROVIDE FINISHED GRADE WITH MINIMUM 3 INCH DEPTH OF STONE

REMOVE ASPHALT FOR RE-PURPOSE PAVE

REMOVE ASPHALT FOR PLANTERS

MAINTAIN EX. UTILITIES

REMOVE ASPHALT AS NECESSARY

REMOVE (3) BOLLARDS

REMOVE CURBING AS NECESSARY

EXISTING BUILDING

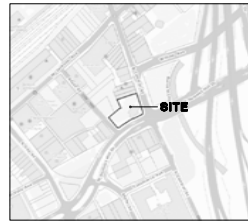
LEGEND

- EXISTING ASPHALT
- EXISTING CONCRETE
- PROPOSED GRAVEL SURFACE
- KEY NOTE TAG
- DETAIL TAG

10. DEMOLITION PLAN
SCALE 1" = 10'

11. LAYOUT & DIMENSION PLAN
SCALE 1" = 10'

LOCATION MAP
NOT TO SCALE



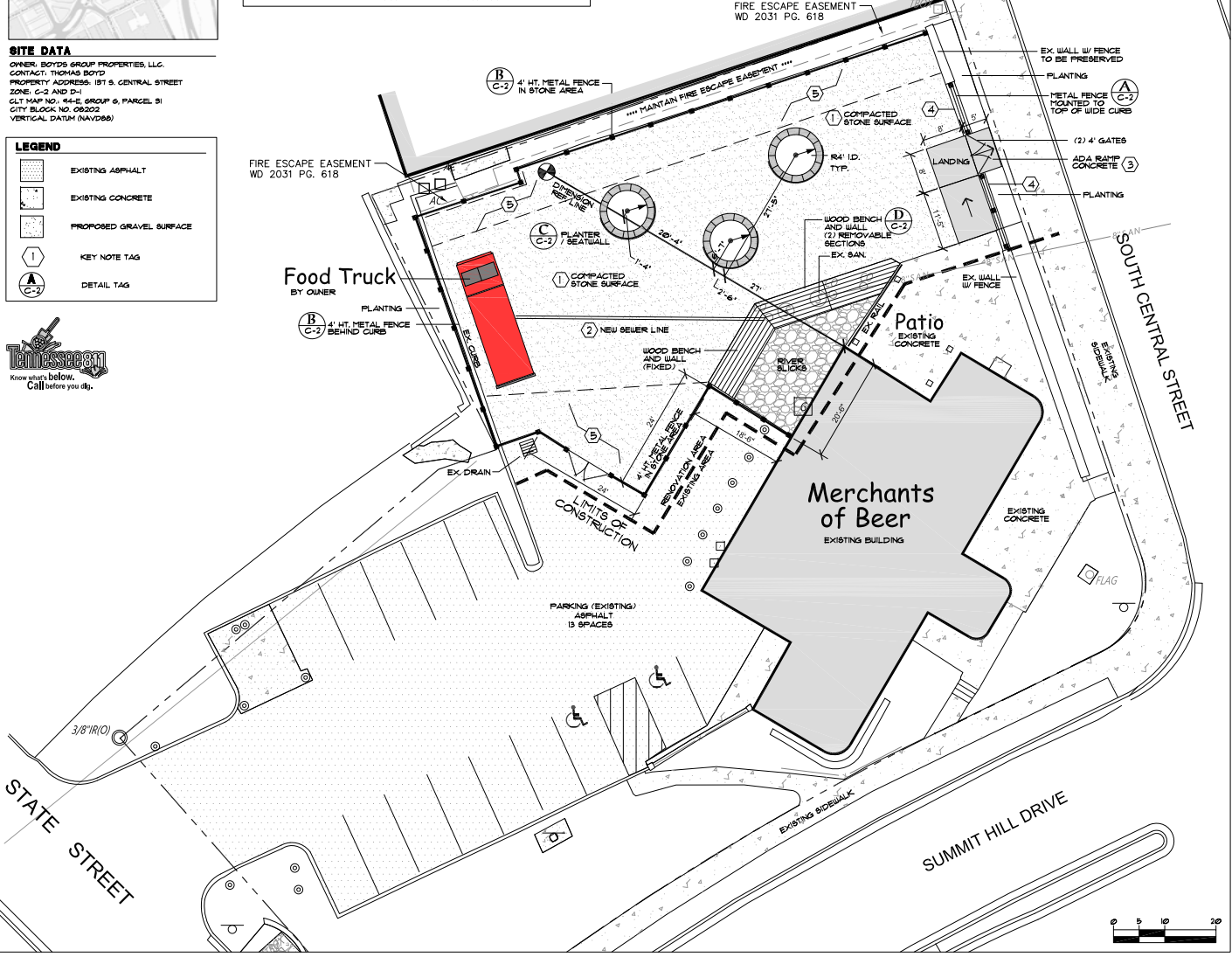
SITE DATA
OWNER: BOYDS GROUP PROPERTIES, LLC.
CONTACT: THOMAS BOYD
PROPERTY ADDRESS: 1ST S. CENTRAL STREET
ZONE: C-2 AND D-1
CLT MAP NO. 84-E GROUP 6, PARCEL 91
CITY BLOCK NO. 08202
VERTICAL DATUM (NAVDS86)

LEGEND

	EXISTING ASPHALT
	EXISTING CONCRETE
	PROPOSED GRAVEL SURFACE
	KEY NOTE TAG
	DETAIL TAG



- KEY NOTES**
1. COMPACTED STONE - VULCAN MATERIALS #6 RIVERSIDE STONE INSTALLED TO A UNIFORM 3 INCH DEPTH AFTER COMPACTION. FINAL SURFACE SHALL BE FIRM AND STABLE TO MEET ADA REQUIREMENTS.
 2. NEW SEWER LINE FROM FOOD TRUCK TIE TO EXISTING SANITARY SEWER AHEAD OF EXISTING GREASE TRAP. WORK SHALL BE DONE BY A TENNESSEE LICENSED PLUMBER IN ACCORDANCE TO LOCAL CODES.
 3. CONCRETE RAMP - REINFORCED CONCRETE WITH LIGHT BROOM FINISH. RAMP SHALL MEET ALL ACCESSIBLE ROUTE REQUIREMENTS FOR SLOPE AND SURFACE TEXTURE.
 4. 4 INCH HT. X 16 INCH WIDE CONCRETE POST CURBS ALIGNED WITH EXISTING CHAIN WALLS. TOP OF CURBS TO BE LEVEL AND SUFFICIENT DEPTH TO HAVE FENCE MOUNTED ON TOP WITH BOLTED FLANGE. SEE SHEET C-2 FOR SECTION.
 5. CUT ASPHALT AS NECESSARY TO PROVIDE A FLUSH TRANSITION BETWEEN COMPACTED STONE AND ASPHALT TO RETAIN MAINTAIN MINIMUM 3 INCH DEPTH OF STONE IN ALL AREAS.



PROGRESS PLAN
NOT FOR CONSTRUCTION

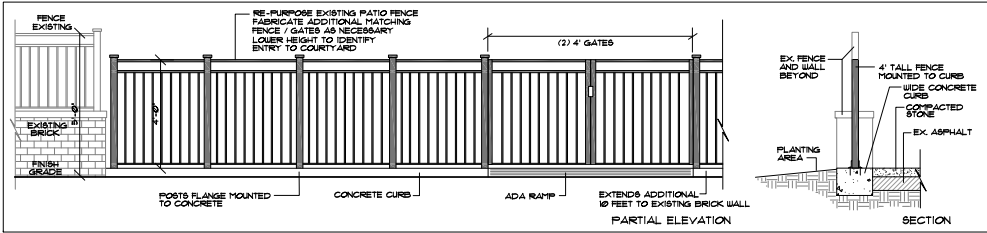
MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTS
1730 N. CENTRAL STREET, SUITE 207
KNOXVILLE, TN 37919
(615) 566-1311

Layout & Demolition Plan - Garden Court
Merchants of Beer
137 South Central Street Knoxville, Tennessee

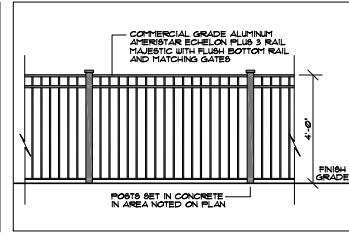
JOB NO. 278206
SCALE: MAY 1, 2019
REVIEWS: NONE



C-1



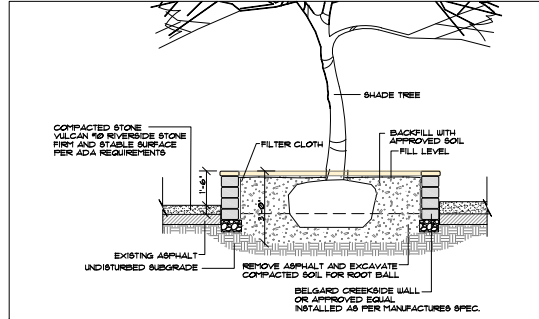
Metal Fence - South Central St. (A)
NOT TO SCALE



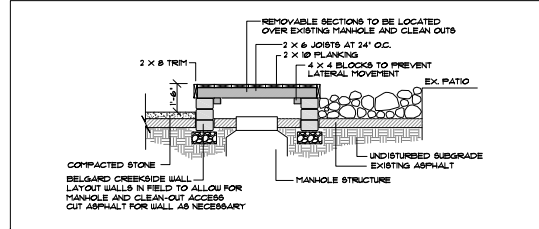
Metal Fence - perimeter, west side & parking (B)
NOT TO SCALE

LEGEND

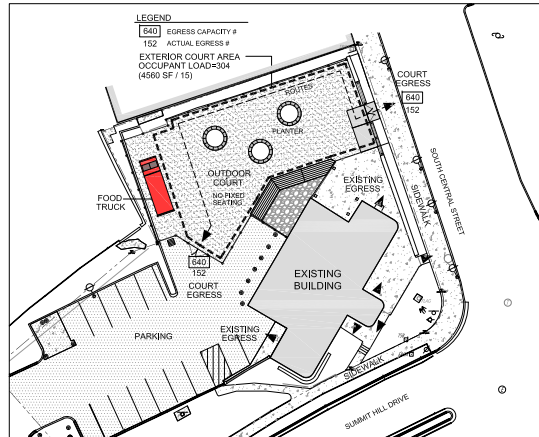
+ 884.60	EXISTING CONTOUR
(+ 884.13)	PROPOSED SPOT ELEVATION
FFL 885.15	EXISTING GRADE
	FINISH FLOOR ELEVATION
2%	PERCENTAGE OF SLOPE
←	DIRECTION OF SLOPE - DOWN



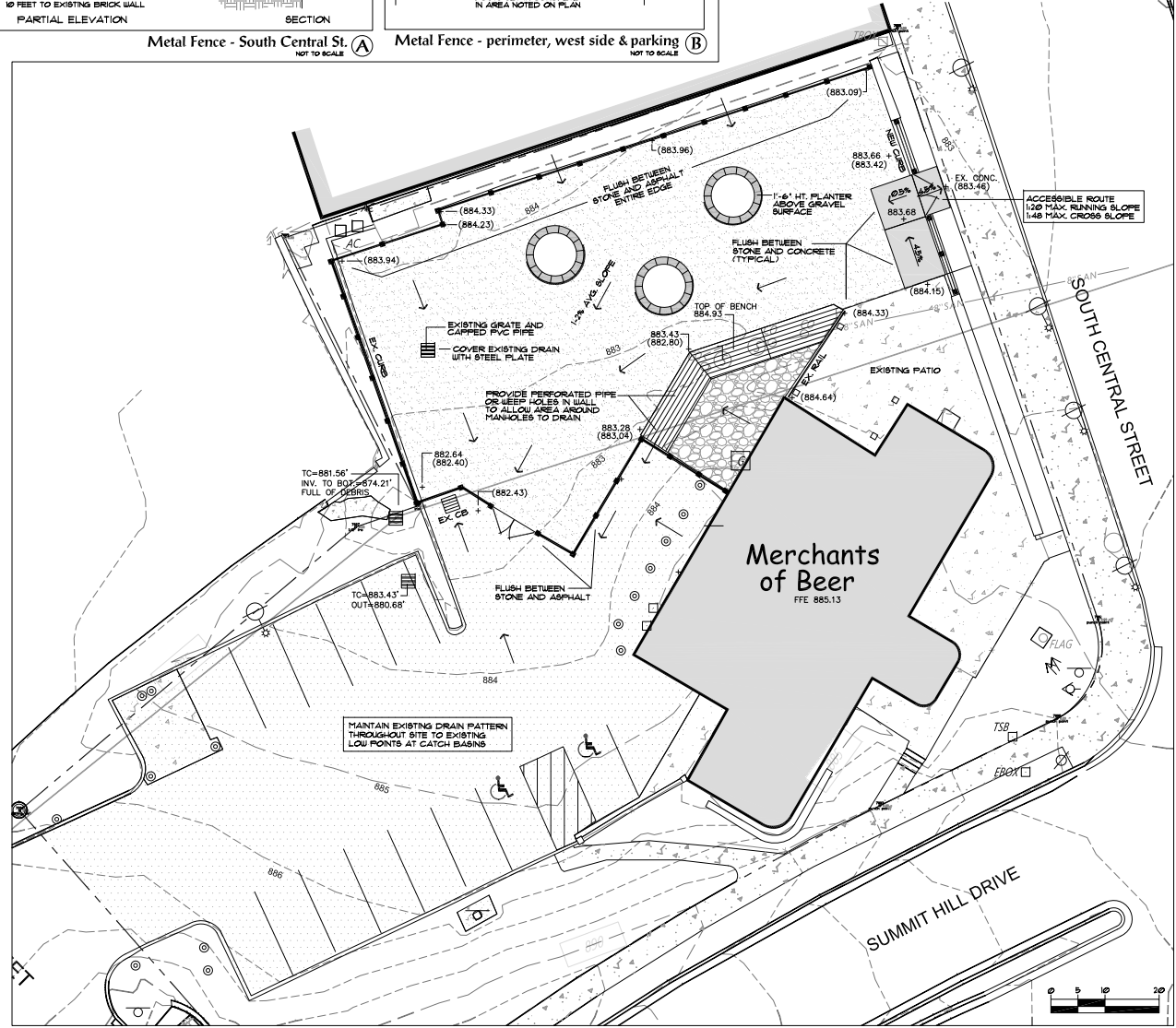
Planter / Seatwall (C)
NOT TO SCALE



Wood Bench & Wall (D)
NOT TO SCALE



Life Safety Plan
NOT TO SCALE



Grading & Drainage Plan

PROGRESS
PLAN
NOT FOR
CONSTRUCTION

MICHAEL VERSEN & ASSOCIATES
LANDSCAPE ARCHITECTS
229 N. WILSON AVE. SUITE 207
KNOXVILLE, TN 37939
(615) 596-1331

Grading, Details & Life Safety Plan - Garden Court
Merchants of Beer
137 South Central Street Knoxville, Tennessee

JOB NO. 279206
DRAWN: MVA/RLT
DATE: MAY 2, 2019
REVISIONS: NONE



C-2