



Suite 403 • City County Building  
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 www.knoxmpc.org

# Downtown Knoxville Design Overlay District Certificate of Appropriateness

Name of Applicant: Christopher King

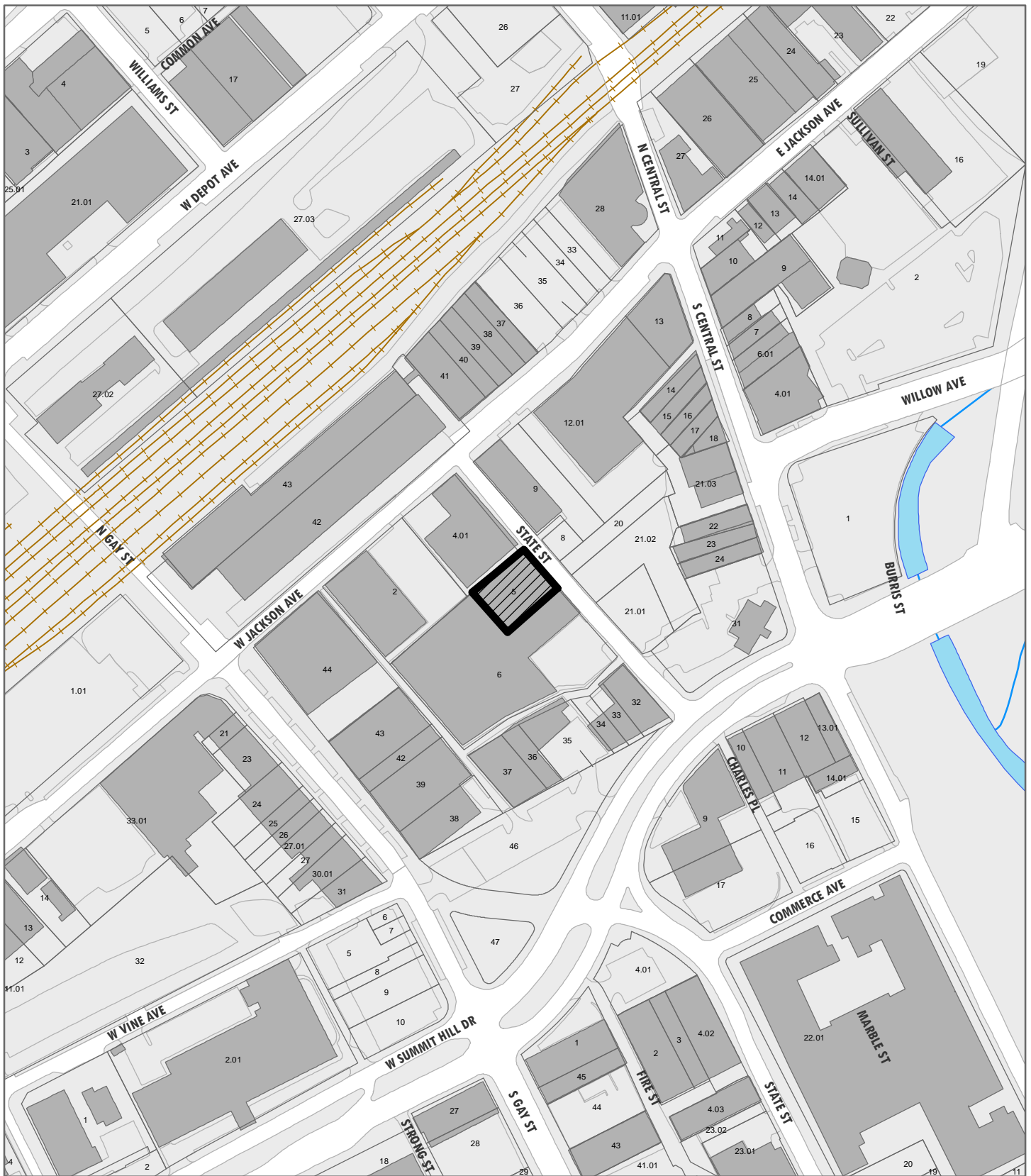
Owner  Contractor  Architect  Engineer  Other

Date Filed: 6/14/19 Application accepted by: Mike Reynolds

Fee Amount: 100.00 Review Date: 7/18/2019 File Number: 7-A-19-DT

<b>PRE-APPLICATION CONFERENCE</b>		Date Completed: <span style="border: 1px solid black; display: inline-block; width: 150px; height: 20px;"></span>
<p style="text-align: center;"><b>PROPERTY INFORMATION</b></p> <p>Building or Project Name: <u>Old City Performing Arts Center</u></p> <p>Street Address: <u>111 State Street</u></p> <p>Parcel Identification Number(s): <u>094EG005</u></p>	<p style="text-align: center;"><b>PROJECT ARCHITECT/ENGINEER</b></p> <p>PLEASE PRINT          Name: <u>Christopher King</u></p> <p>Company: <u>Smee + Busby Architects</u></p> <p>Address: <u>2554 Sutherland Ave</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37919</u></p> <p>Telephone: <u>865-521-7550</u></p> <p>Fax: <u>865-521-7551</u></p> <p>E-mail: <u>cking@smeebusby.com</u></p>	
<p style="text-align: center;"><b>PROPERTY OWNER</b></p> <p>PLEASE PRINT          Name: <u>Joshua Peterson</u></p> <p>Company: <u>River &amp; Rail Theatre Co.</u></p> <p>Address: <u>111 State Street</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37902</u></p> <p>Telephone: <u>865-407-0727</u></p> <p>Fax: _____</p> <p>E-mail: <u>joshua@riverandrailtheatre.com</u></p>	<p style="text-align: center;"><b>PROJECT CONTRACTOR</b></p> <p>PLEASE PRINT          Name: <u>Isaac Pannell</u></p> <p>Company: <u>Reagan Design &amp; Construction</u></p> <p>Address: <u>2516 Maple Drive</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37918</u></p> <p>Telephone: <u>865-719-5024</u></p> <p>Fax: _____</p> <p>E-mail: <u>isaac@rdcbuild.com</u></p>	
<b>ACCOMPANYING MATERIALS</b>		
Please see the reverse side of this form for a list of information required as part of this application.		
<b>FOR OFFICE USE ONLY</b>		
<p style="text-align: center;"><b>PROJECT INFORMATION</b></p> <p>LEVEL 1: \$50</p> <p><input type="checkbox"/> Minor Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Sign</p> <p>LEVEL 2: \$100</p> <p><input checked="" type="checkbox"/> Major Alteration of an Existing Building/Structure</p> <p><input type="checkbox"/> Addition to an Existing Building/Structure</p> <p>LEVEL 3: \$250</p> <p><input type="checkbox"/> Construction of New Building/Structure</p>	<p style="text-align: center;"><b>PROJECT CONTACT</b></p> <p>All application-related correspondence should be directed to:</p> <p>PLEASE PRINT          Name: <u>Christopher King</u></p> <p>Company: <u>Smee + Busby Architects</u></p> <p>Address: <u>2554 Sutherland Ave</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37919</u></p> <p>Telephone: <u>865-521-7550</u></p> <p>Fax: <u>865-521-7551</u></p> <p>E-mail: <u>cking@smeebusby.com</u></p>	

NOTE: Payment is due at time of application. Please make check payable to Knoxville Knox County Metropolitan Planning Commission.



**7-A-19-DT**

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

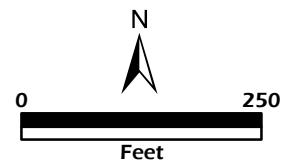
**DOWNTOWN  
DESIGN  
REVIEW  
BOARD**



**111 State St.**  
**Level 2: Major alteration of an existing building/structure**

**Petitioner: Christopher King / Sme & Busby Architects**

Original Print Date: 7/8/2019  
Revised:  
Knoxville/Knox County Planning · Downtown Design Review Board







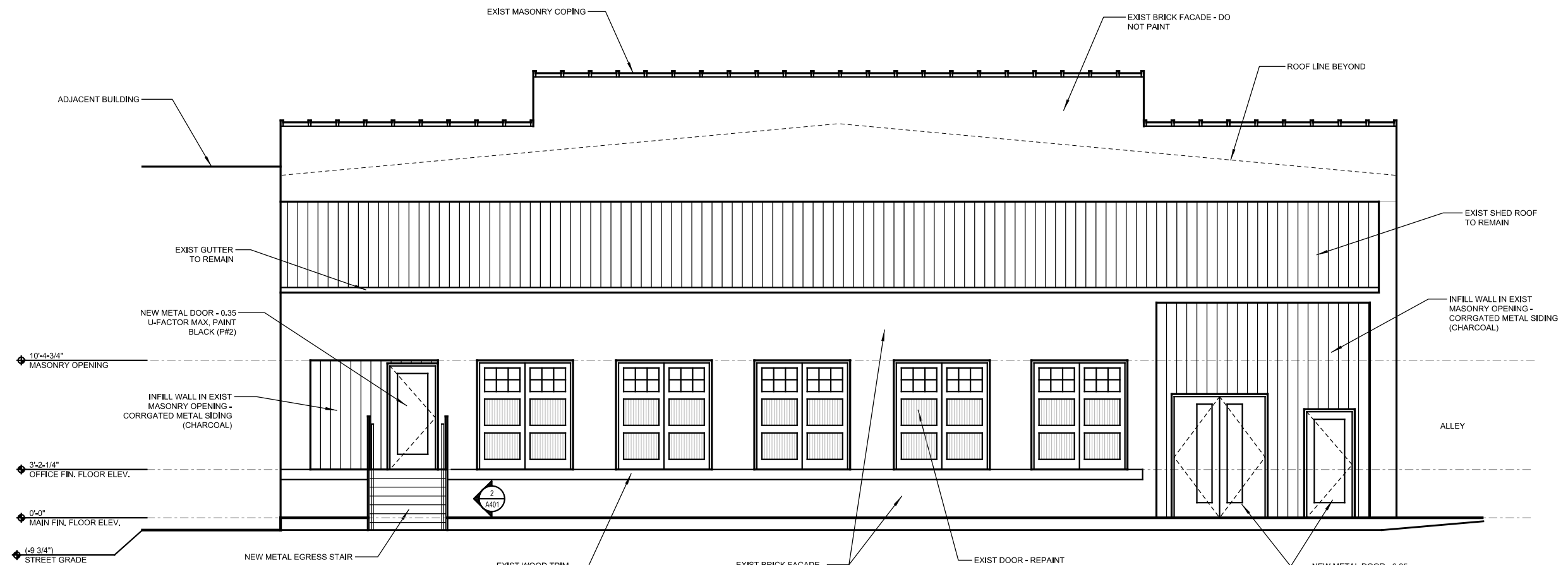
Existing Door to be removed

Existing Stair to be replaced

Existing Roll-up Door to be removed

EXISTING FACADE

Revised: 7/12/2019



1 FRONT ELEVATION  
1/4" = 1'-0"

NOTE: COLORS TO BE SELECTED BY OWNER



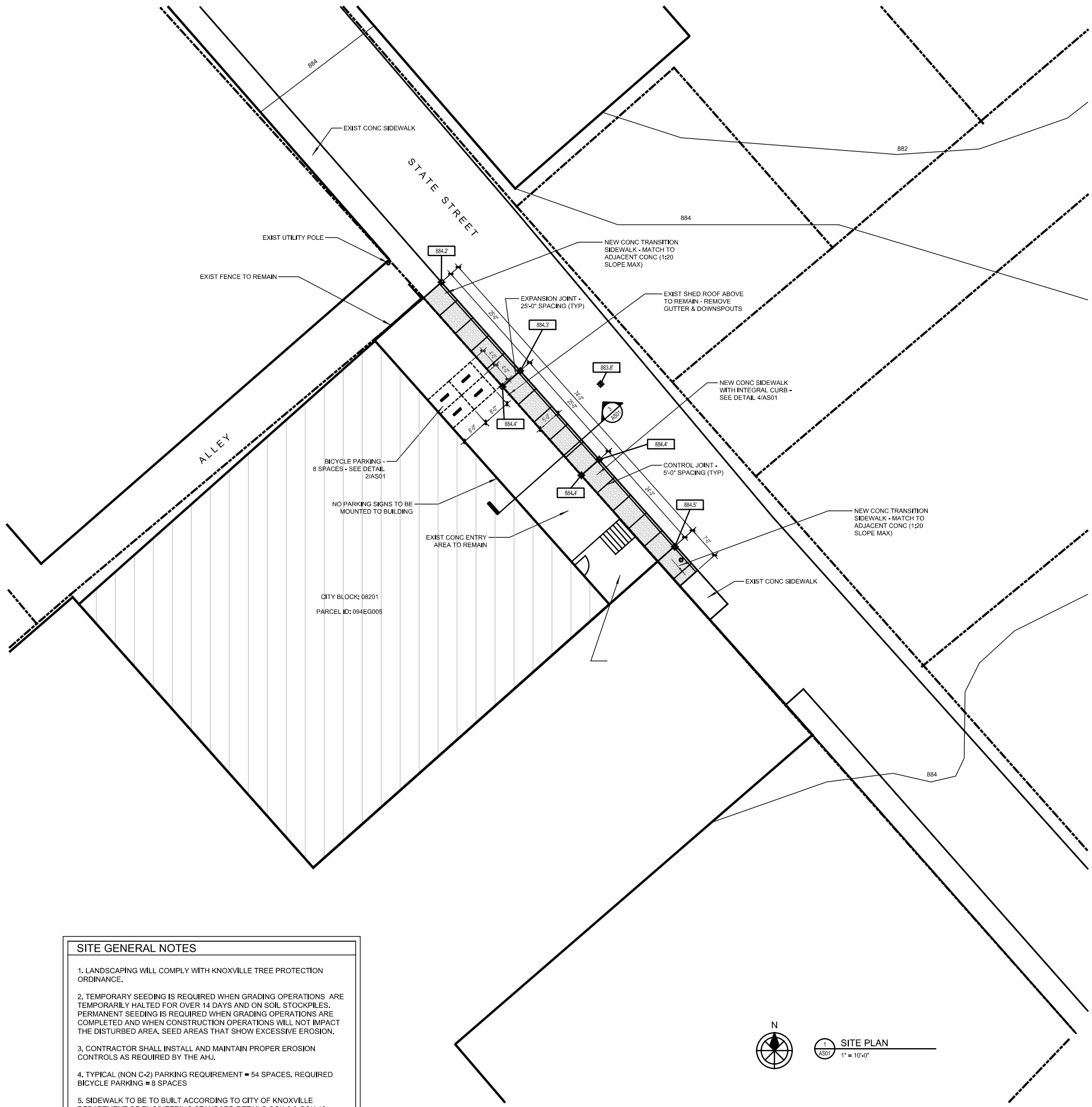
IECC FENESTRATION CALCS	
ABOVE GRADE WALL AREA:	2063 SF
EXIST FENESTRATION AREA:	230 SF
WORK AREA FENESTRATION AREA:	100 SF
TOTAL:	330 SF (15%)
MAX ALLOWED:	30%

EXIST WOOD TRIM  
REPAINT WHITE (P#1) - NIC

EXIST BRICK FACADE -  
REPAINT WHITE (P#1) - NIC

EXIST DOOR - REPAINT  
BLACK (P#2) (TYP) - NIC

NEW METAL DOOR - 0.35  
U-FACTOR MAX, PAINT  
BLACK (P#2)



**SITE GENERAL NOTES**

1. LANDSCAPING WILL COMPLY WITH KNOXVILLE TREE PROTECTION ORDINANCE.
2. TEMPORARY SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND ON SOIL STOCKPILES. PERMANENT SEEDING IS REQUIRED WHEN GRADING OPERATIONS ARE COMPLETED AND WHEN CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. SEED AREAS THAT SHOW EXCESSIVE EROSION.
3. CONTRACTOR SHALL INSTALL AND MAINTAIN PROPER EROSION CONTROLS AS REQUIRED BY THE AHJ.
4. TYPICAL (NON C-2) PARKING REQUIREMENT = 54 SPACES. REQUIRED BICYCLE PARKING = 8 SPACES
5. SIDEWALK TO BE TO BUILT ACCORDING TO CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD DETAILS COK-6 & COK-13



**SITE PLAN**  
1" = 10'-0"

